



**STEPHEN F. AUSTIN STATE UNIVERSITY**  
**CAMPUS MASTER PLAN**  
2025

# PRESIDENT'S LETTER



**Neal Weaver, PhD**

President

Stephen F. Austin State University

For over a century, Stephen F. Austin State University has stood as a symbol of opportunity, resilience, and pride for East Texas. From our founding in 1923 to our recent chapter as a proud member of the University of Texas System, SFA has remained true to its mission of transforming lives through education while serving as an anchor for the region we proudly call home.

This Campus Master Plan builds on that legacy with bold vision and purposeful design. It serves as both a roadmap and a commitment to honor our history while courageously shaping the future. This plan charts a path forward that reflects the same determination and spirit that have defined SFA for over 100 years.

Developed over months of discussion, collaboration, and feedback from students, faculty, staff, and alumni, this plan reflects the collective voice of the Lumberjack community. Working closely with Freese and Nichols, we have created a shared vision that balances the preservation of our natural beauty and historic character with the innovation and flexibility needed for a modern university.

Our focus is clear: to create a campus that inspires discovery, fosters connection, and empowers every student to succeed. We are reimagining spaces that strengthen community, celebrate creativity, and reflect the beauty of our region. More than a blueprint for facilities, this plan is a commitment to lead, serve, and elevate the region we were built to support, reaffirming our belief that a prosperous East Texas cannot exist without a thriving SFA.

As we look ahead, let us remember that with the Lumberjack spirit within us and the strength of the University of Texas System behind us, we are poised to begin a bold new chapter. Together, we will shape a campus and a future worthy of the next century of SFA excellence.

**Axe 'em!**

**Neal Weaver, PhD**

President



# ACKNOWLEDGMENTS

The planning team would like to thank the many individuals who contributed to the development of the 2025 Stephen F. Austin State University Campus Master Plan. We are particularly grateful to the Master Plan Committee, the President, executive staff, deans, students, faculty and staff who provided valuable insight and feedback about the future of the Stephen F. Austin State University campus.

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**STEPHEN F. AUSTIN  
STATE UNIVERSITY**  
THE UNIVERSITY OF TEXAS SYSTEM  
NACOGDOCHES, TEXAS



# TABLE OF CONTENTS

Executive Summary.....7

Introduction .....21

Existing Conditions & Analysis.....47

Facilities & Space Utilization .....81

Recommendations .....93

Implementation.....145

Appendices

- A. Engagement Summary
- B. Utilization Information
- C. Intercollegiate Athletics Master Plan
- D. Campus Recreation Master Plan
- E. Utility Master Plan
- F. Technology Master Plan
- G. Landscape Character Guidelines
- H. Architectural Facility Condition Assessments
- I. Campus Space Utilization Strategy Update
- J. Walter C. Todd Agricultural Research Center Feasibility Concept







# EXECUTIVE SUMMARY

# MISSION & STRATEGIC ALIGNMENT

## OUR MISSION

Stephen F. Austin State University (SFA or University) is a comprehensive institution dedicated to excellence in teaching, research, scholarship, creative work and service. Through the personal attention of our faculty and staff, we engage our students in a learner-centered environment and offer opportunities to prepare for the challenges of living in the global community.





## STRATEGIC INITIATIVES

SFA leadership documents its 10-year vision through the adoption of the University's Strategic Plan, a visioning document that identifies initiatives, strategies and pathways for success related to all aspects of the University's operations, including student life, academia and faculty support. The 2026-2036 Second Century Strategic Plan's five initiatives include:

1. Student Experience
2. Academic Programs
3. Research and Creative Activities
4. Innovation
5. Workplace Culture



### Student Experience

Ensure students have the opportunity for a transformative, student-centered experience that provides comprehensive support and an affordable education, and supplies a vibrant, engaging campus life — empowering every student to thrive personally and professionally before and after graduation. Strategies to accomplish this initiative include:

- Enhance Student Recruitment and Enrollment
- Improve Financial Literacy and Aid
- Strengthen Student Support and Retention
- Enrich Campus Life and Social Engagement

### Academic Programs

Refine academic programming to develop graduates who are versatile, creative thinkers with a broad range of skills — ready to thrive in a rapidly changing job market with the ability to solve complex, real-world problems. Strategies to accomplish this initiative include:

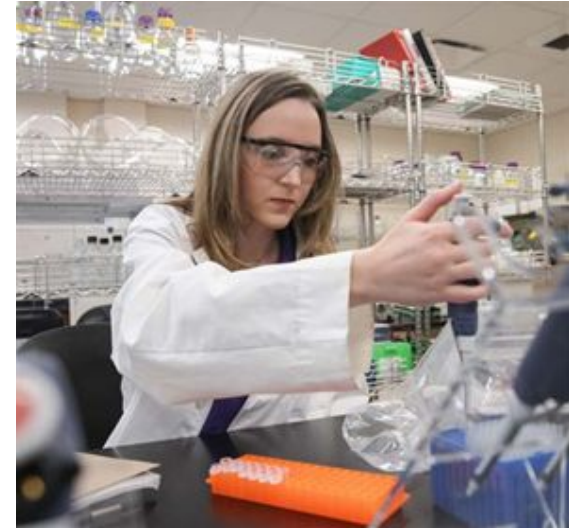
- Invest Strategically in High-Growth Academic Programs
- Elevate Career Readiness through Real-World Experiences
- Foster Cross-Program Innovation for Versatile Learning



## Research and Creative Activities

Establish SFA as a nationally recognized hub for interdisciplinary research, scholarship, and creative excellence through strategic investment in infrastructure, partnerships, graduate education, and community engagement. Strategies to accomplish this initiative include:

- Promote a Culture of Student Research and Creative Achievement
- Enhance Research Infrastructure and Faculty Support
- Cultivate Interdisciplinary Centers of Excellence
- Amplify Research Visibility and Community Impact



## Innovation

Establish SFA as the regional hub for innovation that cultivates opportunities for students to meet the emerging needs of the future, allowing SFA to become the premier hands-on, experiential and service learning university that addresses the unique needs of our local and regional communities. Strategies to accomplish this initiative include:

- Partner with Business and Industry for Student Experiential and Service Learning Opportunities
- Establish SFA as a Central Hub to Address Critical Needs of East Texas
- Leverage the Economic Population Growth within the Texas Triangle



## Workplace Culture

Foster an empowering environment that attracts and retains exceptional faculty and staff by championing professional growth and meaningful recognition. Strategies to accomplish this initiative include:

- Improve Employee Recognition
- Enhance Opportunities for Professional Growth
- Recommit to Clear, Consistent, Transparent Communication and Institutional Shared Governance



# CAMPUS MASTER PLAN GUIDING PRINCIPLES

This Campus Master Plan (Master Plan or Plan) and the proposed recommendations were shaped by a set of core principles that reflect substantial input received throughout the process, align with the aforementioned Strategic Plan, and embody SFA's aspirations for the future.



## Strengthen Campus Identity and Improve User Experience

- Enhance key gateways, entrances and the arrival experience to campus.
- Provide new and renovated administrative, learning, athletic and recreation facilities to improve users' experiences at SFA.
- Implement building, infrastructure and transportation enhancements to improve the overall functionality of SFA.



## Promote Strategic Growth and Academic Excellence

- Focus capital improvements on new and older facilities while aligning with institutional strategic goals.
- Improve and expand student residential facilities to accommodate the University's growth projections and improve the day-to-day resident student experience.
- Coordinate a space strategy across departments to enhance collaboration and student success.



## Support Safe, Accessible and Connected Campus Mobility

- Expand and maintain walkways with adequate lighting, signage and shade.
- Improve pedestrian safety by restricting vehicular traffic in pedestrian-heavy academic and student residence areas.
- Ensure ADA compliance for all new construction and retrofit older facilities and pedestrian paths.





### Advance Athletic and Recreation Excellence through Design

- Position athletic and recreation spaces as central to campus culture by enhancing visibility, fostering school spirit, and connecting them physically and programmatically to academic and residential areas.
- Create facilities that meet the needs of competitive athletics, recreation and wellness by incorporating adaptable spaces, sport-specific amenities and future-ready infrastructure.



### Deliver Quality through Modern Improvements

- Upgrade aging facilities with modern systems and materials.
- Design updates to support flexible use, accessibility and current student expectations.
- Use data to drive strategic goals and investments.



### Connect Campus Life with the Surrounding Natural Environment

- Create inviting outdoor areas that encourage learning, recreation and community interaction with the natural landscape.
- Highlight the natural environment in campus tours, marketing and orientation to distinguish SFA's setting as a unique asset.
- Host student events and service projects in the arboretum and gardens to encourage broader student involvement and appreciation.



# CAMPUS MASTER PLAN OVERVIEW

SFA, the newest member of the University of Texas System, is entering a period of record growth and transformation. The Plan provides a comprehensive, multi-year framework to guide this evolution, addressing existing needs while envisioning new opportunities for strategic development.

Grounded in extensive collaboration with University leadership, faculty, staff, students and community stakeholders, the Plan aligns with SFA's mission, educational goals and strategic priorities. It is informed by a detailed assessment of existing conditions, opportunities and constraints, and projects future academic, residential and infrastructure needs to support the University's continued growth and success.

The planning process identified several key themes that shape the vision for SFA's physical environment. This Executive Summary and accompanying document present an overview of the planning process and its key recommendations. Individual chapters provide in-depth analyses and proposals for each campus area, while the Implementation chapter outlines high-level phasing strategies and target time frames to guide future development and investment decisions.

The full Campus Master Plan and recommended building and facility, transportation, and landscape initiatives are shown on Map 1. Due to the campus's size and layout, the north and south sides of campus are described separately in the following sections, with enlarged maps for each.



**Figure 1.** Campus Core Landscapes Illustration



**Figure 2.** Student Housing A Illustration

## BUILDING & FACILITY INITIATIVES

### Academic

- A** Science Building
- B** Long-Term Building Site
- C** McKibben Building Renovation
- D** Boynton Music Expansion
- E** Art Building
- F** Facilities Services & Operations + Academic Building
- G** Agriculture Building Renovation
- H** Long-Term Military Science & Aviation Sciences Expansion
- I** Greenhouses
- J** Social Work Building Renovation

### Athletic/Recreation

- K** Tennis Venue
- L** South Operations Venue
- M** Baseball Venue
- N** Softball Venue
- O** Norton HPE Renovation & Addition
- P** Shelton Renovation & Addition
- Q** Student Recreation Center Renovation & Addition
- R** Recreation Support - Field Services Bldg.
- S** Loop Trail & Challenge Course
- T** Recreation Fields - Intramural & Competitive Sports
- U** Johnson Coliseum Renovation & Addition
- V** Fieldhouse Building
- W** Football Stadium
- X** Soccer Stadium
- Y** Indoor Practice
- Z** Track & Field + Practice

### Student Experience

- AA** Auditorium/Welcome Center
- BB** R.W. Steen Library Renovation
- CC** Student Housing A
- DD** Student Housing B
- EE** Student Housing C
- FF** Student Housing D

### Garages

- GG** Garage A
- HH** Garage B
- II** Garage C + University Police Facility

### TRANSPORTATION INITIATIVES (areas not included in other facility initiatives)

- JJ** Vista Drive & Alumni Drive Street Modifications
- KK** Wilson Drive Realignment
- LL** E. College Street Modifications
- MM** McKibben/Library Access Road
- NN** North Wilson Drive Extension
- OO** Stadium Loop Drive
- PP** East Stadium Parking

### LANDSCAPE INITIATIVES

- QQ** Wilson Mall
- RR** Central Quad
- SS** Student Center Mall Enhancements
- TT** Central Mall Area
- UU** Aikman Mall
- VV** Austin Plaza
- WW** Raguet Mall Extension
- XX** Steen Open Space
- YY** College Mall
- ZZ** Steen Hall Courtyards
- AAA** Lumberjack Quad & Stadium Plaza
- \*★** Gateway Signage



**Map 1. Campus Master Plan**  
See enlarged map on the following pages

Scale: N.T.S. 



The north side of the campus represents a significant focus of transformation within the Plan. This area integrates new academic, research, athletic and infrastructure improvements to create a modern and connected northern gateway that reflects SFA's growing prominence within the University of Texas System.

At the heart of the north campus vision is the redevelopment of the intercollegiate athletics complex, anchored by a new Fieldhouse, which will serve as the central hub for athletic operations, academic support and student-athlete performance. Adjacent facilities, including the Football Stadium, Soccer Venue, Track and Field Complex, and Indoor Practice Facility, are designed to provide year-round, high-performance environments that strengthen both competitive athletics and community engagement. The Johnson Coliseum Renovation and Addition further enhances spectator experience and accessibility, while coordinated landscape and plaza improvements near the Fieldhouse and Coliseum unify the area's character and create a welcoming entry experience for visitors and fans.

Key transportation initiatives improve access and circulation across the north side. The E. College Street Modifications (from Wilson Drive to University Drive) will enhance pedestrian safety and connectivity through widened sidewalks, new street trees and landscaped medians at University Drive. The College Mall from Wilson Drive to Raguet Street removes all but authorized and

emergency vehicles from this area, greatly improved pedestrian safety and connectivity between the north and south sides of the campus. The new Stadium Loop Road will realign circulation around the athletic facilities, providing improved traffic flow, a roundabout with a gateway feature at Hayter Street, and stronger connections between venues and parking areas. Together, these improvements establish a more efficient and pedestrian-friendly mobility network.

The Greenhouses, to be reconstructed in three locations on campus (two in the north),

will expand research capacity for agricultural and environmental sciences while integrating sustainable technologies and improved access for academic programs. These facilities, paired with nearby open spaces and the Pineywoods Native Plant Center, reinforce SFA's identity as a campus deeply connected to its natural setting.


Collectively, the initiatives on the north side of campus elevate SFA's academic, athletic and environmental assets, creating a dynamic and cohesive environment.



**Figure 3.** North Athletics Area Illustration



Map 2. Campus Master Plan - North

Scale: N.T.S. 



The south side of the campus is envisioned as a vibrant, student-focused area that enhances academic excellence, student life and campus connectivity. The south campus plan emphasizes academic expansion, residential growth, recreation and mobility improvements that collectively strengthen the University's core identity and daily experience.

The relocation of the School of Nursing from the DeWitt Campus to the Main Campus establishes an integrated health professions and human sciences corridor, allowing students to engage fully in the energy and resources of the broader University environment. This move consolidates health-related programs, fosters interdisciplinary collaboration, and provides modern teaching laboratories, simulation spaces and classrooms to prepare the next generation of healthcare professionals.

The Science Building anchors a revitalized academic core and connects directly to the new Central Quad, an open green space for events and outdoor learning. Surrounding this area, the Art Building, Boynton Music Expansion, and McKibben Building Renovation enhance academic diversity and support the creative and performing arts. Pedestrian-oriented improvements—such as the Aikman Mall, Austin Plaza, Student Center Mall, Raguet Mall and College Mall—create shaded, seamless connections between academic, residential and student-life areas.

Transportation initiatives further strengthen connectivity and safety. The Wilson Drive

Realignment improves traffic flow and pedestrian access with enhanced crosswalks, landscaping and a new signalized intersection at Starr Avenue. The Griffith Boulevard and Vista Drive/Alumni Drive improvements reduce vehicular lanes, expand sidewalks and add planting areas to create a safer, more pedestrian-friendly environment and a stronger arrival experience from North Street.

Residential life expands through Student Housing A, B, C and D, introducing more than 2,400 new beds centered around landscaped courtyards and shared gathering spaces. Supported by new parking garages and pedestrian malls, these facilities promote walkability, cohesion and readiness for future enrollment growth.

Recreation and wellness facilities remain defining features of the south campus. The South Operations Building, Baseball and Softball Venues, Tennis Complex, and Student Recreation Center Renovation and Addition form a dynamic athletics and recreation hub. The HPE Complex Renovation modernizes shared academic and recreation spaces, while Wilson Mall and the Loop Trail and Challenge Course provide new opportunities for outdoor activity and community engagement.


Together, these initiatives create a connected, active and inclusive south campus that celebrates SFA's mission, supports student success, and strengthens its identity as a leading institution within the University of Texas System.



**Figure 4.** Campus Aerial Illustration - Looking Northeast



Map 3. Campus Master Plan - South

Scale: N.T.S. 







# INTRODUCTION



# PURPOSE & PROCESS

## CAMPUS MASTER PLAN SCOPE

The Campus Master Plan charts the vision, framework and roadmap for future campus development, growth and physical improvements. To support the University's goals and provide enhanced experiences for students, faculty and staff, SFA's campus is evaluated in terms of how efficiently existing buildings are being used, open space quality and frequency, infrastructure and student enrollment.

The Plan includes both campus-wide and project-specific recommendations to improve

educational and experiential offerings in both the near- and long-term. The Plan is not intended to be constraining and prescriptive, and its graphics do not represent specific site or building designs. Rather, they illustrate the uses and locations of buildings, facilities, pedestrian gathering areas and landscape features recommended to fulfill the Plan's guiding principles and objectives.

The Plan is intended to allow flexibility and imagination as its recommendations are realized, while ensuring the University's decisions are consistent, sustainable and informed. The Plan is intended to serve as the baseline to guide project designers while permitting and encouraging creativity

throughout the development process. However, the Plan should not be interpreted so loosely as to permit entirely different initiatives or conceptual directions. The goal is to achieve a balance between this Plan and the mutual decisions that must be reached throughout each project's development process. The use of this Master Plan by the University and its partners will result in a functional, memorable and sustainable campus. This Plan should be considered a living document, periodically re-examined and updated as the University's opportunities, challenges and strategic initiatives evolve.



# PLANNING PROCESS

Development of the Master Plan took place in four main work phases:



During this phase, the consultant team initiated the project with a Master Plan Committee meeting and a campus tour of SFA. Information gathering through stakeholder meetings, initial engagement efforts and facility assessments was used to establish the direction of the Master Plan and campus vision.



This work phase included an analysis of the University's existing conditions, demographics, enrollment and space utilization. This information was used to develop multiple concept plans and begin work on various components of the Master Plan, including technology, athletics, utilities and landscape recommendations.



Throughout this phase, the consultant team developed the Master Plan's draft recommendations and illustrative plan based on the findings and analyses from previous work phases. The Master Plan Committee was asked to review the draft content for feasibility and alignment with the University's long-term goals and strategic initiatives. The draft recommendations and illustrative plan were also presented to the greater campus community in a Campus Plan Open House.



Lastly, the Master Plan was refined based on feedback from the Master Plan Committee and presented for approval and adoption.



# OUR HISTORY



**1917**

SFA was chartered by the Texas Legislature. Nacogdoches was selected as its location, and the appropriations bill for funding was signed.



**1923**

SFA Athletics launched, with Coach Bob Shelton serving as the director. Later deemed the "father of SFA Athletics," Shelton led the first football team to a win over Sam Houston Normal Institute in Huntsville.



**1939**

Gibbs Hall, the first women's residence hall on campus, opened its doors. Gibbs Hall was named after SFA's first art teacher, Eleanor H. Gibbs.



**1944**

SFA's Experimental Forest was established by an official act of Congress. Measuring more than 2,500 acres, this land is still used for recreation, forestry and wildlife management research and is the only one of its kind in Texas.



**1955**

Building construction boomed, starting with the Boynton Library (now called the Boynton Building) and the first of three "Units" located at the corner of East College and Raguet Streets. This streak of construction continued into the 1960s, with the Griffith Fine Arts Building, College Center and North and South Halls going up.

Source: Stephen F. Austin State University



**1969**

SFA became an independent university following a bill signed by Governor Preston Smith. Later the same year, the legislature approved a separate Board of Regents for SFA, transitioning the University out of the Texas State System. Following the move, SFA changed its name to Stephen F. Austin State University.



**1986**

Stephen F. Austin statue unveiled to commemorate the state's sesquicentennial celebration. Due to a dramatic stance and flowing water, this iconic statue was affectionately nicknamed "Surfin' Steve."



**2010**

DeWitt School of Nursing Complex opened north of the Main Campus, named for Richard and Lucille DeWitt, who donated the land after it served as a distribution center for Kentucky Fried Chicken.



**2019**

SFA beat Duke at home on November 26, 2019. Duke University, ranked No. 1 in the nation, had not lost at home to a non-conference opponent in 150 games. In 2021, the Naymola Basketball Performance Center was completed along with cosmetic changes to the Johnson Coliseum.



**2023**

SFA officially joined the University of Texas (UT) System after legislation unanimously passed through both chambers of the Texas Legislature in April and Texas Governor Greg Abbott signed the bill into law in May.



# REGIONAL CONTEXT

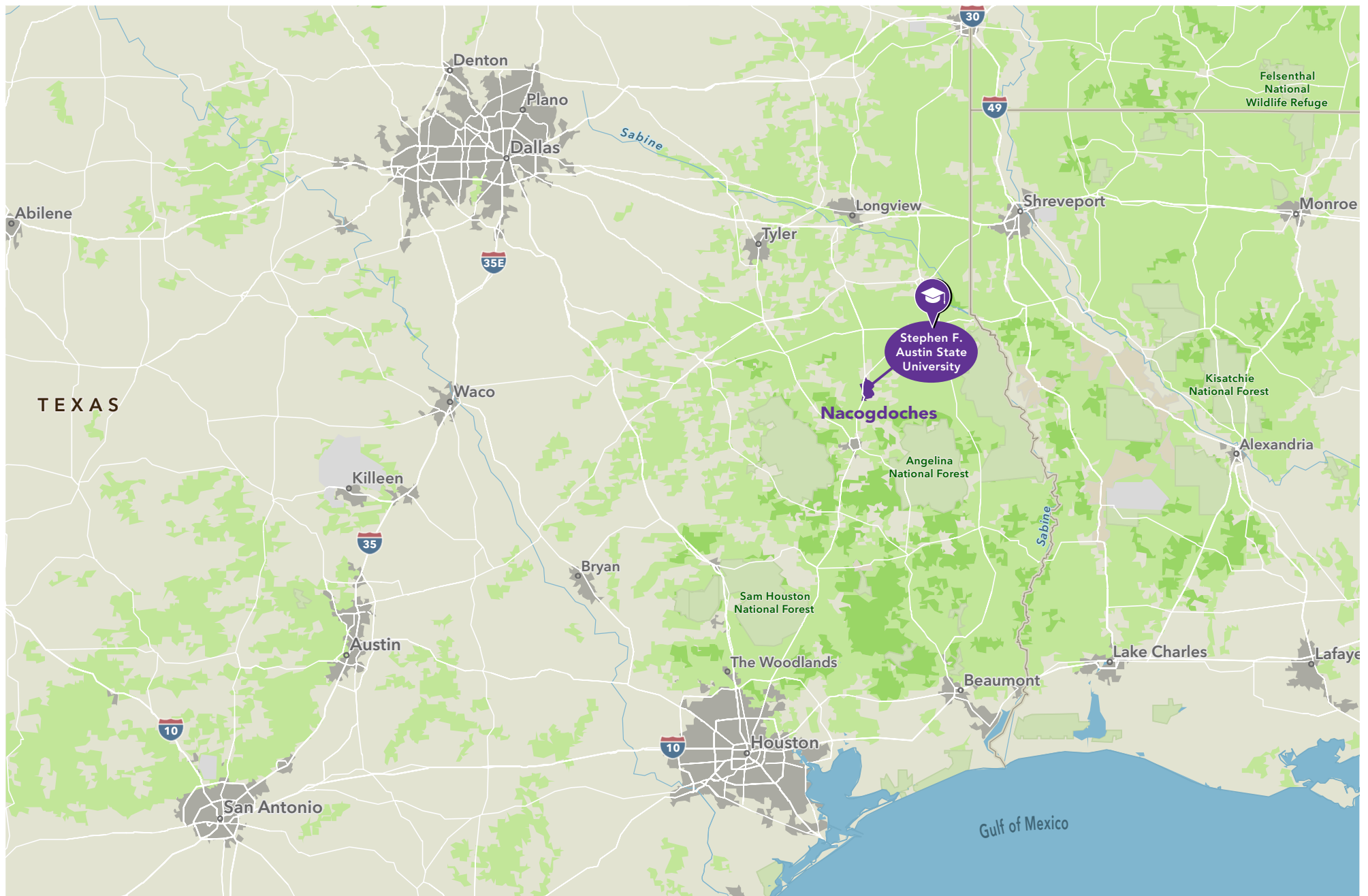
## REGIONAL CONTEXT

SFA is located in the City of Nacogdoches, Texas (City), a community of approximately 32,000 residents within the Piney Woods region of East Texas. The City serves as the county seat of Nacogdoches County.

Nacogdoches is situated along U.S. Highways 59 and 259, which offer regional connectivity and will eventually be part of the future Interstate 69 corridor, enhancing access to larger urban centers. Nacogdoches is approximately 140 miles northeast of Houston and 170 miles southeast of Dallas. Its location makes it a regional hub for education, tourism and healthcare in East Texas.

The majority of SFA's operations are located near the center of the City. The Main Campus is located approximately one mile north of Downtown Nacogdoches, granting access to community amenities and outdoor recreation opportunities to faculty, staff and the student body.





Map 4. Regional Context Map

Scale: N.T.S. 



# DEMOGRAPHIC ANALYSIS

## CATCHMENT AREA

Demographic analysis is essential for accurately projecting a university's future enrollment scenarios. By defining the catchment area, a university can project enrollment changes and analyze the market and business potential for individual degree programs. The catchment area is the geographic region from which the majority of currently enrolled students originate, in this case 80%. Unless significant institutional changes are made, it is difficult for a university to increase enrollment beyond what the local demographic can support.

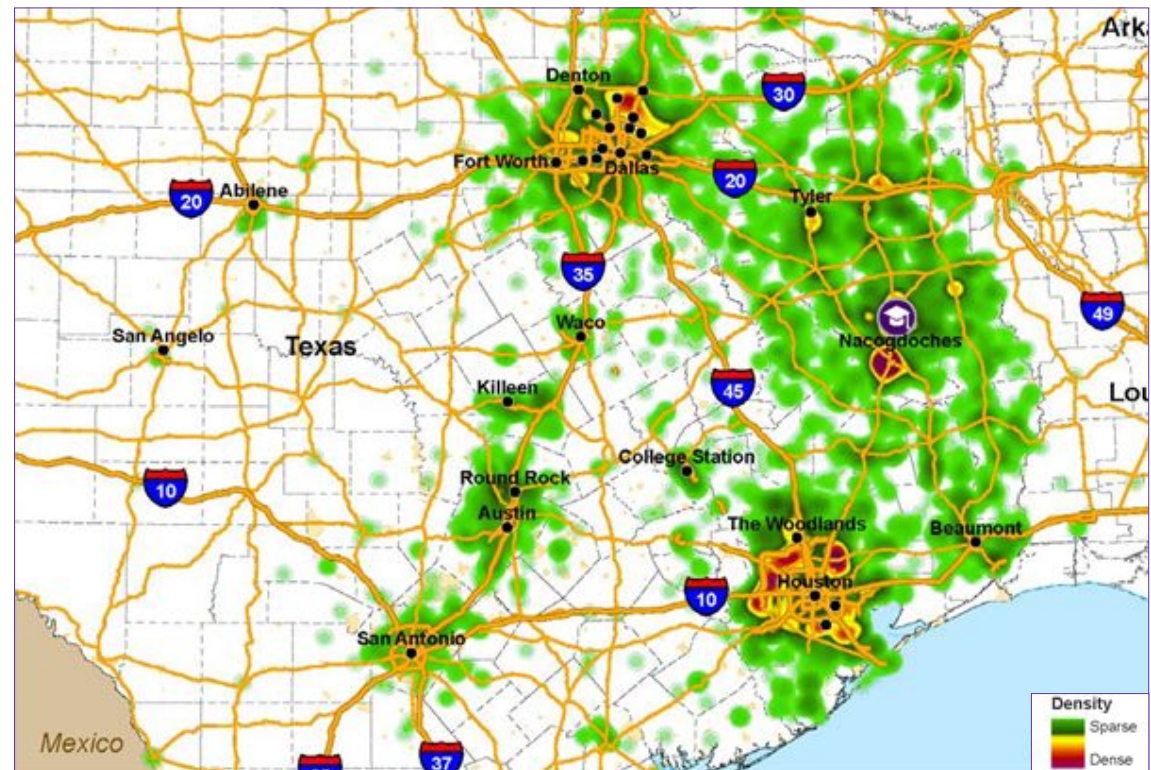
The planning team used Fall 2024 enrollment and home residence data from SFA's Office of Strategic Analytics and Institutional Research to define the catchment area. Combined with additional data from ESRI, a global provider of geographic and demographic data, historical and 5-year projections were established. Building upon these projections, the team used a simple trend analysis to extend the forecast by 10 additional years. This resulted in a comprehensive 15-year outlook. Unless noted otherwise, demographic data and catchment maps reflect on-campus and hybrid Fall 2024 students. This review excludes online-only and off-campus enrollees.

Figure 5 shows the density of SFA student residency for Fall 2024. This heat-density map groups students' home addresses by ZIP code. The ZIP codes with the greatest density are located within the major metropolitan areas

of the state or within a 45-mile radius of the University. Students within a 45-mile radius make up approximately 24% of the enrollment. The remaining 76% of students are spread across 1,180 other ZIP codes, within and outside the state.

Figure 6 illustrates the catchment area, delineated by its ZIP code boundaries. Since

the region covers such a large area, it is further divided into primary (60%) and secondary (20%) areas. This allows for a more informative analysis of the market and business summaries on the following pages.



**Figure 5.** Student Residence Density: Face-to-Face and Hybrid Only, Fall 2024

Scale: N.T.S.

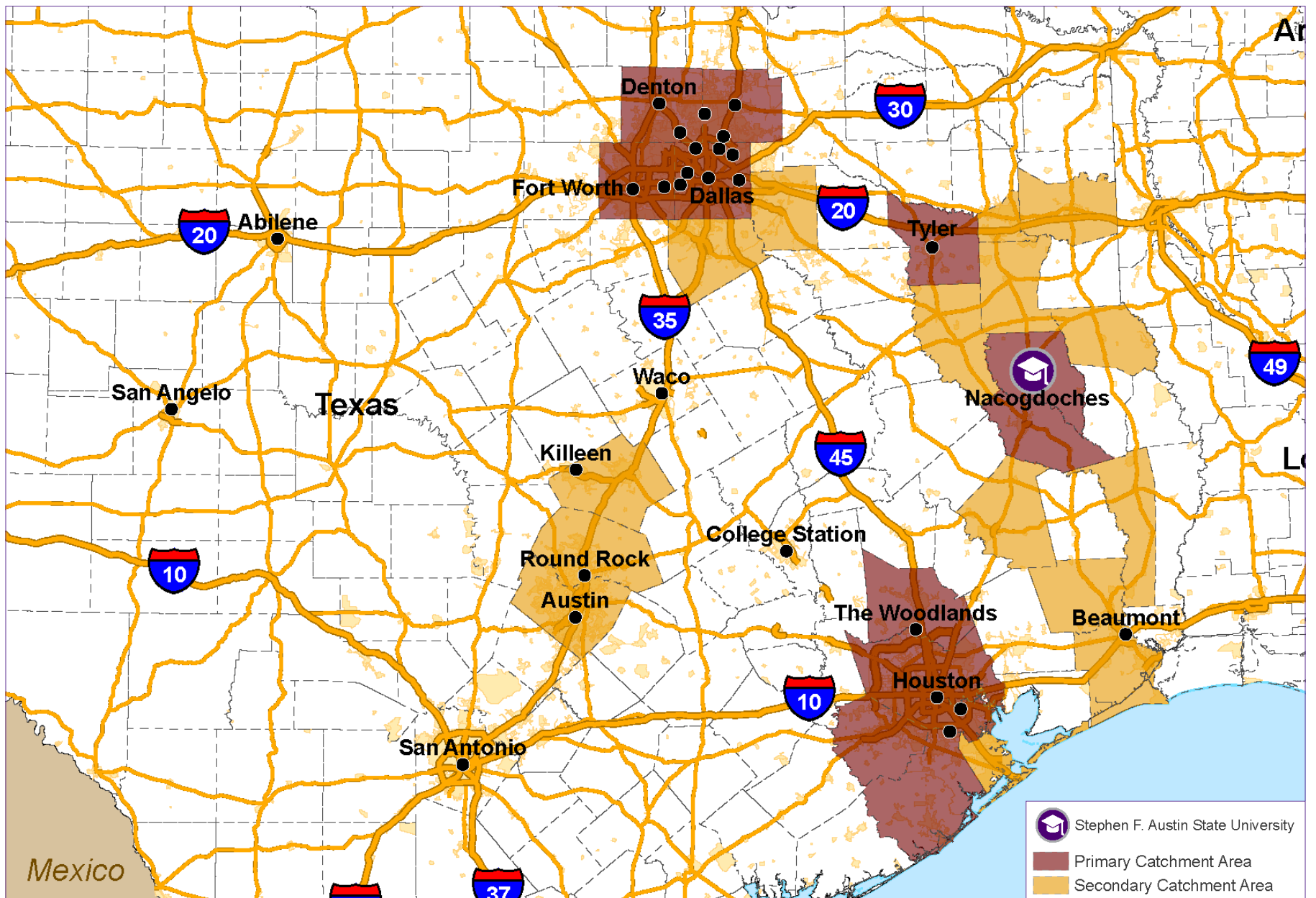


Figure 6. SFA Demographic Catchment Areas

Scale: N.T.S. N



# MARKET SUMMARY

The market summary outlines the current demographic composition of the population residing within the primary catchment area. Figure 7 illustrates this data. The annual median household income is \$83,443. This is higher than the state median of \$77,200 and the national median of \$79,100. The median home value is \$341,829, about 13.8% above the state median of \$297,800 and 4% below the national median of \$355,600.

In terms of educational attainment, 48.8% of the catchment population have graduated

from high school and received an advanced degree. This is roughly 10.6% higher than the state average of 44.1%. Identifying the age distribution is critical to understanding future enrollment potential. About 24.7% of the catchment population is within the 18-34 age cohort. Using data provided by ESRI, the design team forecasted this cohort to have a compound annual growth rate (CAGR) of 1.04% over the next 10 years. This percentage is considered the catchment area rate. It serves as one scenario used to project future campus enrollment numbers. Figure 8, on the adjacent page, illustrates the ZIP codes where individuals ages 18-34

are most concentrated throughout the entire state. Fortunately, the University's catchment area aligns with these regions, which have the highest density of 18-34 year olds. Verifying this alignment helps reinforce the accuracy of enrollment projections. Another scenario to consider when understanding enrollment potential is the capture rate. This refers to the percentage of people ages 18 to 34 residing in the surrounding counties (Angelina, Nacogdoches and Shelby) who are enrolled at the campus. Growth rates across ZIP codes within the catchment area average 0.99%.

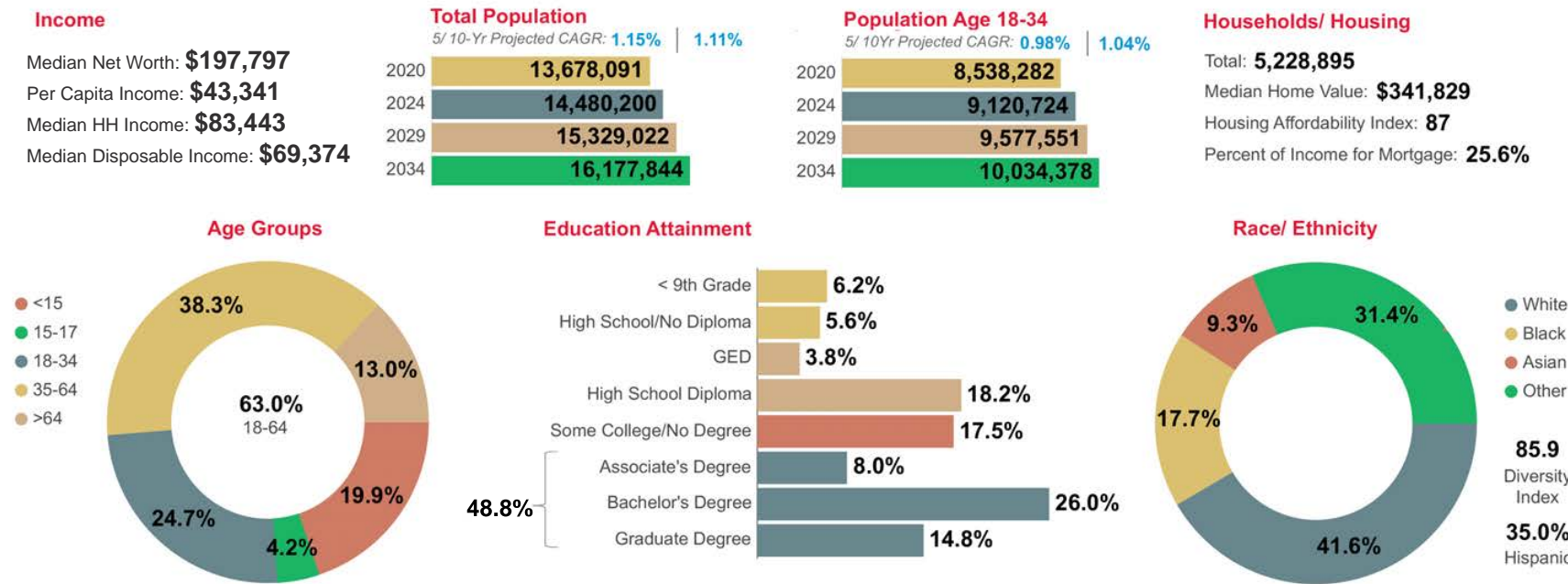


Figure 7. Primary Catchment Area Market Summary Data, Fall 2024 (Source: ESRI, 2024)

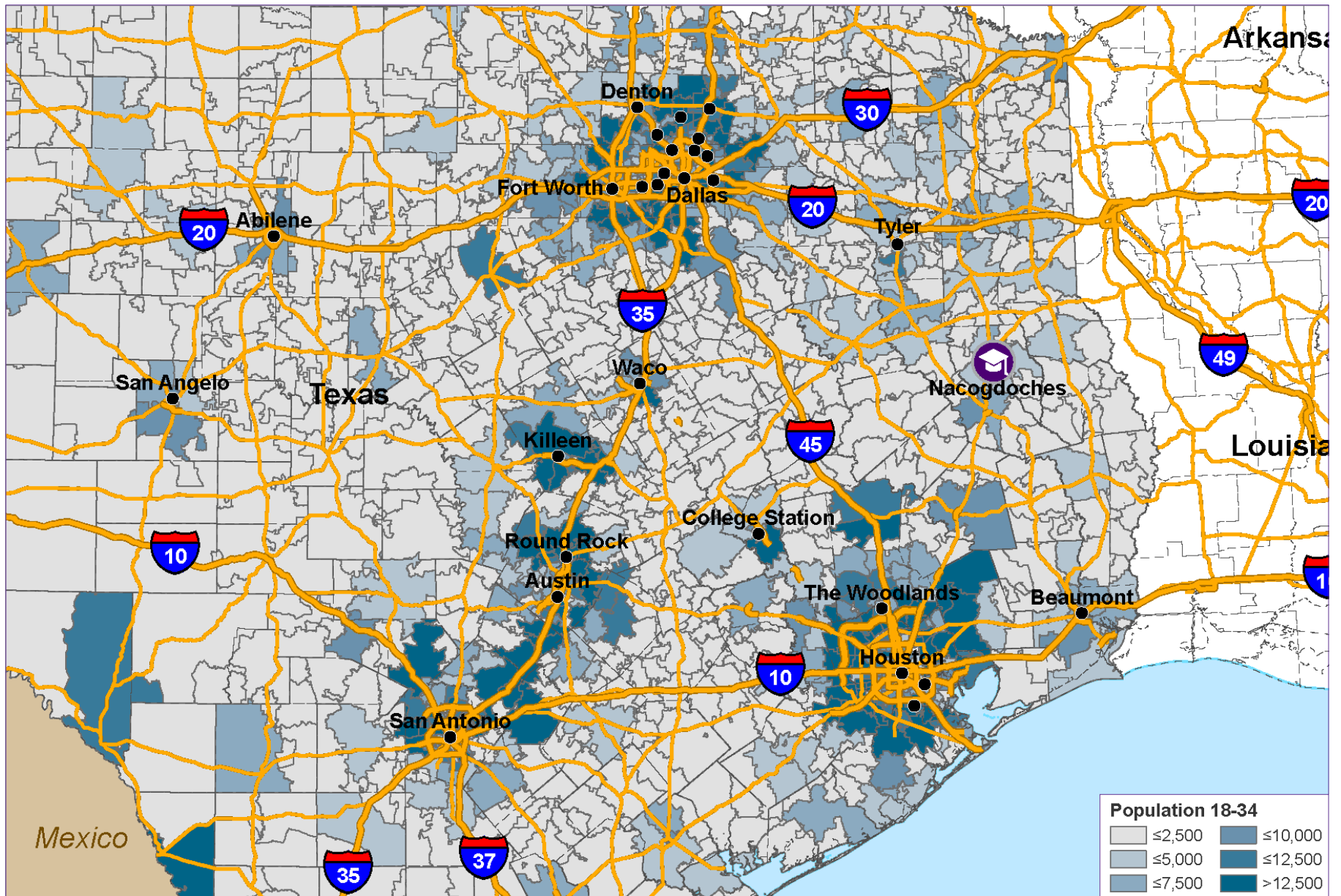



Figure 8. 2034 Population Age 18-34 by ZIP Code (Source: ESRI, 2024)

Scale: N.T.S. 



## BUSINESS SUMMARY

The following pages summarize the current business makeup of the population residing within the primary catchment area, as reported in 2024.

Figure 9 illustrates the business sectors that employ workers. The sectors are defined by the North American Industrial Classification System (NAICS). An estimated 541,827 businesses are located within the market area, employing approximately 6,093,509 workers. The sectors were divided at 86.8% service-providing industries and 13.2% goods-producing industries. The healthcare sector employs the largest number of people, accounting for 14.1% of the workforce. The catchment area has an average unemployment rate of 3.9%.

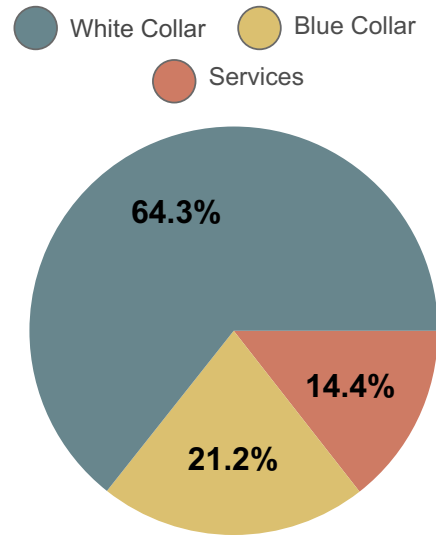
In Figure 10, the occupational categories are based on the work performed and the education or skills required, as defined by the U.S. Bureau of Labor Statistics' Standard Occupational Classification (SOC). White-collar positions account for 64.3% of the employed workforce, blue-collar positions account for 21.2%, and service positions, a mix of both types, account for 14.4% of the total. Regarding occupational categories in these sectors, 23.1% of workers are in office, administration or management positions. Life/social sciences, as well as farm, fish and forestry roles, account for 1.2% of the workforce.

**Number and Percent of Workers by Employment Sector**

|                |         |       |
|----------------|---------|-------|
| Health Care    | 861,616 | 14.1% |
| Retail         | 697,933 | 11.5% |
| Accommodation  | 603,518 | 9.9%  |
| Professional   | 585,332 | 9.6%  |
| Education      | 463,463 | 7.6%  |
| Manufacturing  | 441,033 | 7.2%  |
| Other Services | 368,500 | 6.0%  |
| Construction   | 361,475 | 5.9%  |
| Wholesale      | 268,900 | 4.4%  |
| Finance        | 237,257 | 3.9%  |
| Government     | 223,224 | 3.7%  |
| Transportation | 200,947 | 3.3%  |
| Administrative | 188,995 | 3.1%  |
| Real Estate    | 186,131 | 3.1%  |
| Information    | 135,960 | 2.2%  |
| Mining         | 111,082 | 1.8%  |
| Entertainment  | 103,942 | 1.7%  |
| Utilities      | 22,798  | 0.4%  |
| Headquarters   | 15,581  | 0.3%  |
| Agriculture    | 10,652  | 0.2%  |
| Unclassified   | 5,170   | 0.1%  |

**Figure 9.** Primary Catchment Area Business Summary: Employment (Source: ESRI, 2024)

An estimated **7,436,890** workers of the age 16 and older are located within the Market Area.



### Number and Percent of Workers by Occupation Category

|                         |         |       |
|-------------------------|---------|-------|
| Management              | 938,249 | 12.6% |
| Office/Admin            | 781,390 | 10.5% |
| Sales                   | 689,152 | 9.3%  |
| Transportation/Moving   | 567,205 | 7.6%  |
| Business/Financial      | 549,062 | 7.4%  |
| Construction/Extraction | 454,463 | 6.1%  |
| Education/Library       | 436,592 | 5.9%  |
| Health Practices        | 407,797 | 5.5%  |
| Computer/Mathematical   | 364,354 | 4.9%  |
| Food Preparation        | 360,362 | 4.8%  |
| Production              | 331,584 | 4.5%  |
| Building Maintenance    | 235,796 | 3.2%  |
| Architecture/Engineer   | 220,521 | 3.0%  |
| Maintenance/Repair      | 217,740 | 2.9%  |
| Health Support          | 174,283 | 2.3%  |
| Personal Care           | 170,622 | 2.3%  |
| Arts/Entertainment/Rec  | 132,709 | 1.8%  |
| Protective Service      | 132,298 | 1.8%  |
| Social Service          | 95,021  | 1.3%  |
| Legal                   | 87,922  | 1.2%  |
| Life/Social Sciences    | 82,274  | 1.1%  |
| Farm/Fish/Forestry      | 7,494   | 0.1%  |

**Figure 10.** Primary Catchment Area Business Summary: Occupational Employment (Source: ESRI, 2024)



# ENROLLMENT ANALYSIS

## STUDENT OVERVIEW

Fall 2024 SFA enrollment comprises multiple degree categories across six academic colleges: Business, Education, Fine Arts, Forestry and Agriculture, Liberal and Applied Arts, and Science and Mathematics. The undergraduate student population was the largest category, comprising approximately 89.3% of the total student body. Graduate programs had the second-highest concentration of students with nearly 9.86% of the overall enrollment, while the remaining 0.84% were enrolled in doctoral programs.

Within the six colleges, the largest percentage of undergraduate population was in the

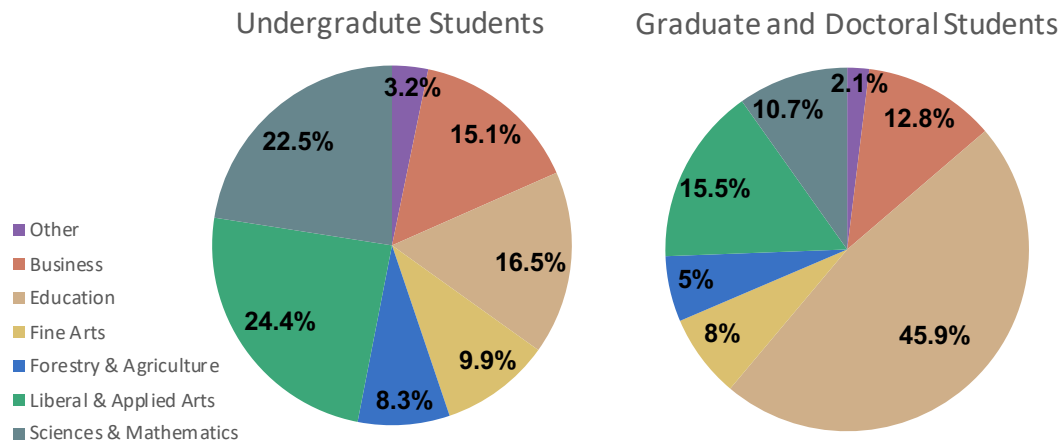
College of Liberal and Applied Arts (24.4%), followed closely by the College of Science and Mathematics (22.5%). At the graduate and doctoral levels, the College of Education was the largest, with approximately 45.9% of total students enrolled. Only three of the six colleges (Education, Forestry and Agriculture, and Liberal and Applied Arts) offered doctoral degrees in the Fall 2024 semester.

Since 2020, the number of students attending classes in person no longer makes up the majority of student enrollment. Between 2019 and 2024, the number of face-to-face students decreased at a compounded annual rate of 9.9%. The number of blended, or hybrid, students (those attending at least one class on

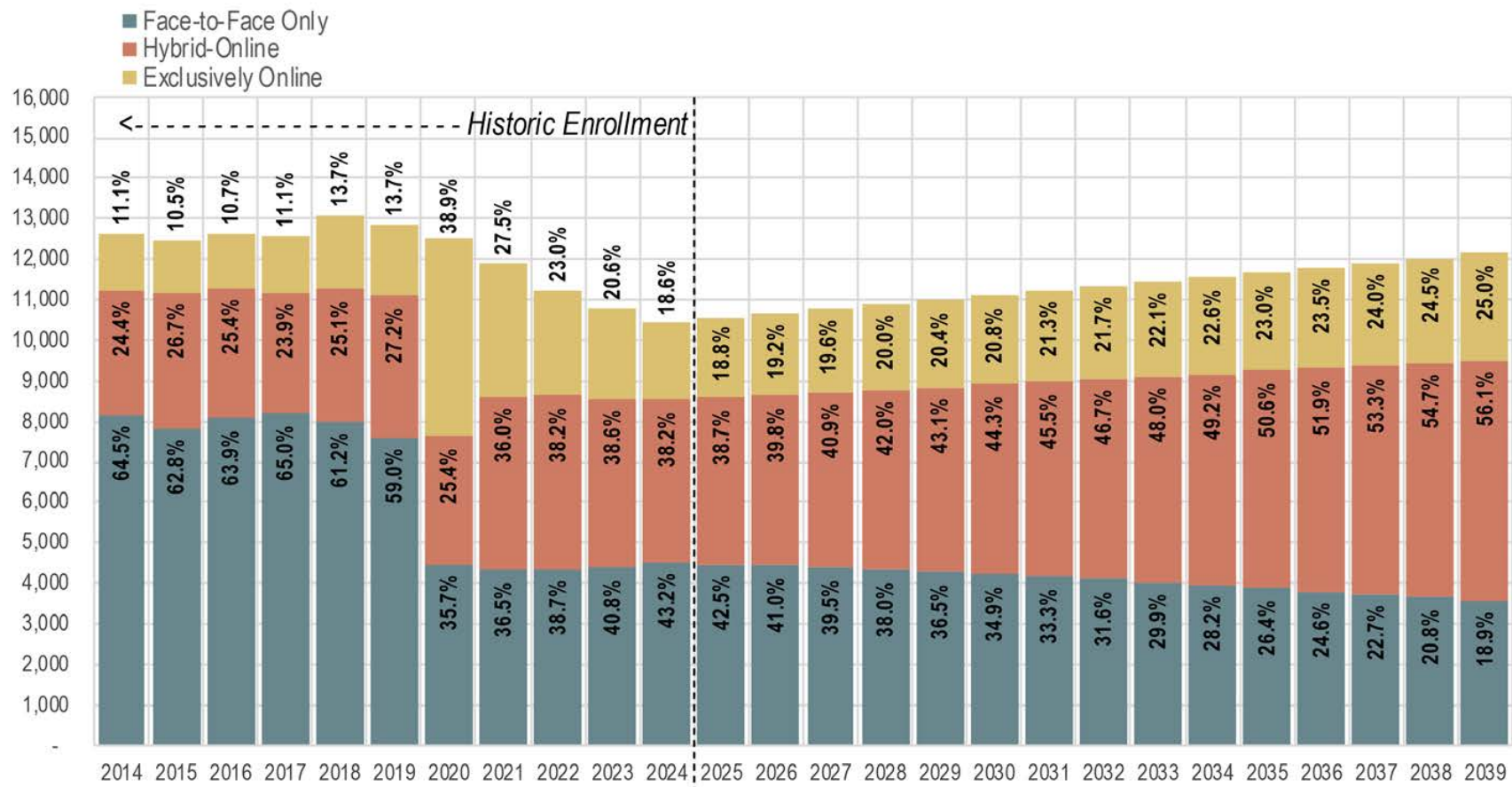
campus in combination with online courses) has steadily increased by approximately 2.7%. Those enrolled 100% online have grown by approximately 2.1%.

The adjacent chart illustrates the possible change in college enrollment composition by learning mode. This projection assumes distributions increase or decrease at similar rates between 2025 and 2039, as averaged over the previous five years (Fall 2019 to Fall 2024). Overall enrollment at SFA is expected to keep growing. However, the 100% on-campus student population is projected to decline by 1.3% per year. Hybrid and online-only students are projected to maintain their current growth rates.

This graphic represents the potential impact on campus if the trend of the past five years were to continue. It does not take into account any institutional or college directives, plans or strategies regarding the approach to online and hybrid learning modes. Regardless, it is essential to comprehend these shifts in teaching methods and the adjustments they necessitate in instructional settings. For this analysis, students who are enrolled in dual credit or exclusively off-campus are excluded, as their impact on college facilities and space needs is negligible.



**Figure 11.** Students by Academic College and Degree Level, Fall 2024



- Projected Enrollment for Hybrid-Online Assumes the Annual Change of Students from 2019-24 is Held Constant at 2.7% CAGR through 2039.
- Projected Enrollment for Exclusively Online Assumes the Annual Change of Students (2014-19) is Held Constant at 2.0% CAGR through 2039.
- Face-to-Face Only Instruction is the difference between the Average of All Enrollment Projection Scenario's Total Enrollment and Projected Hybrid-Online and Exclusively Online Students.
- Projected Enrollment Total is based on a UT Factor which Assumes an Annual Projected Growth Rate of 1.0% (CAGR).

**Figure 12.** Total Enrollment and Share by Learning Mode, Fall 2024



## DEMOGRAPHIC PROJECTIONS

Prior to 2020, SFA's enrollment had remained stable at around 12,500 students. Over the last five years, SFA has experienced an overall decline. There was a nearly 4% reduction in the CAGR between 2019 and 2024. However, it is anticipated that this drop to approximately 10,472 students in 2024 is partly due to the impact of the COVID-19 pandemic on enrollment. Future numbers could maintain a similar percentage of growth as the years prior, without any substantial measures taken.

Figure 13 illustrates several growth scenarios developed to project SFA's enrollment changes over the next 15 years. Each scenario includes dual credit and online-only growth. When using the average of all demographic scenarios, enrollment at SFA is projected to grow marginally. SFA could increase total enrollment by approximately 1.2%, or 127 students, over the next 15 years. This would raise enrollment to about 10,599 students by Fall 2039. Within the total enrollment, the degree levels are expected to change at different rates. Undergraduate enrollment is projected to increase by 2.4%. Graduate enrollment is projected to decline by 8.5%. Doctoral enrollment is projected to increase by 15% over the next 15 years.

These projected growth rates are based solely on demographic scenarios. They do not include efforts already in motion to help enrollment numbers increase beyond the current trend.

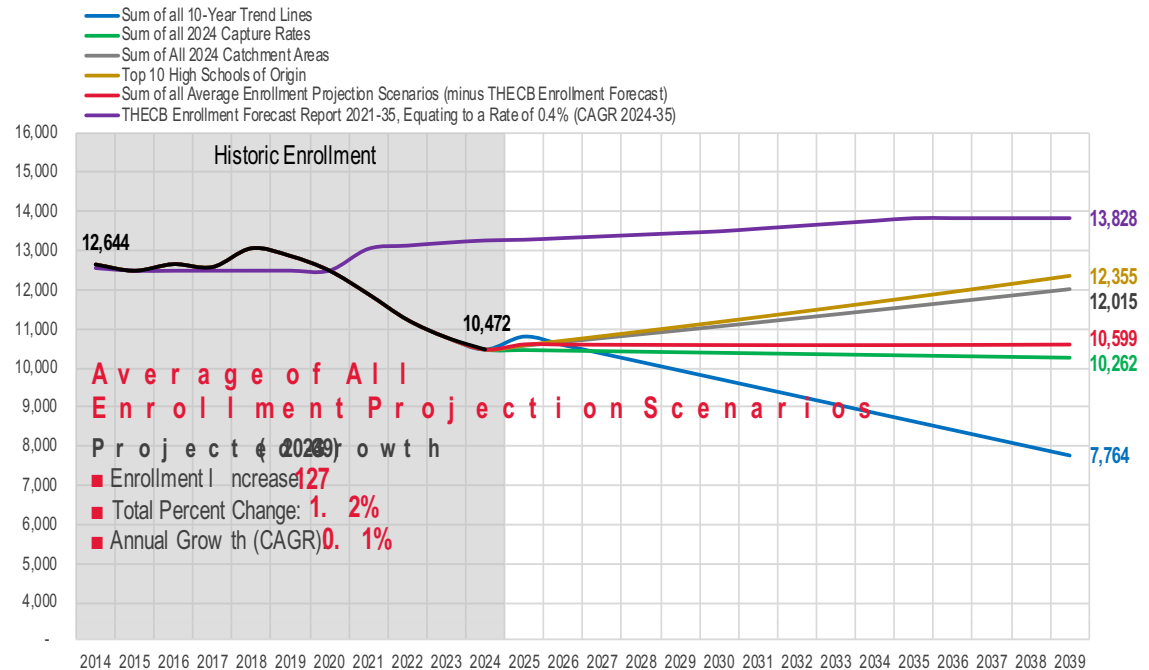


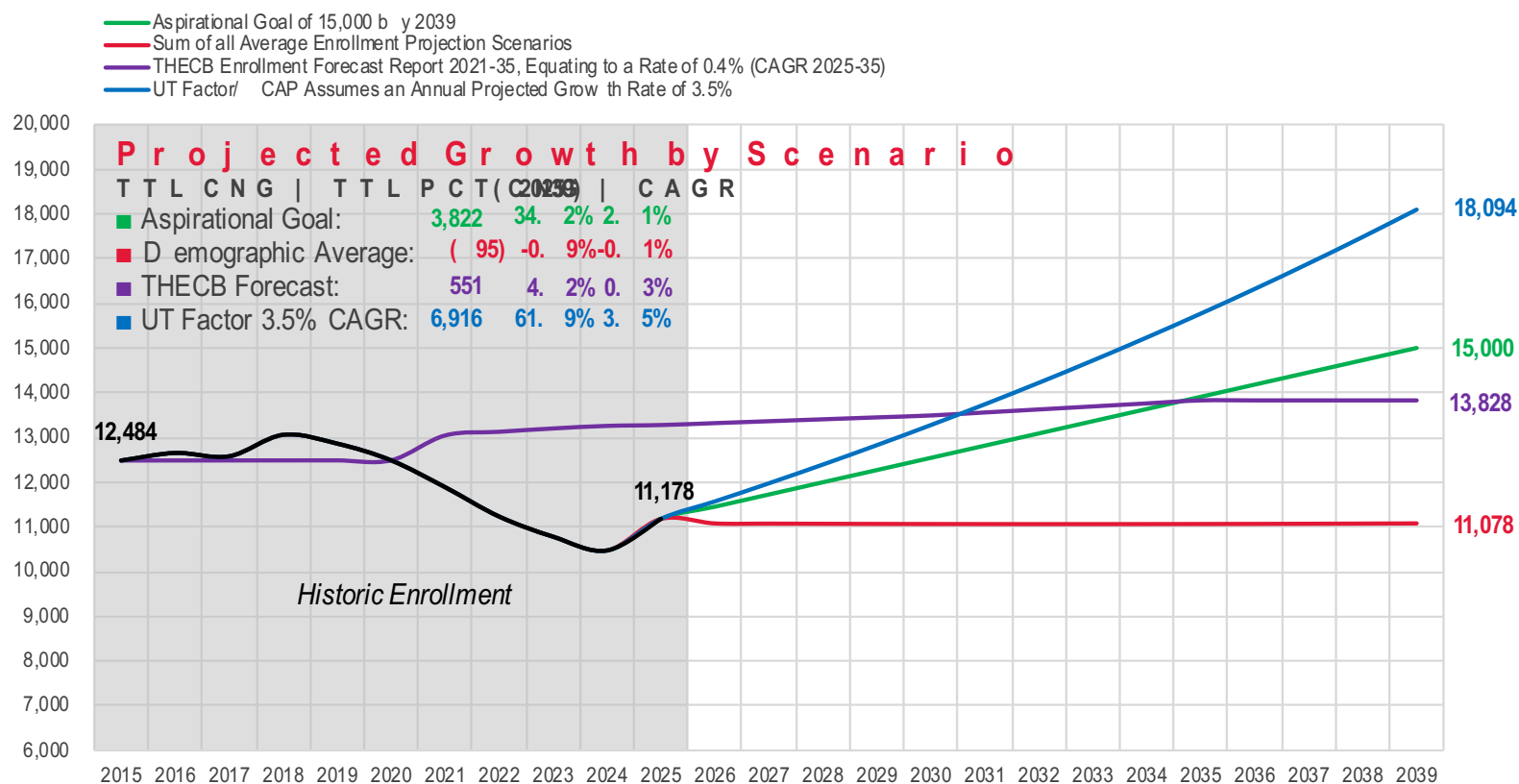
Figure 13. Total Combined Enrollment Projections - 2024 Demographic Baseline

## GROWTH STRATEGY

In 2023, SFA became part of the UT System. This affiliation is likely to significantly enhance the University's future growth. It expands SFA's enrollment pool, boosts funding for capital projects and elevates the University's reputation through increased research initiatives. Projects such as the new Forestry and Agriculture building and the Center for Entrepreneurship are underway, and the new dining center is complete. These additions further enhance SFA's appeal to prospective students.

While these resources position SFA for robust expansion, the full impact on total enrollment growth remains uncertain until more time has passed since affiliation. Nonetheless, a 3.5% CAGR, based on similar UT System campuses, serves as a reasonable base projection.

Included in this UT System base projection, SFA became a Coordinated Admission Program (CAP) participating school in the fall of 2025. The CAP program allows students admitted to the UT Austin campus to spend their freshman year on another campus, with the option to transfer to UT Austin in their second year. Combined with demographic



**Figure 14.** Total Combined Enrollment Projections

growth and campus initiatives, this 3.5% puts the total base enrollment projection at 18,094 students within 15 years.

In the fall of 2025, SFA's total enrollment grew to 11,178 students. This equates to a 6.7% increase from the previous year and indicates the recent campus efforts are creating a strong forward momentum. However, this high percentage is likely not sustainable year after year, as various campus projects will

take time to flow through development and implementation. The 3.5% projected CAGR is expected to mitigate those peaks and valleys.

Through this master planning process, the executive leadership of SFA has identified a goal to grow total enrollment to 15,000 students within the next 15 years. The various projection scenarios discussed support the probability of attaining this target.

The recommendations outlined in this Master Plan are designed to accommodate a total target enrollment of 15,000 students. This includes on-campus, hybrid, online-only and off-campus students.



# COLLABORATION & INPUT

A series of stakeholder engagement opportunities were hosted throughout the planning process, ranging from in-person interviews to virtual interactive activities. This section summarizes the stakeholder outreach efforts made throughout the process. For a detailed list of findings and responses, see Appendix A. The following engagement opportunities were provided for the faculty, staff and student body:

- In-person stakeholder interviews with student body representatives, department heads and University administrators.
- Individual surveys for faculty and staff members and the student body, disseminated virtually via the University's website and QR code postings.
- An interactive mapping activity shared with all stakeholders, which allowed for open commentary on three independent University properties: the Main Campus, the Center for Applied Research and Rural Innovation (CARRI) and the DeWitt School of Nursing.
- In-person interactive boards posted at the Baker Pattillo Student Center and R. W. Steen Library, soliciting feedback on stakeholders' campus vision and opinions on student life and academics.
- An in-person Campus Master Plan Open House with informational boards and comment card opportunities.

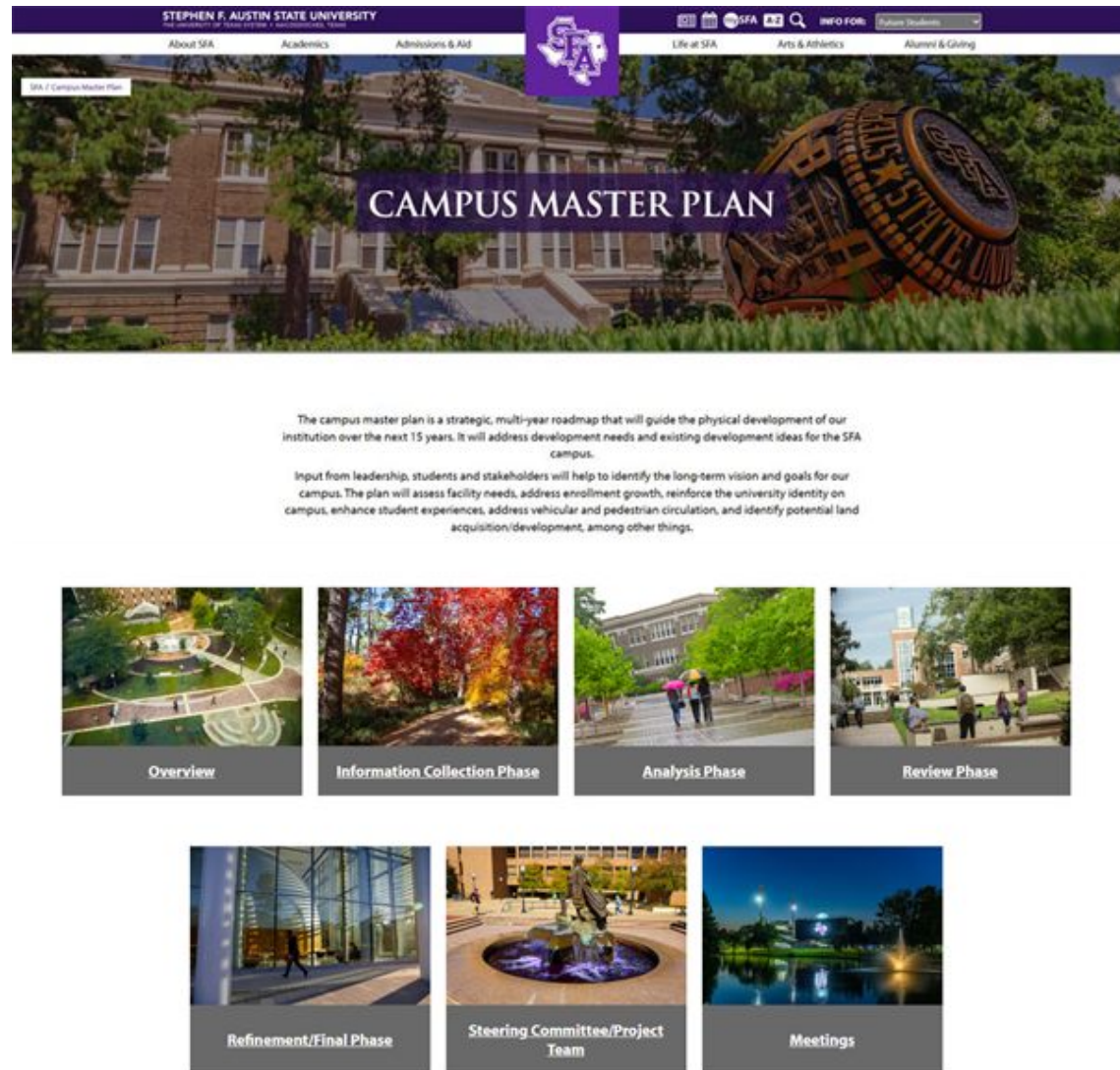


Figure 15. Campus Master Plan Website

## STAKEHOLDER INTERVIEWS

**Date:** Dec. 4 - 6, 2024

**Location:** Baker Pattillo Student Center

**Audience:** SFA (President, Vice Presidents, Deans, Faculty, Staff), Student Government Association (President), City of Nacogdoches, Texas, Freese and Nichols, Inc. (Prime Consultant), Facility Programming and Consulting (Subconsultant) and RDG Planning & Design, Inc. (Subconsultant)

**Overview:** The consulting team spent four days at SFA, leading a series of meetings with stakeholder groups across campus to identify space needs and the overall campus vision. The team also kicked off the athletics and recreation portions of the Plan with facility tours and a series of focused stakeholder listening sessions. The City of Nacogdoches was also involved in aligning goals with the City's vision and long-range planning objectives. Meeting sessions ranged from 45 minutes to 1.5 hours at the Baker Pattillo Student Center.

## FACULTY & STAFF SURVEY

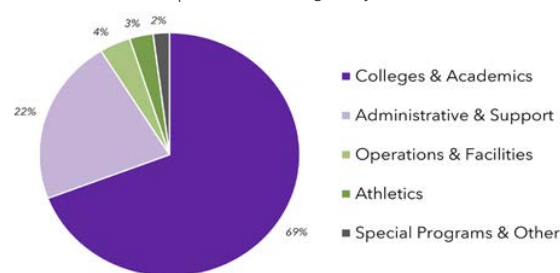
**Date:** Open Dec. 2024 - Feb. 2025

**Location:** Virtual

**Audience:** Faculty and staff members working across the University

**Overview:** Faculty and staff were asked questions regarding their specific place of work (e.g., department, physical location) and how strongly they agreed or disagreed with various statements related to the campus condition, signage, parking and the pedestrian experience. Overall, the survey captured approximately 9,040 unique responses from 395 respondents.

**Figure 16.** Faculty & Staff Survey Question  
"What department or college do you work for?"



## STUDENT SURVEY

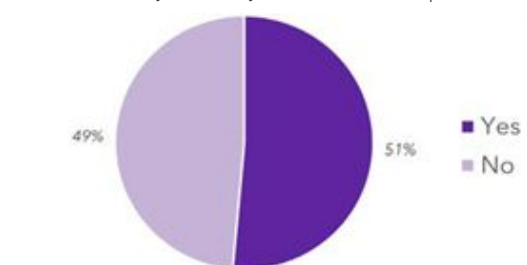
**Date:** Open Dec. 2024 - Feb. 2025

**Location:** Virtual

**Audience:** Students attending the University in person, online or in a hybrid format

**Overview:** Students were asked questions regarding their housing status and how strongly they agreed or disagreed with various statements related to life in Nacogdoches, the campus condition, student housing, parking, the pedestrian experience and student life. Respondents were also surveyed for their opinions on the DeWitt School of Nursing campus. Overall, the survey captured approximately 3,090 unique responses from 315 respondents.

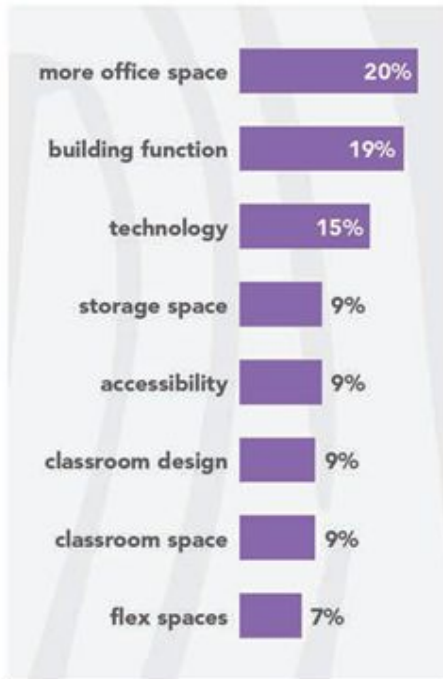
**Figure 17.** Student Survey Question  
"Do you currently live on the Main Campus?"





**395**  
faculty and staff participants  
**approx. 44**  
departments and disciplines

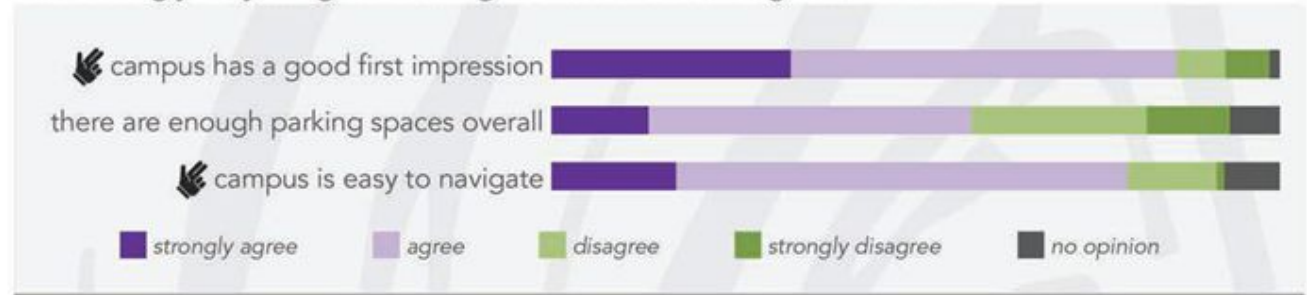
If you could change one aspect of your workspace, what would it be?



# Faculty & Staff Survey SUMMARY

*indicates similar answers*

How strongly do you agree or disagree with the following statements?



What are the best features of campus? (top 3 answers selected)



What features of campus need the most attention? (top 3 answers selected)



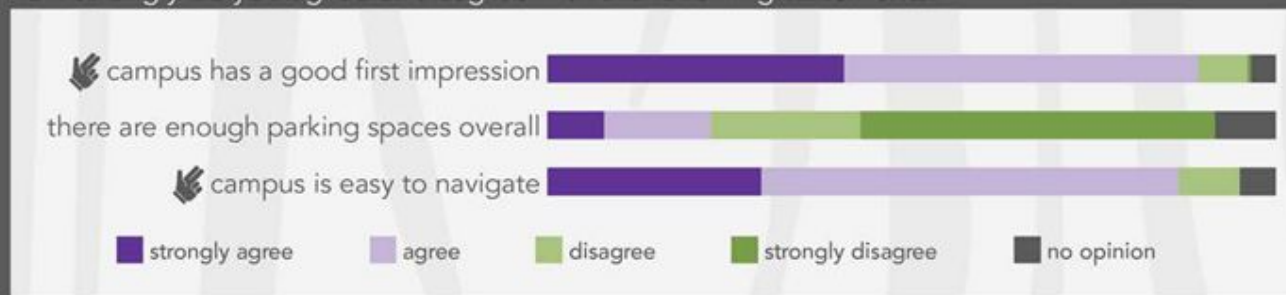
Figure 18. Faculty & Staff Survey Summary

# Student Survey **SUMMARY**



indicates similar answers

How strongly do you agree or disagree with the following statements?



What are the best features of campus? (top 3 answers selected)



What features of campus need the most attention? (top 3 answers selected)



**315**  
student participants  
**approx. 51%**  
living on campus

What would encourage you to spend more free time on campus?

**~24%**  
social and cultural events  
(STEM, Rusche, Student Center)

**~15%**  
recreation and sports  
(facilities, informal opportunities)

**~14%**  
food and dining options  
(late-night, food trucks, lounges)

Figure 19. Student Survey Summary



## INTERACTIVE BOARDS

**Date:** Boards available Dec. 2024 - Feb. 2025

**Location:** R.W. Steen Library and Baker Pattillo Student Center

**Audience:** Students, staff and faculty

**Overview:** A series of interactive boards was posted at the R.W. Steen Library and Baker Pattillo Student Center to gather passive, in-person feedback from interested passersby. Each location was provided with a set of boards: one asking for input on the overall campus vision, and one asking respondents what they love and would change about academics and student life at the University.

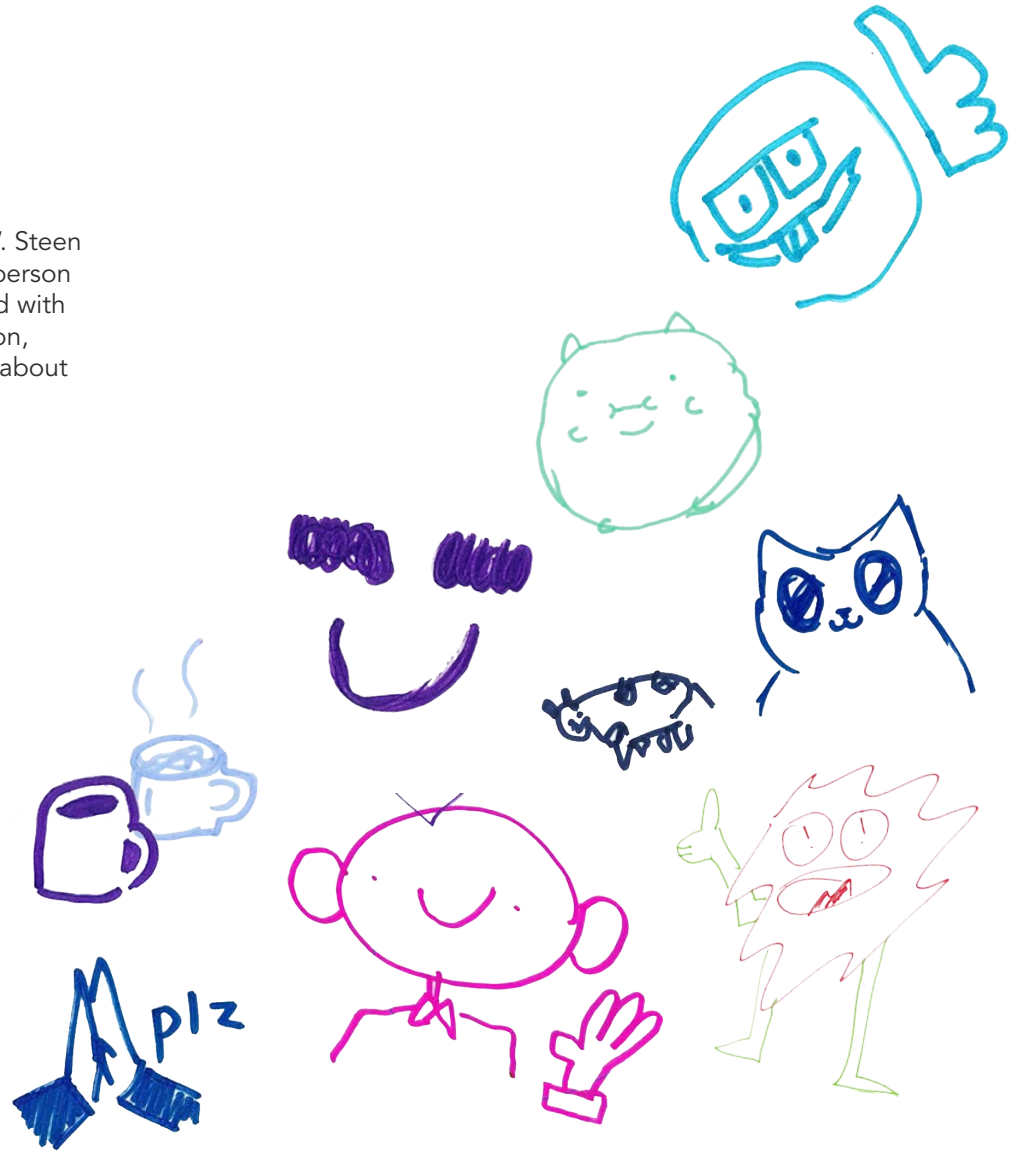


Figure 20. Student doodles drawn on interactive boards



Tell us what you **love** and what you'd **change** about **student life** and **academics**. Please write your thoughts below!

## Student Life

## Academics

**Student Life**

Scan the QR code to take the online survey!  
Visit [www.educationmap.ca](http://www.educationmap.ca) for more information.

The Clubs  
Student involvement  
How student is so nice and welcoming  
The Staff!!!  
The calendar  
The people & staff  
The way everyone has their own story to tell  
Chicken Alamo  
The staff and student workers  
The clubs  
The AARC  
The SC!!  
The campus  
My Boy  
The desert table at the SC  
The campus / environment of campus  
My ex-me too  
The Student Government  
The AARC  
The people who are nice to others  
The SC!!  
The campus / environment of campus  
My Boy  
The desert table at the SC  
The campus / environment of campus  
My ex-me too  
The Student Government  
The AARC  
The people who are nice to others  
The SC!!  
The campus / environment of campus  
My Boy  
The desert table at the SC

**Academics**

Great instructors  
The AARC  
Fun challenging courses  
Make grad program's  
No van  
Great social work program & learning masters program  
The happiness of professors  
91 minutes, like a teacher  
Great instructors  
The AARC  
Fun challenging courses  
Make grad program's  
No van  
Great social work program & learning masters program  
The happiness of professors  
91 minutes, like a teacher

**Student Life**

FOOL Needs to be Better!!!  
I love...  
The Staff!!!  
The calendar  
The people & staff  
The way everyone has their own story to tell  
Chicken Alamo  
The staff and student workers  
The clubs  
The AARC  
The SC!!  
The campus  
My Boy  
The desert table at the SC  
The campus / environment of campus  
My ex-me too  
The Student Government  
The AARC  
The people who are nice to others  
The SC!!  
The campus / environment of campus  
My Boy  
The desert table at the SC

**Academics**

Great instructors  
The AARC  
Fun challenging courses  
Make grad program's  
No van  
Great social work program & learning masters program  
The happiness of professors  
91 minutes, like a teacher  
Great instructors  
The AARC  
Fun challenging courses  
Make grad program's  
No van  
Great social work program & learning masters program  
The happiness of professors  
91 minutes, like a teacher

**Figure 21.** “What do you love/what would you change?” Interactive board scans



## INTERACTIVE MAP

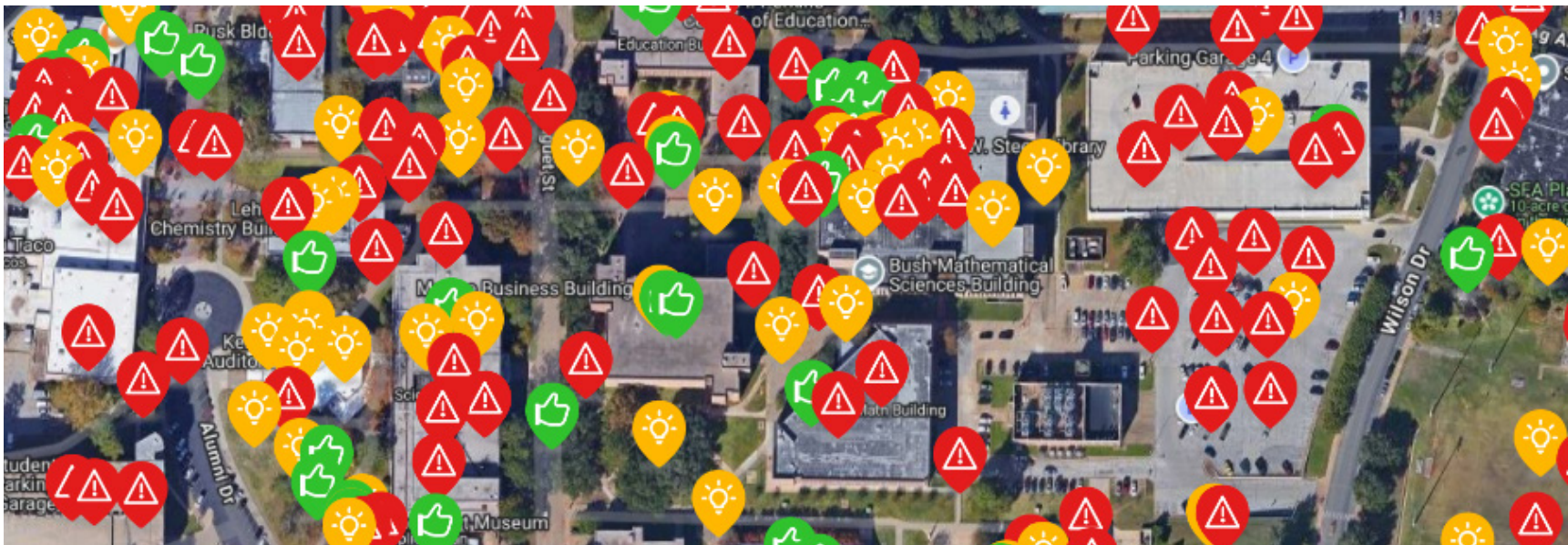
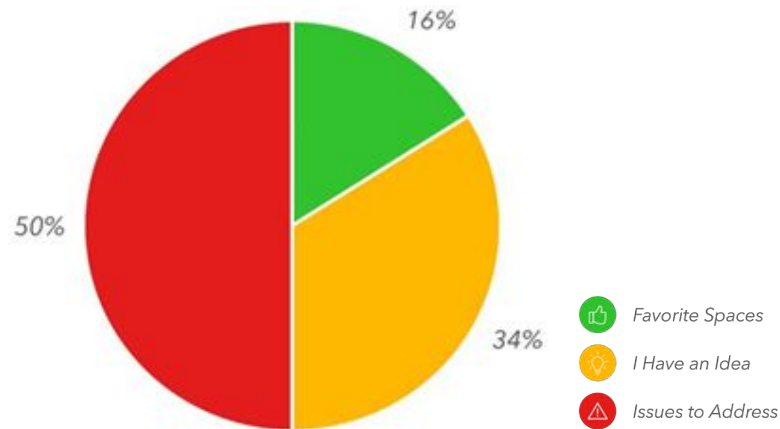
**Date:** Dec. 2024 - Feb. 2025

**Location:** Virtual

**Audience:** Students, staff and faculty

**Overview:** The University published and hosted an online interactive map to gather site-specific feedback from interested students, staff and faculty. Respondents were asked to drop pins identifying their favorite spaces, places where they have ideas or suggestions and areas where they have issues they'd like addressed.

**Figure 22.** Map Response Composition



## CAMPUS MASTER PLAN OPEN HOUSE

**Date:** Sept. 9, 2025

**Location:** Baker Pattillo Student Center

**Audience:** Students, staff and faculty

**Overview:** The University hosted an all-day Campus Master Plan Open House to present the draft recommendations and progress of the Plan to interested faculty, staff and students. Located at the Baker Pattillo Student Center, the University posted a series of 25 informational boards, including illustrative renderings and Master Plan data, for a come-and-go viewing window of 10:00 a.m. to 5:00 p.m. The very well attended event concluded with a structured presentation regarding the Plan's status and preliminary recommendations.









# EXISTING CONDITIONS & ANALYSIS



# LANDHOLDINGS

The SFA main campus covers 421 acres, featuring 36 academic buildings, nine residence halls and 68 acres of scenic trails that weave through six gardens. The majority of the campus is bordered by E. Austin Street to the north, N. University Drive to the east, E. Starr Avenue to the south and North Street (US 59 Business) to the west. There are a few parcels located outside of this core campus area.

In addition, the Arthur Temple College of Forestry and Agriculture's Walter C. Todd Agricultural Center is 726 acres. The College also manages more than 3,400 acres, including the SFA Experimental Forest.



*Gayla Mize Garden Labyrinth*



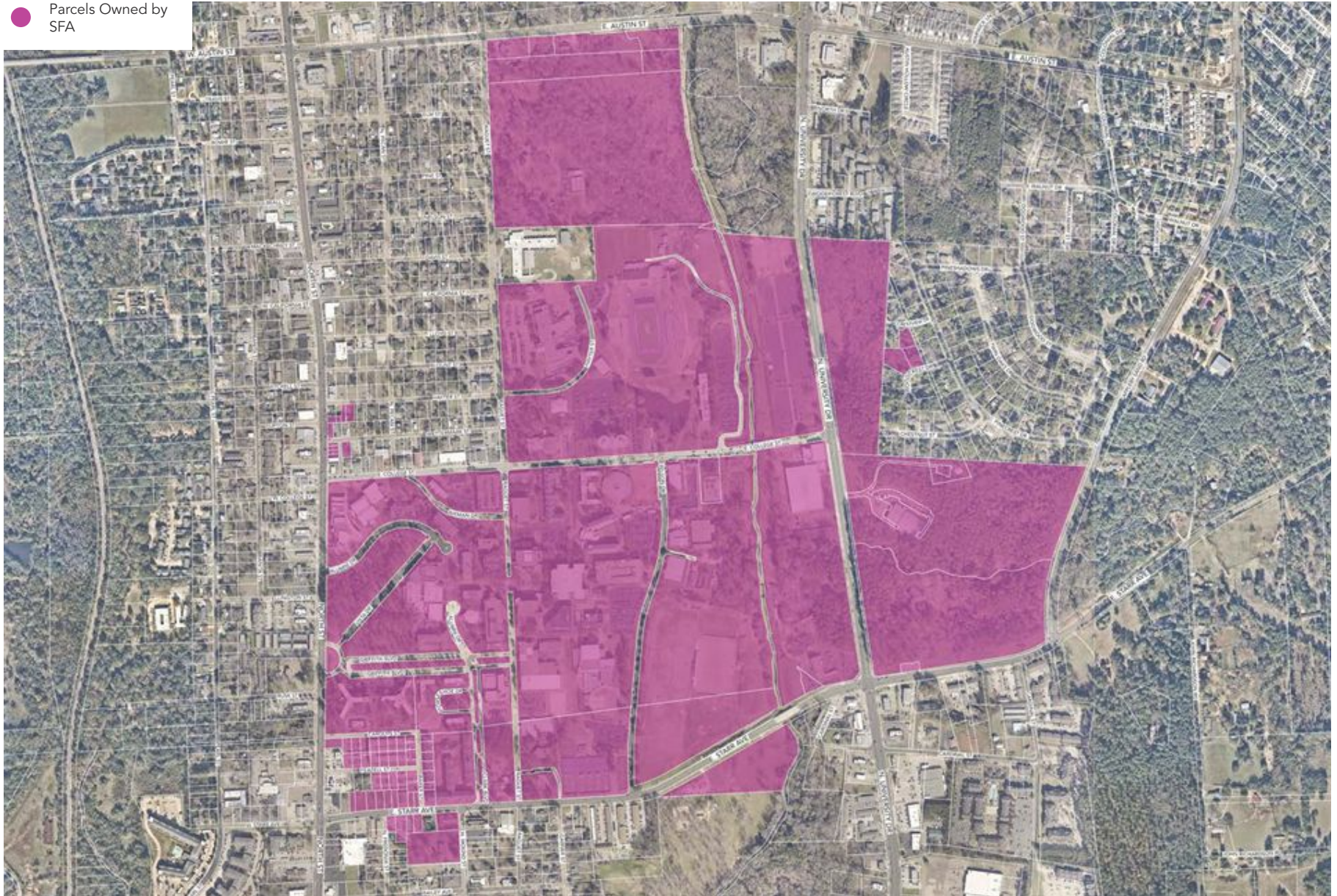
*Culinary Cafe*



*Homer Bryce Stadium*



● Parcels Owned by  
SFA



**Map 5.** Landholdings

Scale: N.T.S. 



# EXISTING LAYOUT

The campus reflects the region's woodlands with its scenic landscape, walking trails, gardens and mature trees. The campus is relatively compact with most academic buildings, student housing and recreational facilities within easy reach of each other. Facilities like the Cole STEM Building, Baker Pattillo Student Center and Steen Library are clustered near the center of campus. The campus is linked via tree-lined walks and two pedestrian malls. While the core of campus from E. College Street to Starr Avenue is relatively pedestrian friendly, there are a few key points of pedestrian/vehicular conflict as the campus extends beyond this area.



*Baker Pattillo Student Center*



*Lumberjack Landing Residence Hall*



*Statue of Stephen F. Austin in front of Steen Library*

- 1 Advancement Annex
- 2 Agricultural Mechanics Shop
- 3 Agriculture Building
- 4 Agriculture Greenhouse
- 5 Art Building
- 6 Art Studio
- 7 Art Studio Annex
- 8 Athletics Ticket Office
- 9 Austin Building
- 10 Baker Pattillo Student Center
- 11 Biology Greenhouse
- 12 Boynton Building
- 13 Brundrett Conservation Education Building
- 14 Bush Mathematical Sciences Building
- 15 Central Stores and Receiving, Housing Operations
- 16 Cole STEM Building
- 17 Construction Management
- 18 Culinary Cafe
- 19 Dugas Liberal Arts North
- 20 Eatery on East
- 21 Education Annex
- 22 Environmental Health, Safety and Risk Management
- 23 Ferguson Building
- 24 Fieldhouse
- 25 Forestry Building
- 26 Forestry Greenhouse
- 27 Forestry Laboratories
- 28 Griffith Fine Arts Building
- 29 Griffith Hall
- 30 Grounds and Transportation
- 31 Hall 10
- 32 Hall 14
- 33 Hall 20
- 34 Homer Bryce Stadium
- 35 Human Sciences Building North
- 36 Human Sciences Building South
- 37 Human Services Building
- 38 Janice A. Pattillo Early Childhood Research Center
- 39 Johnson Coliseum
- 40 Juanita Curry Boynton House/President's House



- 41 Kennedy Auditorium
- 42 Kerr Hall
- 43 Kingham Children's Garden
- 44 Lehmann Chemistry Building
- 45 Lumberjack Landing
- 46 Lumberjack Lodge
- 47 Lumberjack Village Community Building
- 48 Lumberjack Village (Buildings 1, 2, 3 and 4)
- 49 McGee Business Building
- 50 McKibben Education Building
- 51 McKinney Fine Arts Annex
- 52 Military Science Building
- 53 Miller Science Building
- 54 Murphy Wellness Center
- 55 Music Prep House
- 56 Naymola Basketball Performance Center
- 57 North Hall
- 58 Norton HPE Complex
- 59 Parking Services
- 60 Pearman Alumni Center
- 61 Physical Plant
- 62 Pinewoods Dining Hall
- 63 The Plantery
- 64 Press Box
- 65 Rusk Building
- 66 Schief Tennis Complex
- 67 SFA Theatre Scene Shop
- 68 Shelton Gym
- 69 Social Work Building
- 70 South Hall
- 71 Steen Hall
- 72 Steen Library
- 73 Stone Fort Museum
- 74 Student Recreation Center
- 75 Ticket Booth
- 76 Tucker Building/Health and Wellness Hub
- 77 University Police Department
- 78 Wildlife Habitat and Silviculture Laboratory
- 79 Wisely Hall
- 80 Wright Music Building

**Map 6.** Existing Layout

Scale: N.T.S. 



# CAMPUS & SURROUNDING LAND USES

SFA sits at the center of Nacogdoches, surrounded by a mix of residential, commercial, recreational and institutional uses. The campus is bordered by established neighborhoods featuring single-family and multi-family housing, as well as major thoroughfares such as North Street and University Drive. These corridors are lined with restaurants and shops. The surrounding parks, gardens and open spaces provide access to outdoor recreation. While Downtown Nacogdoches is approximately one mile south of campus, there is no comfortable pedestrian route to get there.



*E. College Street Land Uses*

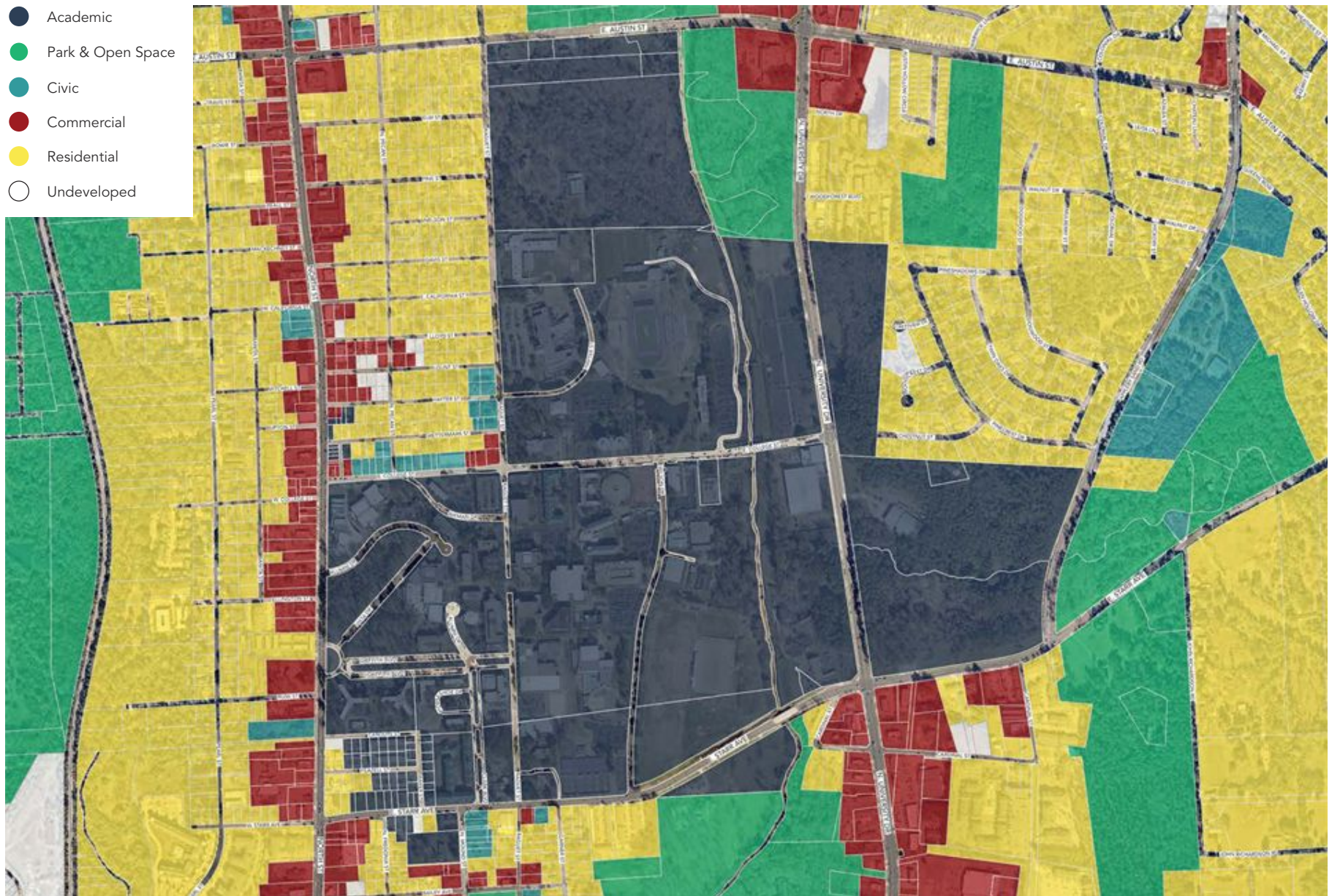


*Commercial Uses along North Street*




*Hayter Street Residential Neighborhood*





**Map 7.** Campus & Surrounding Land Uses

Scale: N.T.S. 



# BUILDING FUNCTIONALITY

The campus features a range of buildings designed to support student, academic, administrative, athletic and residential functions.

The majority of academic, administrative and university services are concentrated in the center of campus. The Griffith Fine Arts Building and Wright Music Building are two exceptions that extend academic functions to the west along E. College Street.

Residence halls are primarily located in the southwestern portion of campus and along E. College Street, where each cluster provides access to academic and university services.

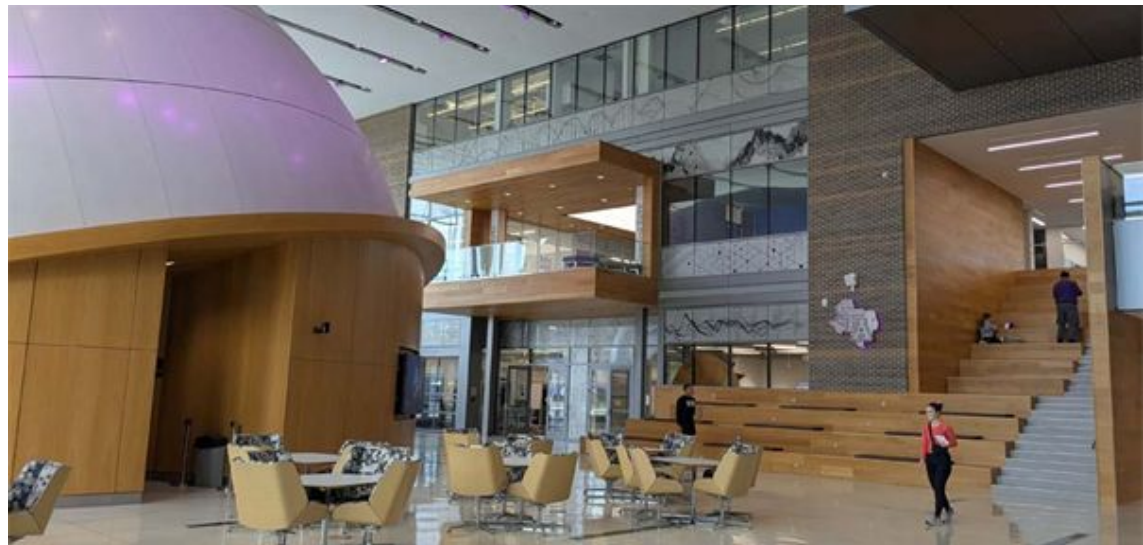
Athletics and recreation facilities occupy the eastern portion of campus including major destinations in Homer Bryce Stadium and Johnson Coliseum. The Student Recreation Center, Schlieff Tennis Complex and intramural fields form a recreational corridor along Wilson Drive.



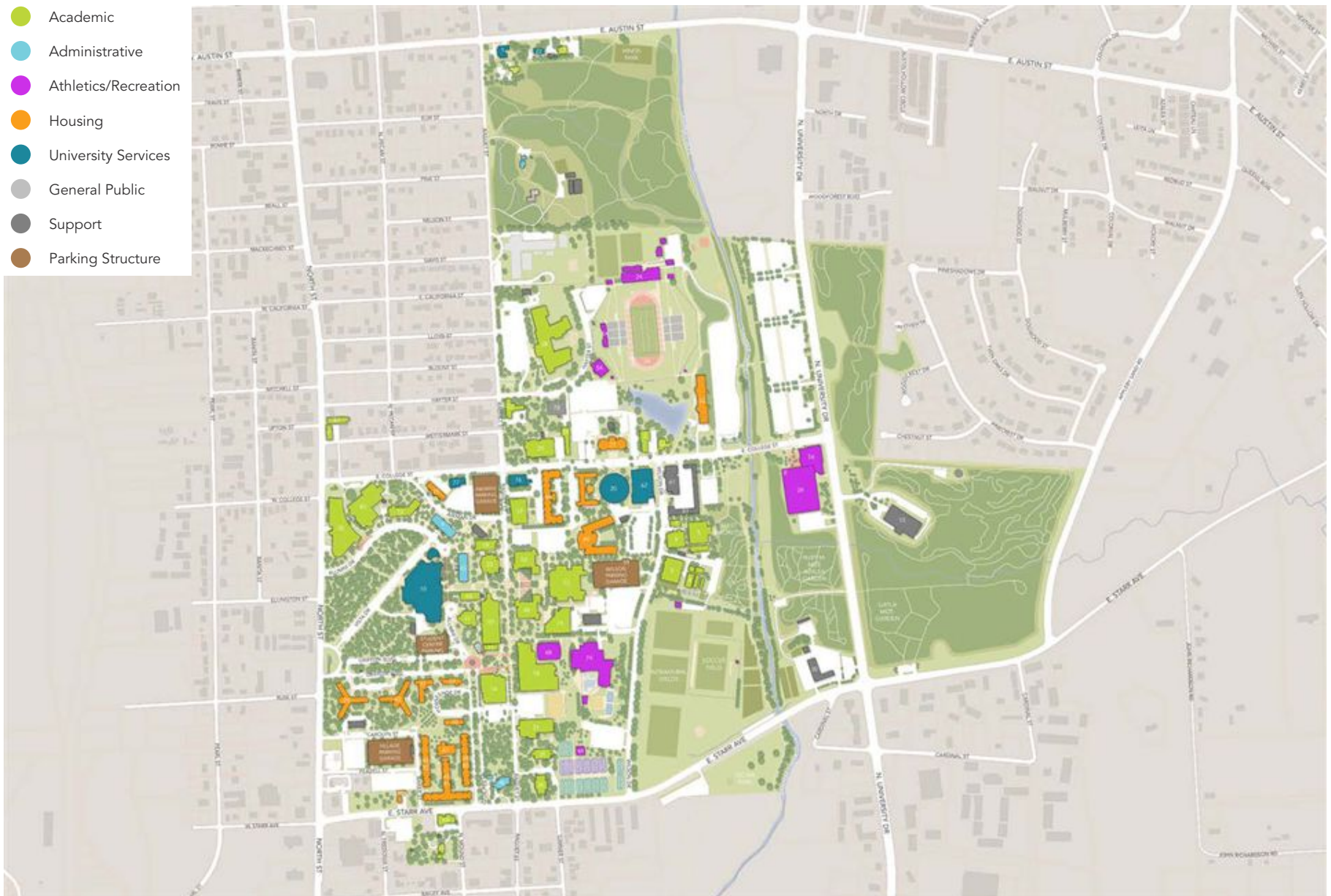
*Baker Pattillo Student Center*



*Naymola Basketball Performance Center*



*Cole STEM Building*



Map 8. Building Functionality

Scale: N.T.S.



# VEHICULAR ACCESS & CIRCULATION

North Street (US 59 Business) is the main arterial road running north-south along the western edge of campus. It serves as the primary route for visitors, providing access to the University's main entrance.

The vehicular entrance along North Street can be confusing for first-time visitors with multiple, non-connecting one-way segments leading in different directions. Vista Drive/Alumni Drive are one-way roads that provide access to the north central part of campus. First-time visitors are sometimes confused by the circulation pattern and accidentally travel the wrong way on this corridor. Griffith Boulevard is a one-way couplet providing access to the Student Center Parking Garage and the south central part of campus. Vista Drive and both segments of Griffith Boulevard intersect the circular entrance at North Street.

E. College Street runs east-west through campus and connects North Street to University Drive. It provides access to residence halls, parking lots and athletic facilities. Vehicles tend to move quickly through this corridor with substantial pedestrian activity, creating a hazardous condition.

Starr Avenue runs along the south edge of campus. Students often cross the street at unsignalized locations to access uses to the south. Most notably, Wilson Drive intersects Starr Avenue at an unsignalized location on a curve, toward the bottom of a hill. This is a significant safety hazard for pedestrians crossing to access the parking area to the south.



View east along E. College Street from Raguet Street

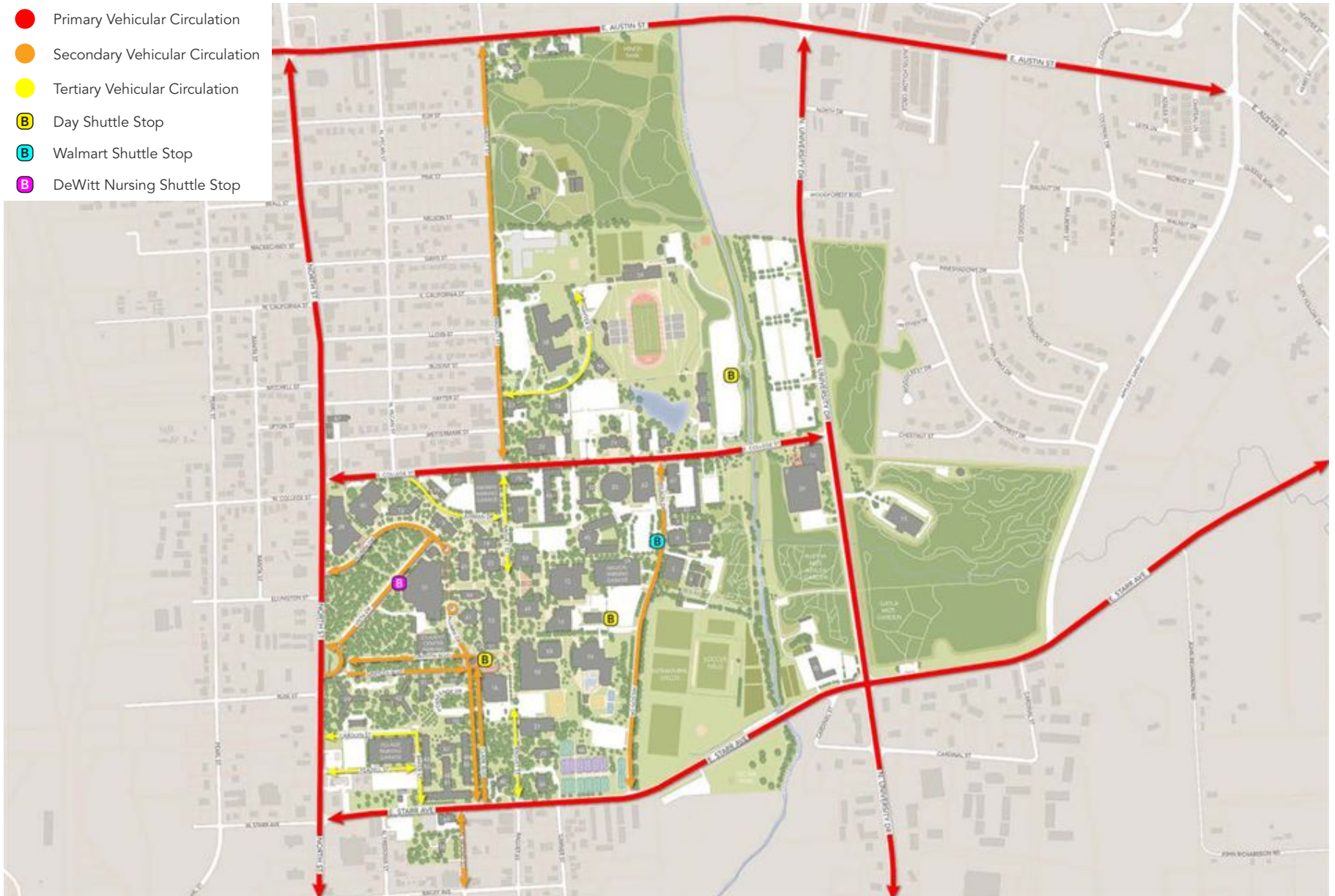


Looking west at Intersection of Wilson Drive and Starr Avenue



View of Vista Drive and both legs of Griffith Boulevard from the North Street Entrance

- Primary Vehicular Circulation
- Secondary Vehicular Circulation
- Tertiary Vehicular Circulation
- Day Shuttle Stop
- Walmart Shuttle Stop
- DeWitt Nursing Shuttle Stop



Map 9. Vehicular Access & Circulation

Scale: N.T.S.



# PEDESTRIAN CIRCULATION

Pedestrian circulation is organized around a hierarchy of primary and secondary routes. The primary pedestrian network extends through the campus core, where most academic and administrative buildings are located. The Raguet Street Mall functions as a major north-south pedestrian spine, while an intersecting east-west mall connects the Steen Library to the Baker Pattillo Student Center. Together they form a central axis of campus circulation.

A portion of E. College Street, between Raguet Street and Wilson Drive, is a heavily used pedestrian corridor, experiencing periods of congestion and conflicts between pedestrians and vehicles. Additional primary pedestrian routes link key destinations such as the residence halls and the Student Recreation Center.

Secondary pedestrian routes extend toward the outer edges of campus, reaching many of the athletic facilities on the north side and additional student housing to the south.

The pedestrian environment is one of SFA's defining characteristics and plays a vital role in the overall functionality and identity of the campus. Maintaining these corridors will include improving pavement conditions, enhancing accessibility and providing additional shade through tree canopy cover. Expanding the pedestrian malls throughout campus would extend the welcoming pedestrian experience beyond the core of campus.



*Raguet Street Mall*

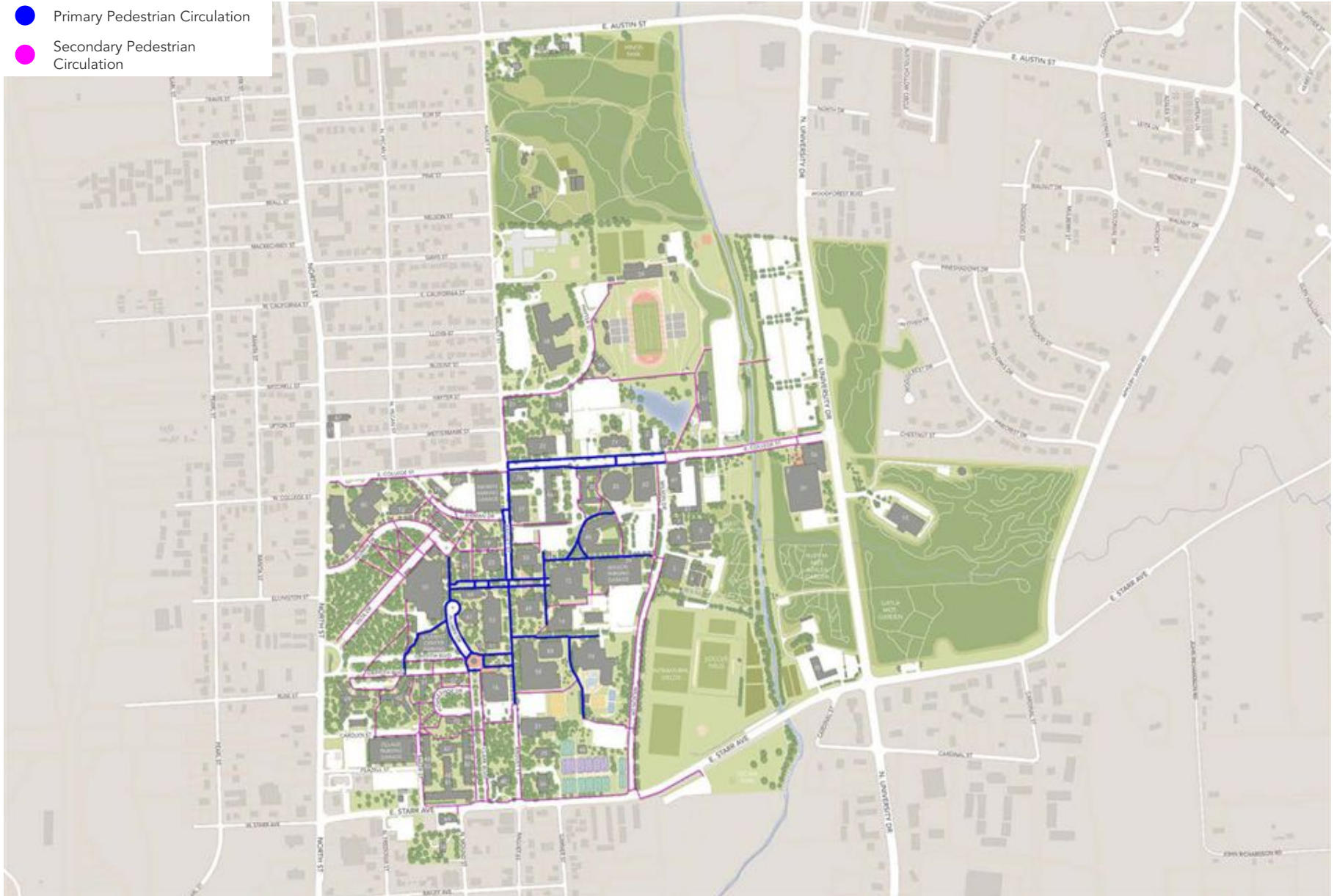


*Walks through Sesquicentennial Plaza*



*Student Center Mall*

- Primary Pedestrian Circulation
- Secondary Pedestrian Circulation



Map 10. Pedestrian Circulation

Scale: N.T.S.



# PARKING

Parking on the SFA campus is managed by Parking Services, under Facilities Services and Campus Operations, and includes an inventory of over 8,000 spaces across 58 facilities. While most of this supply is found in surface lots or on-street spaces, four parking garages provide 2,518 spaces (30.7% of the total parking supply).

The largest allocation of parking inventory is assigned to commuters, with 2,708 total spaces, about 33% of the total parking supply. 1,168 of these spaces are in the Coliseum – North lot, also known as the Commuter Lot, which is the largest surface parking lot on campus. Residents have 2,556 allocated spaces throughout the campus, approximately 31%, concentrated mostly in parking garages. As shown in Map 11, most of the campus is within a ¼-mile radius (approximately 5-minute walk) of parking garages, indicating that most on-campus destinations are within walking distance from the existing garages.

The parking supply on campus is supplemented by a shuttle service that takes students to various locations on and off campus. Three-stop, five-minute routes allow students to circulate through campus without parking directly next to their destination. Two off-campus routes go to the Dewitt School of Nursing and Walmart. Shuttle routes are planned in conjunction with the Student Government Association. Ridership has generally been low, with some users noting that the routes change frequently, making it difficult to rely on the shuttles for their daily commutes.

## SUPPLY/DEMAND

The existing parking supply and demand on campus were evaluated based on a review of existing utilization data, Institute of Transportation Engineers (ITE) parking generation rates, and the Nacogdoches Code of Ordinances. Supply was determined by counting the existing inventory of spaces in each surface lot, dedicated on-street parking area and garage. Demand was calculated using weekday peak-hour enrollment figures and student residential parking policy to capture the highest demand periods. Because this method reflects peak weekday demand based on academic enrollment, the increase in athletic parking demand during special events was not included in the calculations.

The analysis calculates that there is currently a deficit in parking supply based on the existing weekday peak hour demand. Additionally, changes to the campus layout and future improvements may put further strain on the existing parking supply if no changes to the current quantity and arrangement of parking are made. A more balanced and efficient approach to managing parking inventory is needed to meet this increase in demand.

Rather than expanding surface parking in central areas, a comprehensive strategy that manages both parking supply and demand, while advancing a more walkable, connected, and sustainable campus environment should be considered.

**Figure 23.** Summary of Existing Parking Spaces

| Type of Parking | Quantity     |             |
|-----------------|--------------|-------------|
| Faculty/Staff   | 1,901        | 23%         |
| Resident        | 2,556        | 31%         |
| Commuter        | 2,708        | 33%         |
| Visitor         | 43           | 1%          |
| Other           | 1,007        | 12%         |
| <b>Total</b>    | <b>8,215</b> | <b>100%</b> |

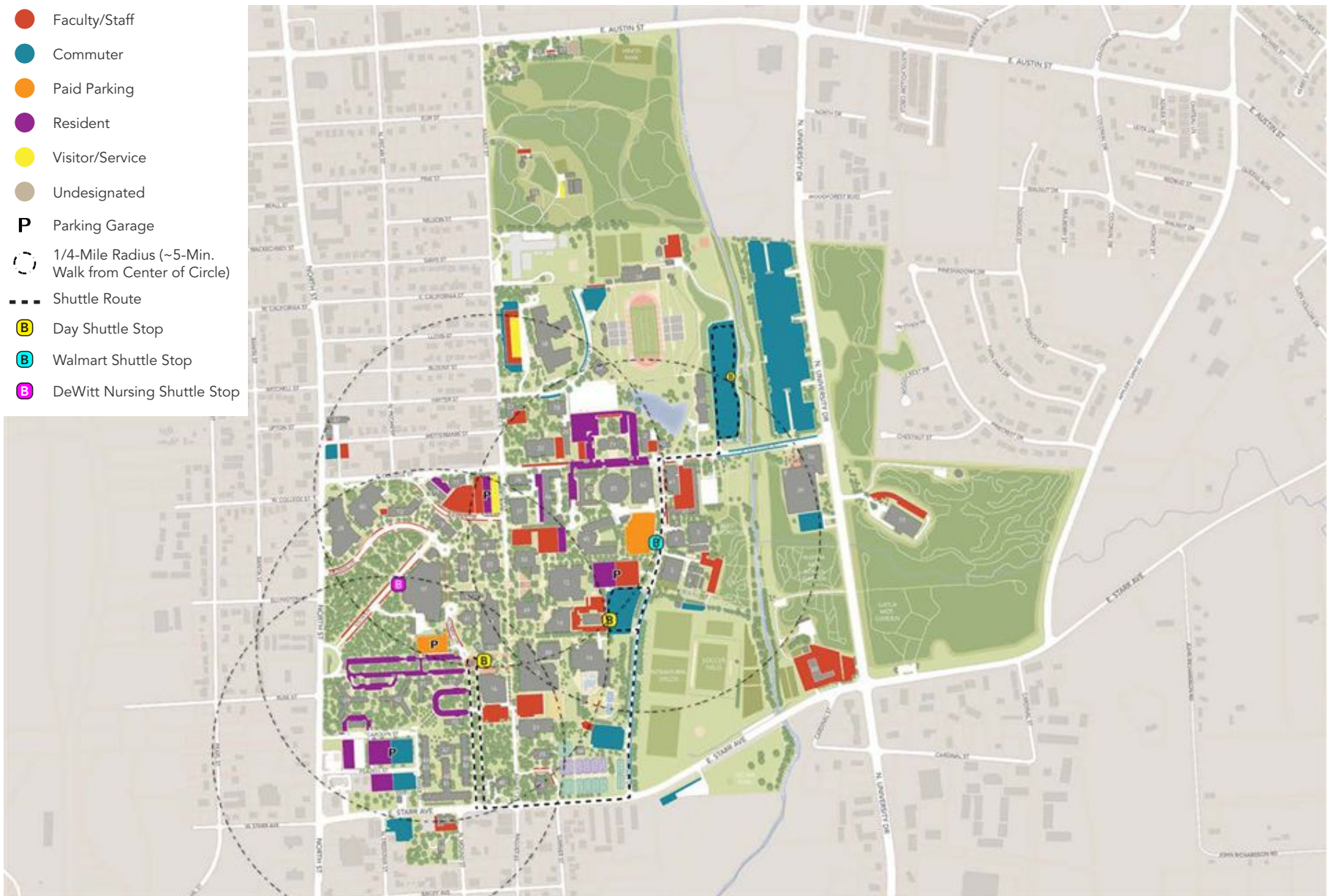


Village Parking Garage



Commuter Lot

- Faculty/Staff
- Commuter
- Paid Parking
- Resident
- Visitor/Service
- Undesignated
- P** Parking Garage
- 1/4-Mile Radius (~5-Min. Walk from Center of Circle)
- Shuttle Route
- Day Shuttle Stop
- Walmart Shuttle Stop
- DeWitt Nursing Shuttle Stop



Map 11. Parking

Scale: N.T.S. N



# LANDSCAPE & OPEN SPACE

The landscape and open space of the campus reflects the native woodland character of the Piney Woods region and provides both visual continuity and ecological value throughout the campus.

At the primary entrance along North Street, “The Vista” is a large open space defined by dense stands of mature trees, which create a memorable first impression and establish the natural tone of the campus environment. Across the campus, open lawns, shaded courtyards and shaded pedestrian corridors weave between academic buildings, residence halls and athletic facilities.

To the north and east, the landscape transitions to recreation and athletic fields as well as research centers and gardens. The Mast Arboretum, Ruby M. Mize Azalea Garden and the Piney Woods Native Plant Center strengthen SFA's connection to its regional ecology by providing spaces for research, education and community interaction.



*The Vista*



*Ruby M. Mize Azalea Garden*



*Intramural Fields*

-  Gathering Areas
-  Areas to Preserve
-  Forest Edge
-  Turf
-  Natural Area
-  Athletic Field
-  Tree/Wooded Area



Map 12. Landscape & Open Space

Scale: N.T.S. 



# NATURAL FEATURES

The SFA campus lies within a watershed that drains toward Lanana Creek, which forms a defining natural feature through the eastern edge of campus. A substantial portion of the campus is situated within the 100-year floodplain, limiting these areas to less intensive forms of development. These low-lying areas, including the intramural playing fields, are known to experience flooding during major storm events, underscoring the importance of flood management and resiliency planning.

While the banks of Lanana Creek are characterized by slopes exceeding 10%, the majority of the campus terrain remains relatively flat or gently sloped. Other areas with notable topographic changes include the western slope along Wilson Drive, the Pineywoods Native Plant Center and Homer Bryce Stadium.

## LANANA CREEK WATER QUALITY <sup>1</sup>

As SFA continues to evolve as a leading member of the UT System, the stewardship of its natural assets—particularly the Lanana Creek watershed (also referred to as La Nana Bayou)—remains central to the campus's environmental and community identity. The watershed, which flows directly through University property, is a defining landscape element that connects the campus to the broader Nacogdoches watershed. Recent

studies by the Texas Water Resources Institute, Angelina & Neches River Authority, and TCEQ have identified elevated *E. coli* concentrations and nutrient levels in Lanana Creek, indicating ongoing water quality challenges linked to urban stormwater runoff.

Much of this runoff originates from the impervious surfaces of the urbanized watershed, where rainfall rapidly conveys pollutants such as sediment, organic matter and bacteria into the creek. The predominance of soils which have slow infiltration and high runoff potential further amplifies these conditions. Together, these factors underscore the importance of integrating sustainable stormwater practices into the campus landscape to protect water quality and enhance ecological resilience.



*Slopes at Schlief Tennis Complex*



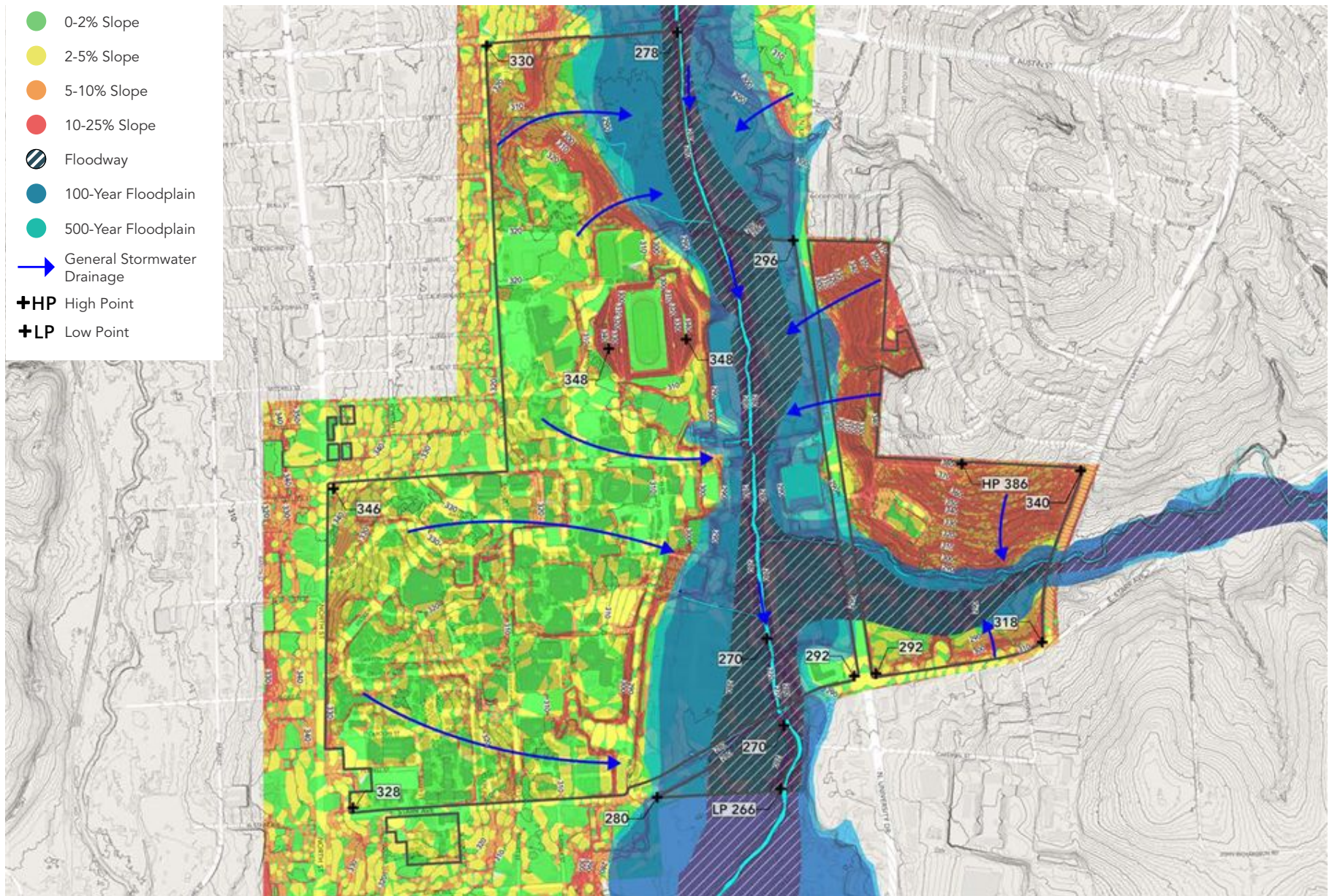
*Intramural Fields in the Floodplain*



*Lanana Creek Following a Rain Event*

<sup>1</sup> For additional information, please refer to the 2023 La Nana Bayou Watershed Protection Plan: <https://twri.tamu.edu/wp-content/uploads/2024/04/tr-547.pdf>





Scale: N.T.S.



# SIGNAGE & WAYFINDING

The campus features various gateway monuments and wayfinding elements that provide orientation and visual identity. Gateway monuments mark primary entrances along E. College Street, North Street and Starr Avenue.

Throughout the campus, vehicular and pedestrian directional signage guide visitors to major destinations such as academic buildings, residence halls, parking areas and athletic facilities. These wayfinding elements are designed with the University's visual standards, typically incorporating the school's colors and logo. However, a refresh of wayfinding signage is warranted as many signs are fading and present a less favorable campus image.







*SFA Roundabout Monument*



*Wayfinding/Informational Signage*



*North Street Monument Sign*

-  Informational Signage
-  Monument Signage
-  Pedestrian Crossing
-  Bus Stop Signage



Map 14. Signage & Wayfinding

Scale: N.T.S. 



# UTILITIES

The Utility Master Plan encompasses the electrical, mechanical, water, sanitary sewer and storm water systems across the campus. Existing conditions for each utility system are summarized below. See Appendix E for detailed system descriptions, data and mapping.

## **ELECTRICAL**

The campus electrical network comprises three circuits: red, green and blue. The red circuit on the southeast handles heavy loads like HVAC and major facilities, the green is centrally located with about 24.9% usage, and the blue is the largest and serves the north and west with 60.9% usage despite wiring chokepoints. Additionally, roughly 90% of the powerlines are underground, while the overhead lines—often sharing infrastructure with Oncor—are prone to natural hazards. SFA owns and maintains three transformers at the Oncor Substation located on E. College Street.

## **MECHANICAL**

The campus has several plants supplying chilled and hot water, all facing aging issues and capacity constraints:

- Plant #1: Mix of new and dated equipment; aging pipes need replacement, cooling towers need upgrades, and energy-saving measures could be improved.
- Plant #2: The largest plant recently upgraded with new chillers, but some older cooling towers require replacement and expansion options are being considered.
- ECRC Plant: Operates with one new and one old chiller with limited redundancy; additional chiller, cooling tower and boiler updates are needed.
- Village Plant: Contains outdated equipment and should eventually be integrated into modernized systems.
- ART/AG Plant: Undergoing partial updates with two new chillers and decommissioning of old systems.
- BPSC Plant: Requires significant upgrades including new chillers, towers and boiler renovations.
- Human Science Area: Its self-contained system has been abandoned and will be removed.
- Griffith-Kerr Plant: New cooling tower and piping – all in good condition.



Plant #1





## WATER

The campus is surrounded and intersected by multiple City water lines with no upcoming capital improvement projects. Boundary water lines include an 8"-12" main along E. Starr Avenue, a 12" main along N. University Drive, a 6" main along North Street, and 12" mains along both E. College Street and Raguet Street. A separate 12" line with a reported 20' easement, used exclusively for fire protection and not metered, runs from Ruby M. Mize Azalea Garden through the Intramural Fields to Griffith Boulevard, then continues along Baker and Feazell Streets to join the main system. Pipe materials vary (ductile iron, cast iron, PVC) with limited sections of asbestos concrete pipe at E. Starr Avenue and N. University Drive that are not directly connected to the campus.

The private campus system features both looped mains and dead-end runs with several master meters connecting it to the City of Nacogdoches' public network. Irrigation lines and lines servicing the power plants are sub-metered along the private system.

## SANITARY SEWER

The campus uses both private and public sewer lines ranging from 3" to 36". Key collectors include:

- 8" line: Runs along Raguet and E. College Streets to the City line at North Street; serves Childhood Research Center, University Police, Wisely Hall, Boynton, Wright Music and Griffith Fine Arts.
- 15" line (north of Intramural Fields): Ties into a 24" City line; serves Student Recreation Center, Steen Library, Bush Mathematical Sciences, Shelton Gym, Norton HPE, McGee Business, McKibben Education, Lumberjack Lodge, Human Services, Tucker and Forestry facilities.
- 15" line (along Lanana Creek): Serves the Stadium complex, Hall 20, Steen Hall, Mechanics Shop, Military Science, Hall 16, Physical Plant, Art Studio/Additions and Agriculture buildings.

Additionally, the Coliseum connects directly to the City's 24" line, with all other buildings ultimately discharging into it.

Two major sanitary sewer improvement projects are planned: replacing the failing 12" collector line behind Raguet Elementary School and upgrading the 24" concrete line along Lanana Creek. Additionally, the 8" line on Raguet Street has known inflow and infiltration (I/I) issues. A flow test is recommended to assess its impact and potential capacity concerns.

## STORM SEWER

The campus relies on a gravity-fed drainage network composed of curb inlets, catch basins, and a series of pipes ranging from 3 to 60 inches in diameter that convey stormwater eastward toward Lanana Creek.

The Ag Pond collects water from north of E. College Street (along with runoff from nearby residential lots) and diverts overflow via a spillway into a concrete channel, which discharges into Lanana Creek. This direct conveyance system, and the absence of underground detention or treatment facilities, allows direct runoff to reach the Creek unfiltered, carrying sediment, nutrients and other pollutants that can affect water quality and the long-term ecological health of the stream corridor.

Additionally, parts of the campus lie within a FEMA-designated floodplain (see Map 13 for floodplain)—including the Agricultural Building, School of Art and especially the William R. Johnson Coliseum, whose lower floor elevation and aging flood-control measures leave it particularly vulnerable to flooding and in need of repair.




Image Source: Google Maps

Ag Pond Overflow to Lanana Creek



**Map 16.** Water, Sanitary and Storm Utilities

Scale: N.T.S. 



# ATHLETICS

## ATHLETICS FACILITIES & ASSETS

SFA’s athletics footprint includes, but is not limited to, the following. See Appendix C for more information about each.

- Homer Bryce Stadium and Fieldhouse (football and track)
- Sports Medicine & Academic Center
- Jimmy W. Murphy Wellness Center
- William R. Johnson Coliseum (basketball)
- Loddie Naymola Basketball Performance Center
- Robert H. Shelton Gymnasium (volleyball) (shared with other uses)
- Lucille Norton Health & Physical Education (HPE) Complex (shared with other uses)
- Jaycees Field (baseball) - located off campus
- SFA Softball Field - located off campus
- SFA Soccer Field
- Schlieff Tennis Complex

Recent facility investments (e.g., Loddie Naymola Center in 2021, track and field and turf upgrades, video boards) illustrate an institutional emphasis on improving athlete facilities and the fan experience.

SFA Athletics currently operates with aging and dispersed facilities. The fieldhouse is

not adequately supporting the north campus teams. The soccer venue is in a floodplain. Baseball and softball are located off-campus. This creates gaps in training, technology, nutrition, accessibility, spectator engagement, revenue and student-athlete success. A unified, modernized athletic infrastructure is needed to improve athletic performance, elevate the fan experience, and strengthen long-term financial sustainability.

The University’s athletic teams, known as the Lumberjacks (men) and Ladyjacks (women), compete in NCAA Division I as members of various conferences, competing in the Southland Conference as of the 2024 season.

### ATHLETICS PROGRAMS

#### Men’s Sports Programs

- Football
- Basketball
- Baseball
- Track and Field
- Cross Country
- Golf

#### Women’s Sports Programs

- Basketball
- Beach Volleyball
- Bowling
- Softball
- Soccer
- Track and Field
- Cross Country
- Tennis
- Golf
- Volleyball

#### Coed/Mixed Programs

- Cheerleading
- Dance

## ATHLETICS ROSTER COUNT

### ACADEMIC YEAR 2024-25

| SPORT         | PARTICIPATION |       |
|---------------|---------------|-------|
|               | Men           | Women |
| Baseball      | 55            | N/A   |
| Basketball    | 15            | 11    |
| Beach VB      | N/A           | 23    |
| Bowling       | N/A           | 11    |
| Football      | 137           | N/A   |
| Golf          | 12            | 8     |
| Soccer        | N/A           | 27    |
| Softball      | N/A           | 26    |
| Tennis        | N/A           | 8     |
| Track-CC      | 16            | 11    |
| Track-Indoor  | 55            | 45    |
| Track-Outdoor | 55            | 45    |
| Volleyball    | N/A           | 16    |
| TOTALS        | 345           | 231   |

Figure 24. Athletics Roster Count 2024-2025

- 1 Advancement Annex
- 2 Agricultural Mechanics Shop
- 3 Agriculture Building
- 4 Agriculture Greenhouse
- 5 Art Building
- 6 Art Studio
- 7 Art Studio Annex
- 8 Athletics Ticket Office
- 9 Austin Building
- 10 Baker Pattillo Student Center
- 11 Biology Greenhouse
- 12 Boynton Building
- 13 Brundrett Conservation Education Building
- 14 Bush Mathematical Sciences Building
- Central Stores and Receiving, Housing Operations
- 16 Cole STEM Building
- 17 Construction Management
- 18 Culinary Cafe
- 19 Dugas Liberal Arts North
- 20 Eatery on East
- 21 Education Annex
- 22 Environmental Health, Safety and Risk Management
- 23 Ferguson Building
- 24 Fieldhouse
- 25 Forestry Building
- 26 Forestry Greenhouse
- 27 Forestry Laboratories
- 28 Griffith Fine Arts Building
- 29 Griffith Hall
- 30 Grounds and Transportation
- 31 Hall 10
- 32 Hall 14
- 33 Hall 20
- 34 Homer Bryce Stadium
- 35 Human Sciences Building North
- 36 Human Sciences Building South
- 37 Human Services Building
- 38 Janice A. Pattillo Early Childhood Research Center
- 39 Johnson Coliseum
- 40 Juanita Curry Boynton House/President's House



- 41 Kennedy Auditorium
- 42 Kerr Hall
- 43 Kingham Children's Garden
- 44 Lehmann Chemistry Building
- 45 Lumberjack Landing
- 46 Lumberjack Lodge
- 47 Lumberjack Village Community Building
- 48 Lumberjack Village (Buildings 1, 2, 3 and 4)
- 49 McGee Business Building
- 50 McKibben Education Building
- 51 McKinney Fine Arts Annex
- 52 Military Science Building
- 53 Miller Science Building
- 54 Murphy Wellness Center
- 55 Music Prep House
- 56 Naymola Basketball Performance Center
- 57 North Hall
- 58 Norton HPE Complex
- 59 Parking Services
- 60 Pearman Alumni Center
- 61 Physical Plant
- 62 Pinewoods Dining Hall
- 63 The Plantery
- 64 Press Box
- 65 Rusk Building
- 66 Schief Tennis Complex
- 67 SFA Theatre Scene Shop
- 68 Shelton Gym
- 69 Social Work Building
- 70 South Hall
- 71 Steen Hall
- 72 Steen Library
- 73 Stone Fort Museum
- 74 Student Recreation Center
- 75 Ticket Booth
- 76 Tucker Building/Health and Wellness Hub
- 77 University Police Department
- 78 Wildlife Habitat and Silviculture Laboratory
- 79 Wisely Hall
- 80 Wright Music Building

**Map 17.** Existing Intercollegiate Athletics Facilities Map (facilities outlined and marked in red)



# CAMPUS RECREATION

## RECREATION FACILITIES & ASSETS

SFA's Campus Recreation program serves as a vital component of student life and community engagement, providing comprehensive recreational, fitness and wellness opportunities for the University community and broader East Texas region. The facilities are designed to support the University's mission of student development while promoting lifelong wellness habits and community connections, serving multiple constituencies including traditional students, non-traditional students, faculty, staff and community members.

Key recreational facilities include the following (see Appendix D for more information about each):

- The Student Recreation Center (SRC) which opened in 2007 as the flagship facility and features extensive fitness areas, multi-purpose courts, a natatorium, climbing wall facilities, fitness studios, sand volleyball courts and outdoor challenge course elements.
- The Campus Intramural and Recreation Fields provide outdoor spaces for intramural sports leagues and club sport activities.
- The SFA Outdoor Pursuits Program, housed in the SRC, offers equipment rental and adventure programming.

- The SFA Challenge Course provides team-building and leadership development opportunities.
- The Lucille Norton HPE Complex includes recreation space, group studios and indoor pool facility that can be used for recreational purposes when available.
- The Robert H. Shelton Gymnasium accommodates intramural basketball and volleyball during off-season hours.

The Campus Recreation program operates under the philosophy of developing a culture of "Lumberjack wellness" through facilities and inclusive experiences across four primary areas: adventure programming, fitness and wellness, recreational sports, and community engagement. This comprehensive approach ensures that recreational programming meets diverse interests, skill levels and schedules while maintaining high standards for safety, accessibility and educational value.

The facilities integrate indoor and outdoor recreational opportunities, taking advantage of the natural East Texas environment and the University's location in the Piney Woods region while providing modern amenities that operate year-round. These facilities represent significant investments in student life infrastructure, community partnerships and regional recreational programming that extend SFA's impact beyond traditional academic boundaries, serving as gathering places for the campus community while

functioning as venues for regional events, youth programming and community wellness initiatives.

Campus Recreation has a great facility in the SRC. There are other facilities like HPE and the Challenge Course that are aging, undersized or in need of modernization. Renovation and strategic upgrades are needed to ensure a cohesive, accessible future for recreation and wellness.

## BY THE NUMBERS

### FACILITY USAGE

- Total: 450,000 Users
- Unique: 5,000 Users
- Memberships: 435 Users (generate \$400K through memberships)

### ORGANIZATION CHART

- Director: 1
- Associate: 1
- Assistant: 2
- Coordinator: 5
- Graduate Assistants: 4
- Part-Time: 80-100
- Custodial: 4
- Maintenance: 1
- Grounds: 1

- 1 Advancement Annex
- 2 Agricultural Mechanics Shop
- 3 Agriculture Building
- 4 Agriculture Greenhouse
- 5 Art Building
- 6 Art Studio
- 7 Art Studio Annex
- 8 Athletics Ticket Office
- 9 Austin Building
- 10 Baker Pattillo Student Center
- 11 Biology Greenhouse
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- 41 Kennedy Auditorium
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- 74 Student Recreation Center
- 75 Ticket Booth
- 76 Tucker Building/Health and Wellness Hub
- 77 University Police Department
- 78 Wildlife Habitat and Silviculture Laboratory
- 79 Wisely Hall
- 80 Wright Music Building

**Map 18.** Existing Recreation Facilities Map (facilities outlined and marked in orange)



# DEVELOPMENT OPPORTUNITIES

Based on the previous analysis and input received from stakeholders, students, faculty and staff, there are key opportunities and challenges to consider at the SFA campus.

## KEY OPPORTUNITIES

- A number of buildings and uses are targeted for demolition and relocation. These locations create opportunities for new academic facilities, open space and parking structures. Building renovations provide opportunities for improved student, faculty and administrative spaces.
- There are opportunities to capitalize on the ecological identity of the campus by expanding the open space and pedestrian networks. This could include improved outdoor spaces near the Student Center, Steen Library and along E. College Street, among other areas.
- Streetscape modifications and/or potential closures along E. College Street, Aikman Drive and Wilson Drive could better support pedestrian activity, significantly improve pedestrian comfort and safety, and enhance the campus aesthetics.



*Vista Drive View Corridor*



*E. College Street Sidewalk near the Coliseum*



*The New Pineywoods Dining Hall*



**Map 19.** Development Opportunities

Scale: N.T.S. 



# DEVELOPMENT CHALLENGES

## KEY CHALLENGES

- A large portion of the campus's east side lies within the Lanana Creek floodplain, limiting development potential and requiring careful consideration of flood resilience. Additionally, areas of steep slope, especially near the creek and Wilson Drive, can complicate expansion and increase maintenance demands.
- The mix of vehicular, pedestrian and service traffic, particularly along E. College Street, Aikman Drive and other internal roads, creates congestion and pedestrian safety issues that may intensify as the campus grows.
- While the western boundary along North Street presents a strong campus identity, highlighted by a prominent gateway monument and consistent streetscape elements such as pole banners, the northern, eastern and southern edges lack comparable branding and design treatments. This inconsistency diminishes the campus's visual presence and sense of arrival along these perimeter areas.
- The University faces a unique set of challenges in addressing stormwater management within an established campus environment. As development intensifies and impervious surfaces expand, managing the first flush of rainfall, the initial 1.5 inches that carries

the highest pollutant load, will become increasingly critical. Existing storm drainage infrastructure was designed primarily for flood control, not for water quality improvement, and offers limited capacity for natural infiltration or biological treatment.

- Topography and space constraints within developed areas present additional difficulties for implementing large-scale stormwater retrofits. Sustaining long-term maintenance, ensuring interdepartmental coordination and balancing infrastructure needs with environmental objectives are essential considerations in advancing a comprehensive water quality strategy for the University in the future.



Image Source: Google Maps

Lanana Creek environmental impacts and water quality



Sloped Areas throughout Campus

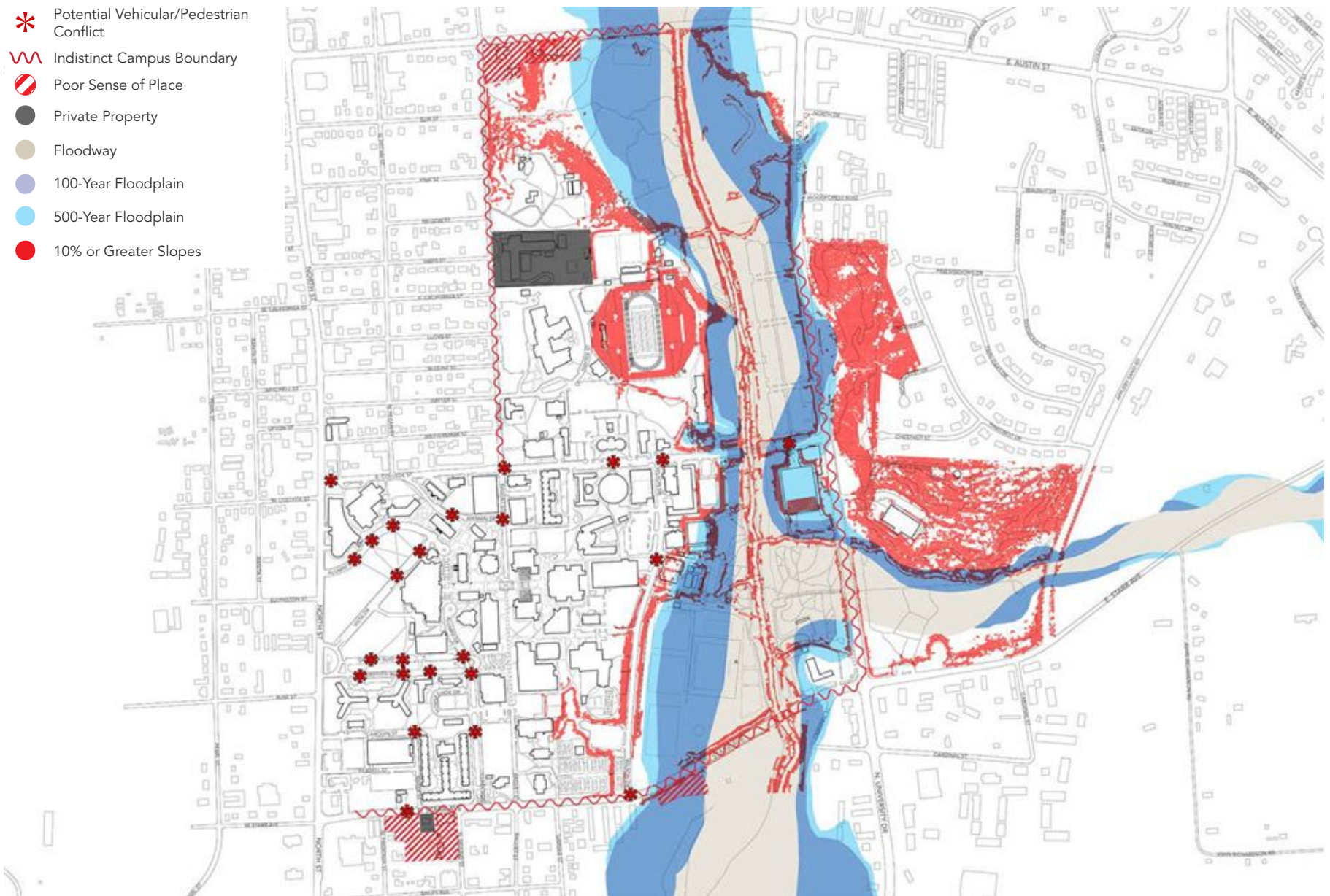


Indistinct Boundary along E. Austin Street



Water Runoff - Stadium Parking Lot into Lanana Creek

-  Potential Vehicular/Pedestrian Conflict
-  Indistinct Campus Boundary
-  Poor Sense of Place
-  Private Property
-  Floodway
-  100-Year Floodplain
-  500-Year Floodplain
-  10% or Greater Slopes

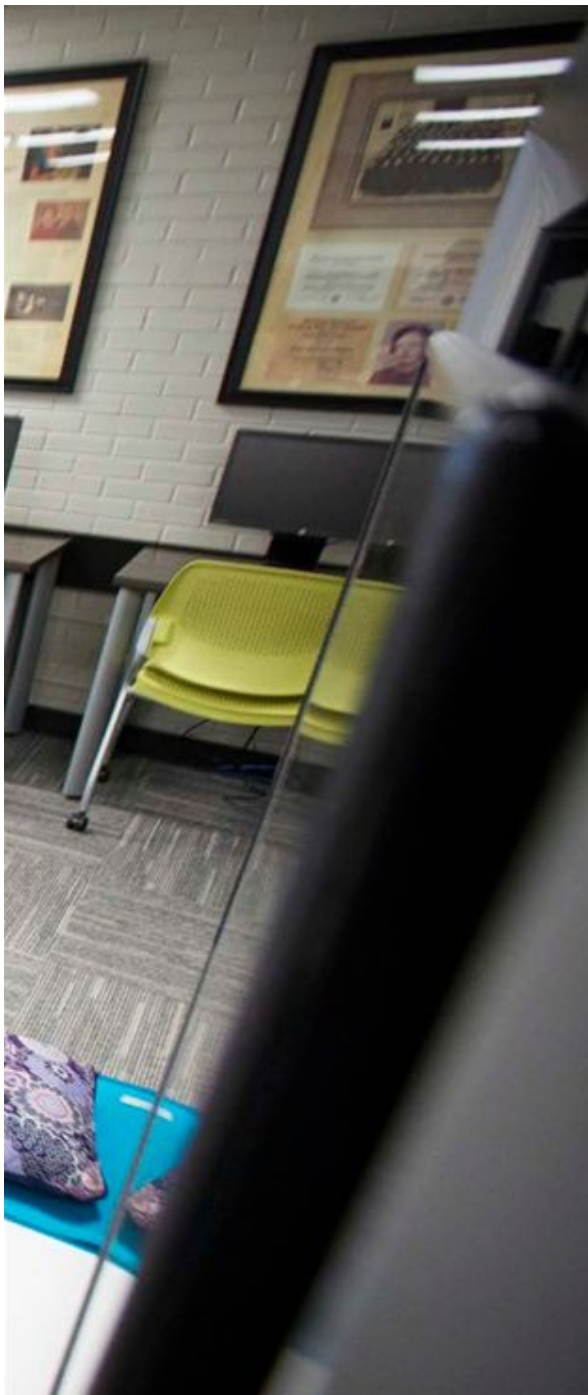


**Map 20.** Development Challenges

Scale: N.T.S. 







# FACILITIES & SPACE UTILIZATION



# SPACE UTILIZATION ANALYSIS

## BUILDING UTILIZATION

Space utilization scores help to evaluate how efficiently instructional spaces are scheduled and occupied. This score is calculated by considering both the proportion of seats filled during course times and the number of hours each space is scheduled per week. Scores can be applied to an individual space, averaged for an overall building score, or the scores of differing space types can be weighed together for an entire campus. Utilization score review can help determine the capacity for change in an existing building inventory. It identifies spaces that have potential as swing space, can be repurposed or require further review due to low usage. Common factors of underutilization may include outdated instructional technology, inadequate room sizing or configurations that are unsuitable for current teaching paradigms.

This analysis uses Fall 2024 course data provided by the SFA Office of Strategic Analytics and Institutional Research. It covers general classrooms and class laboratories, which are coded by the Texas Higher Education Coordinating Board (THECB) under the 100 and 200 series. Research labs are not included in this review. Classrooms and class labs are evaluated separately because they have different targets for effective use. The data in the following sections explains these different components in more detail. However, because academic buildings often contain both types of instructional space, a weighted approach factors the quantities of

each type to help evaluate the overall building space efficiency. The classroom, class lab and weighted utilization percentages for the SFA campus are provided in Figure 25 below. On the following page, Map 21 illustrates the weighted utilization across campus by color. Buildings without instructional spaces in the Fall 2024 semester are colored gray and were excluded from this investigation.

This evaluation indicates that no buildings on campus currently meet the THECB target utilization of 75%. The buildings with the highest utilization are the Art Studios (ARTS), at 57.5%, followed closely by the Human

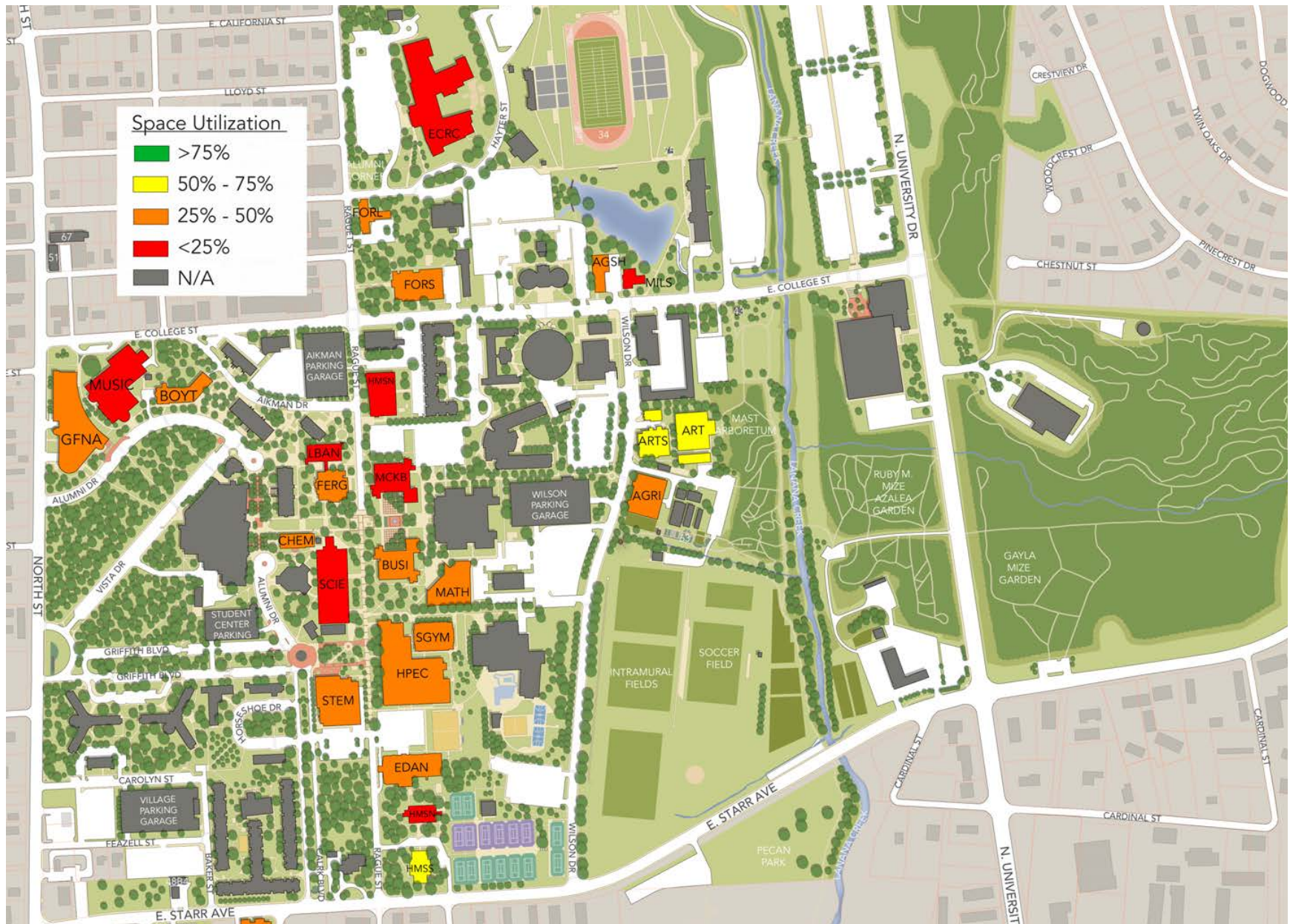
Sciences Building South (HMSS), at 57.4%. These buildings are home to the School of Art and Interior Design programs, which both contain high enrollment numbers and specialized instructional spaces. The Military Science Building (MILS) and the Dugas Liberal Arts North (LBAN) are the least used, at 12.2% and 13.0%, respectively.

The initial deduction from these scores shows that the existing space inventory has considerable capacity to support increases in student enrollment without requiring investment in additional buildings.

| Building Abbr. | Overall Classroom Utilization | Overall Class Lab Utilization | Weighted Building Utilization |
|----------------|-------------------------------|-------------------------------|-------------------------------|
| HMSS           | -                             | 57.4                          | 57.4                          |
| ARTS           | -                             | 57.5                          | 57.5                          |
| ART            | 66.0                          | 52.7                          | 56.7                          |
| CHEM           | 58.7                          | 44.6                          | 49.3                          |
| FERG           | 33.3                          | 76.2                          | 43.7                          |
| FORS           | 28.7                          | 56.1                          | 40.9                          |
| AGRI           | 25.2                          | 41.6                          | 38.9                          |
| MATH           | 37.4                          | 47.4                          | 38.0                          |
| FORL           | -                             | 37.2                          | 37.2                          |
| GFNA           | 32.1                          | 37.6                          | 36.4                          |
| SGYM           | -                             | 36.2                          | 36.2                          |
| HPEC           | 36.5                          | 31.4                          | 35.7                          |
| AGSH           | -                             | 34.6                          | 34.6                          |

| Building Abbr. | Overall Classroom Utilization | Overall Class Lab Utilization | Weighted Building Utilization |
|----------------|-------------------------------|-------------------------------|-------------------------------|
| BUSI           | 30.4                          | 32.9                          | 31.2                          |
| STEM           | 17.8                          | 32.0                          | 29.3                          |
| BOYT           | 25.1                          | 34.2                          | 29.0                          |
| CMGT           | 4.6                           | 52.9                          | 28.8                          |
| EDAN           | 15.4                          | 30.6                          | 27.6                          |
| MCKB           | 23.4                          | 25.0                          | 23.6                          |
| ECRC           | 23.8                          | 18.7                          | 23.1                          |
| SCIE           | 11.9                          | 27.3                          | 21.7                          |
| MUSIC          | 24.6                          | 18.5                          | 20.0                          |
| HMSN           | 18.4                          | -                             | 18.4                          |
| HSTC           | 17.3                          | -                             | 17.3                          |
| LBAN           | 13.0                          | -                             | 13.0                          |
| MILS           | 10.6                          | 13.7                          | 12.2                          |

**Figure 25.** SFA Overall Classroom, Class Lab and Weighted Building Utilization Percentages, Fall 2024



**Map 21.** Main Campus - Weighted Overall Building Utilization



## GENERAL CLASSROOM

The 75% THECB target for general classroom utilization specifies a minimum average of 65% seat occupancy and at least 38 hours per week of scheduled use.

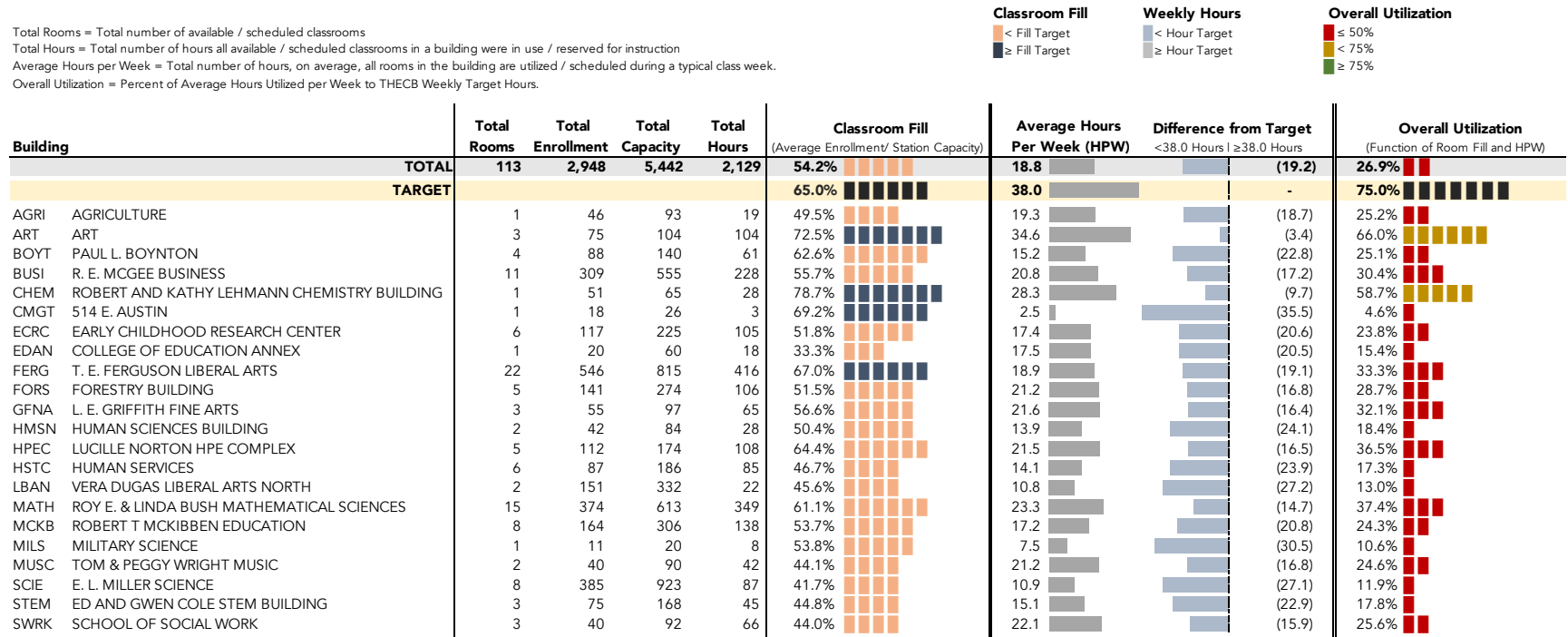
Figure 26 illustrates that overall classroom utilization at SFA during the Fall 2024 semester was low, averaging only 26.9% across campus. The average classroom fill was 54.2%, with five buildings exceeding the target. There are multiple factors that could be contributing to fill rates below target; however, this is unlikely

to be a concern with increasing enrollment numbers. It is not recommended to investigate further at this time.

Courses were scheduled for only 18.8 hours per week, 19.2 hours below the target of 38. This low usage indicates that many spaces remain empty during much of the day. Usage like this suggests that a surplus of general classrooms may be the cause of the low utilization scores. Correlating the course capacities with the inventory of 113 available classrooms confirms that the University has a surplus of classrooms sized for a maximum

of 32 students. Figure 27, on the following page, shows that only nine sections were scheduled at this section capacity, but 37 rooms were available for use. Unfortunately, these spaces are too small to help with the shortage of rooms sized for 73 to 90 students. This data suggests that renovating to combine adjacent lower-capacity classrooms into larger room sizes, where feasible, could help balance demand and increase overall campus utilization as enrollment increases.

This Master Plan identifies several buildings that are nearing the end of their functional life.



**Figure 26.** SFA Overall Classroom Usage: Total Enrollment, Capacity, and Hours by Building, Fall 2024

Several of these buildings have underutilized general classrooms. Upon demolition, the remaining campus buildings can accommodate all displaced courses without the need for replacements.

The Art Building (ART) had the highest utilization at 66%. Scheduled courses achieved a 72.5% fill rate, exceeding the THECB target. This building also led in weekly scheduled hours, averaging 34.6 hours per week. The house at 514 E. Austin (CMGT) had the lowest utilization. This building is dedicated to the Construction Management program; its single classroom was well-occupied but used only 2.5 hours per week due to lab-based coursework in other spaces. Relocating this course to a general academic building would improve campus utilization and enable the repurposing of the space.

Figure 28 illustrates the average daily course scheduling across campus. Mondays through Thursdays, classrooms experience a peak utilization reaching 80% between 9:00 a.m. and noon. On Fridays, the utilization drops to around 54% at the peak times. Classroom usage drops to 10% after 5:00 p.m. on Mondays through Thursdays, and after 1:00 p.m. on Fridays. There was only 1% utilization on Saturdays, and no courses were scheduled on Sundays in the Fall 2024 semester.

This data reinforces that there is sufficient capacity to support enrollment growth within the current classroom inventory. This can be achieved by increasing the weekly scheduling into afternoons or evenings, particularly on Fridays.

Classroom Demand Analysis: Maximum Section

Stephen F. Austin State University, Fall 2024

Section Size Assumes a 90% Occupancy Rate

| Maximum Room Size | Total Room Hours | Section Size | Available Room | Required Room | Demand (Deficit) | Supply (Surplus) |
|-------------------|------------------|--------------|----------------|---------------|------------------|------------------|
| 16                | 13               | 1 - 14       | 1              | 1             | 0                | 0                |
| 24                | 65               | 15 - 22      | 8              | 2             | 6                | 6                |
| 32                | 307              | 23 - 29      | 37             | 9             | 28               | 28               |
| 40                | 772              | 30 - 36      | 24             | 21            | 3                | 3                |
| 50                | 339              | 37 - 45      | 15             | 9             | 6                | 6                |
| 60                | 252              | 46 - 54      | 11             | 7             | 4                | 4                |
| 80                | 187              | 55 - 72      | 5              | 5             | 0                | 0                |
| 100               | 87               | 73 - 90      | 2              | 3             | - 1              | 1                |
| 150               | 54               | 91 - 135     | 5              | 2             | 3                | 3                |
| 200               | 55               | 136 - 180    | 5              | 2             | 3                | 3                |
| 250               | 0                | 181 - 225    | 0              | 0             | 0                | 0                |
|                   |                  |              | 113            | 61            | 52               |                  |

Figure 27. Classroom Demand Analysis: Maximum Section Sizes, Fall 2024

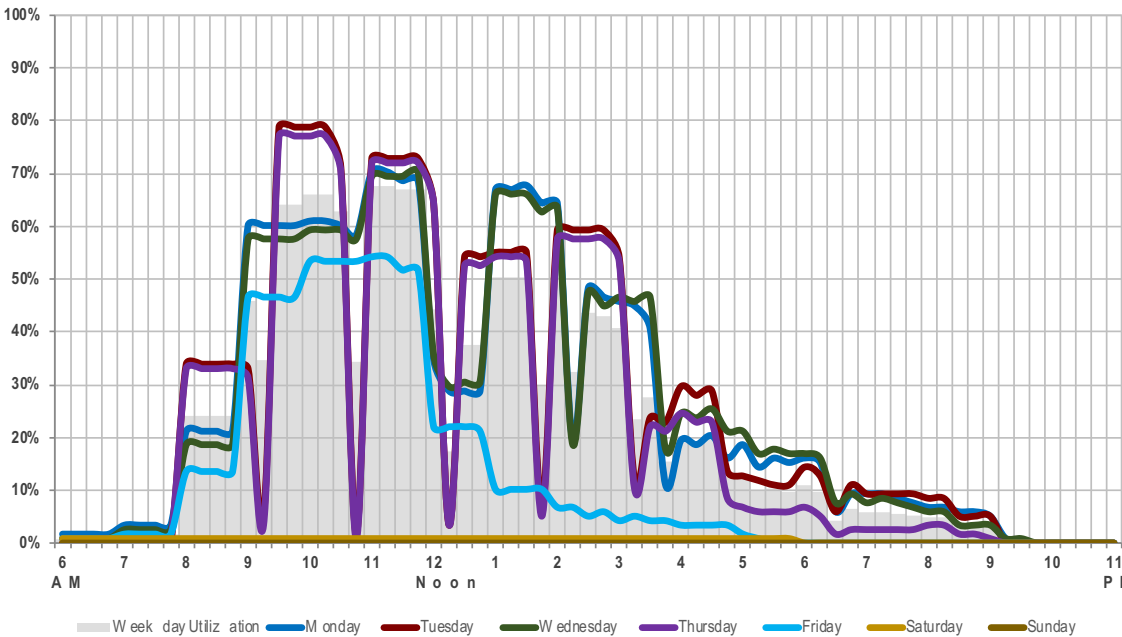


Figure 28. Overall Campus Classroom Daily Usage, Fall 2024



## CLASS LABORATORY

The 75% THECB target for class laboratory utilization specifies a minimum average of 77% seat occupancy and at least 25 hours per week of scheduled use.

Due to the specialized requirements of each class lab, many lab courses can only be scheduled in specific rooms on campus and require additional downtime between courses for lab setup. The lower target for scheduled hours reflects these limitations on utilization. In comparison, a larger seat occupancy is required to fill more of the labs when they are

scheduled. Figure 29, below, illustrates that the overall class lab utilization at SFA during the Fall 2024 semester was low, averaging 35.5% across campus. The average seat fill was 55.9% and courses were scheduled for 15.9 hours per week.

The Ferguson Liberal Arts building (FERG) had the highest overall utilization among the buildings with class labs available. The utilization score was at 72.6%. The seat fill was at 73.6% and the labs were scheduled, on average, approximately 24.7 hours per week, only 0.3 hours below the target of 25.0 hours per week. This is the ideal balance of spaces

and courses scheduled. A slight increase in the number of students in each class would put this building above the utilization target.

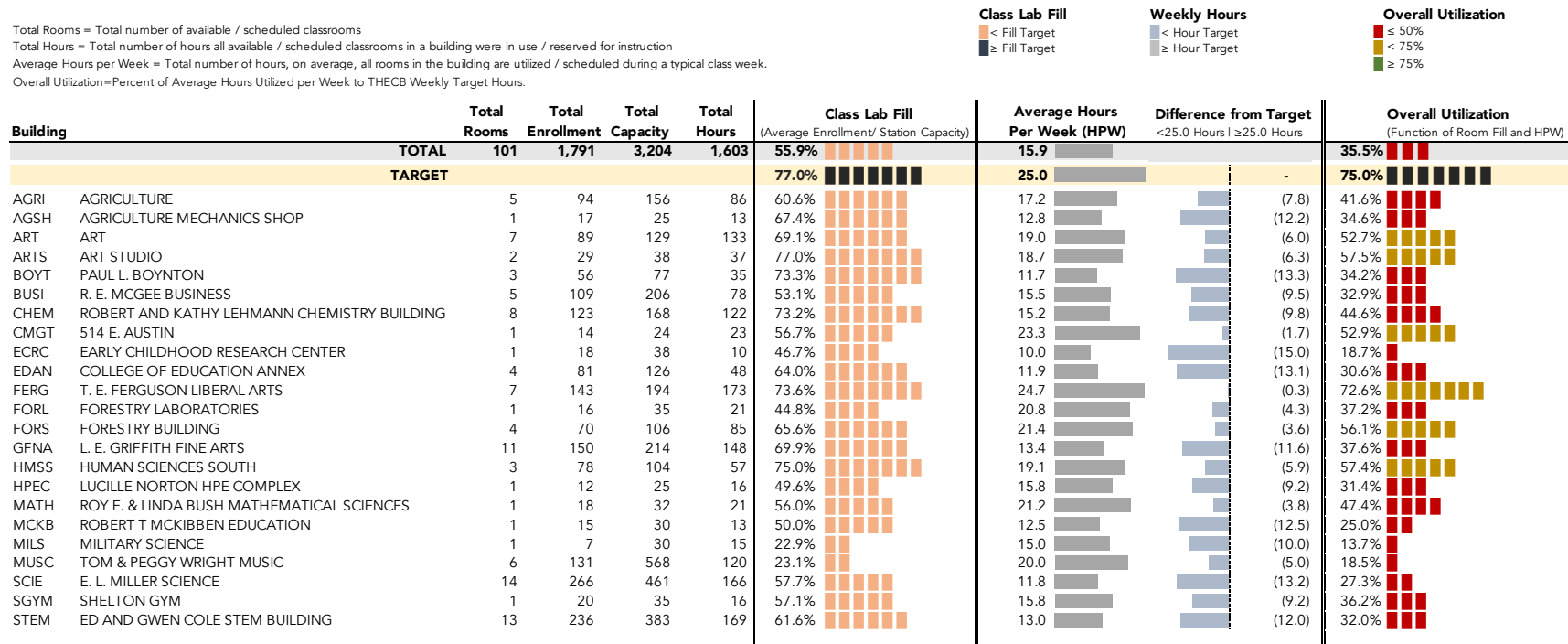
The least utilized building was the Military Science (MILS) building. The single lab in that building has a capacity of 30 students, but only seven students were enrolled. This drastically hurts the utilization score. If enrollment is unlikely to increase, the University could consider removing the course or relocating it to a smaller classroom in another building.

Total Rooms = Total number of available / scheduled classrooms

Total Hours = Total number of hours all available / scheduled classrooms in a building were in use / reserved for instruction

Average Hours per Week = Total number of hours, on average, all rooms in the building are utilized / scheduled during a typical class week.

Overall Utilization=Percent of Average Hours Utilized per Week to THECB Weekly Target Hours.



**Figure 29.** SFA Overall Class Lab Usage: Total Enrollment, Capacity, and Hours by Building, Fall 2024

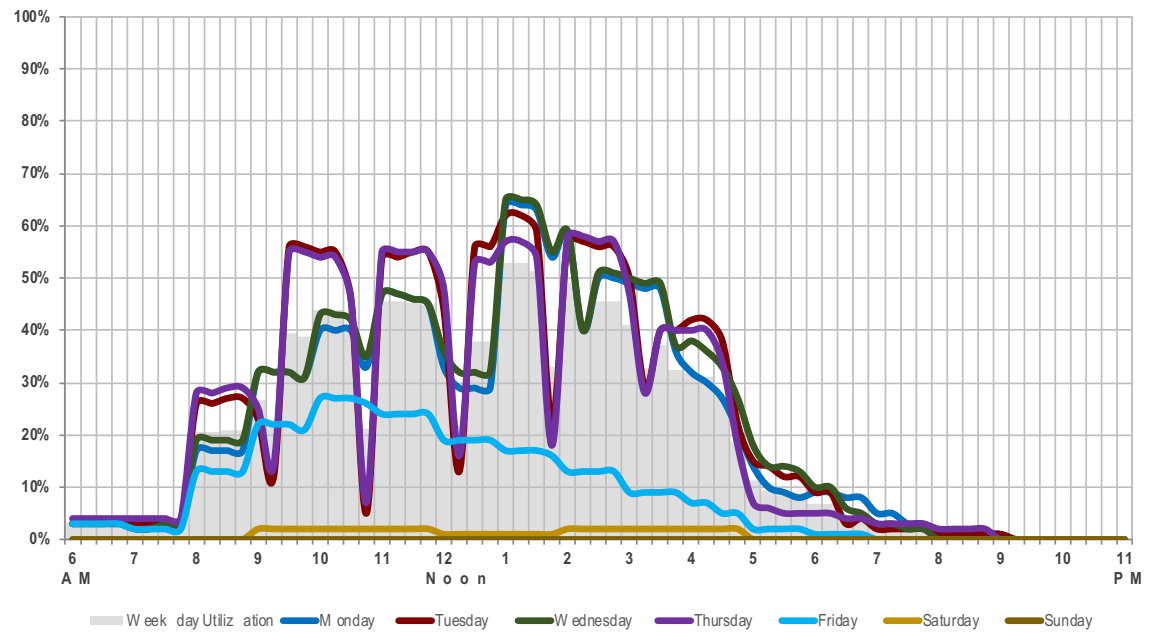
If the class labs were scheduled at the optimum 25 hours per week, this would translate into approximately 5 hours of utilization per day, Monday through Friday. Based on the quantity of 106 class labs at SFA, this totals 530 target hours of utilization per day. On average, class labs were scheduled approximately 354 hours, or 66.8%, of the target daily hours. While this is a moderate level of usage, it does indicate there is room for improvement in utilization through additional scheduling.

According to available data, class labs follow a similar time-of-day utilization as the general classrooms. Class labs were generally observed at peak utilization on Monday through Thursday, primarily between 9:30 a.m. and 3:00 p.m. Less than classrooms, the peak utilization was around 60%, but was more consistent into the afternoon. Lab utilization on Fridays peaked at 25% between 10:00 a.m. and noon, then steadily declined. Saturdays reached a 2% utilization rate, and no courses were scheduled on Sundays during the Fall 2024 semester.

Similar to the classroom analysis, this indicates that there is capacity to accommodate additional enrollment growth within the existing class lab inventory, without investment, simply by increasing the number of hours per week labs are scheduled.

## CAMPUS ANALYSIS

Overall utilization of instructional space, including both general classrooms and class labs, was found to be below the state target in the Fall 2024 semester at SFA. While individual



**Figure 30.** Overall Campus Class Lab Daily Usage, Fall 2024

classrooms or class labs within a building may have been utilized at or above the target utilization rate, the average building scores indicate a surplus of instructional spaces to accommodate enrollment growth.

In the short term, the demolition of classroom buildings at the end of their functional life will help to improve the overall utilization score and right-size the classroom inventory. In the long term, renovations of existing space will be necessary over the next 15 years to meet the instructional demands of a 15,000 total student enrollment.

The data also suggests SFA can act on Master Plan recommendations without significant daily

disruption. The SFA Campus Space Utilization Strategy Update recommends renovations and relocations of educational and administrative departments (see Appendix I). These actions may enhance campus functionality and support future collaborations. When spaces are offline for renovation, demolition or temporary relocation, the current inventory has enough surplus to allow course schedules to continue as planned.

Additional room-by-room utilization data is included in Appendix B.



# FACILITY ASSESSMENTS

As part of the campus master planning effort, an Architectural Facility Condition Assessment was conducted on 15 buildings. The assessment scored facilities based on the following building systems:

- Site (paving, building entry/exit access)
- Envelope (roof, windows, doors and frames, exterior)
- Interiors (floor finishes, wall finish, ceiling, door, accessibility)
- Mechanical, Electrical, Plumbing (at a high level)
- Structural (at a high level)

Based on this assessment, each facility received an overall rating.

- Facilities with scores >3 are in decent shape
- Facilities with scores >2.5 and <3 need some work
- Facilities with scores <2.5 need extensive work and could be considered for replacement

The figure below summarizes the rating for each assessed building. This information provided valuable data to allow SFA to determine which buildings warrant continued investment versus those to consider for demolition. See Appendix H for the full Architectural Facility Condition Assessment findings.

Considering the Assessment findings and the goals for new and expanded facilities on

campus, a number of structures and facilities are targeted for demolition. The uses in these facilities will be shifted into existing and/or new buildings and facilities. The Old Stone Fort Museum will be relocated off-campus. These demolitions create space for additional facilities that can better meet the needs of the University, students and faculty.



**Figure 31.** Architectural Facility Condition Assessment Summary

- 1 Advancement Annex
- 2 Agricultural Mechanics Shop
- 3 Agriculture Building
- 4 Agriculture Greenhouse
- 5 Art Building
- 6 Art Studio
- 7 Art Studio Annex
- 8 Athletics Ticket Office
- 9 Austin Building
- 10 Baker Pattillo Student Center
- 11 Biology Greenhouse
- 12 Boynton Building
- 13 Brundrett Conservation Education Building
- 14 Bush Mathematical Sciences Building
- Central Stores and Receiving, Housing Operations
- 16 Cole STEM Building
- 17 Construction Management
- 18 Culinary Cafe
- 19 Dugas Liberal Arts North
- 20 Eatery on East
- 21 Education Annex
- 22 Environmental Health, Safety and Risk Management
- 23 Ferguson Building
- 24 Fieldhouse
- 25 Forestry Building
- 26 Forestry Greenhouse
- 27 Forestry Laboratories
- 28 Griffith Fine Arts Building
- 29 Griffith Hall
- 30 Grounds and Transportation
- 31 Hall 10
- 32 Hall 14
- 33 Hall 20
- 34 Homer Bryce Stadium
- 35 Human Sciences Building North
- 36 Human Sciences Building South
- 37 Human Services Building
- 38 Janice A. Pattillo Early Childhood Research Center
- 39 Johnson Coliseum
- 40 Juanita Curry Boynton House/President's House



- 41 Kennedy Auditorium
- 42 Kerr Hall
- 43 Kingham Children's Garden
- 44 Lehmann Chemistry Building
- 45 Lumberjack Landing
- 46 Lumberjack Lodge
- 47 Lumberjack Village Community Building
- 48 Lumberjack Village (Buildings 1, 2, 3 and 4)
- 49 McGee Business Building
- 50 McKibben Education Building
- 51 McKinney Fine Arts Annex
- 52 Military Science Building
- 53 Miller Science Building
- 54 Murphy Wellness Center
- 55 Music Prep House
- 56 Naymola Basketball Performance Center
- 57 North Hall
- 58 Norton HPE Complex
- 59 Parking Services
- 60 Pearman Alumni Center
- 61 Physical Plant
- 62 Pinewoods Dining Hall
- 63 The Plantery
- 64 Press Box
- 65 Rusk Building
- 66 Schief Tennis Complex
- 67 SFA Theatre Scene Shop
- 68 Shelton Gym
- 69 Social Work Building
- 70 South Hall
- 71 Steen Hall
- 72 Steen Library
- 73 Stone Fort Museum (to be relocated off site)
- 74 Student Recreation Center
- 75 Ticket Booth
- 76 Tucker Building/Health and Wellness Hub
- 77 University Police Department
- 78 Wildlife Habitat and Silviculture Laboratory
- 79 Wisely Hall
- 80 Wright Music Building

**Map 22.** Master Plan Demolitions (or Off-Site Relocation)

Scale: N.T.S. 



# CAMPUS MASTER PLAN BUILDING BLOCKS

Based on discussions with SFA leadership, enrollment projections and associated space needs, and targeted demolitions, several new buildings, facilities and major renovations were identified as Master Plan “building blocks.”

| Academic & Student Experience Buildings              | Gross Square Feet (GSF) |
|--|-------------------------|
| Science Building                                     | 160,000                 |
| Auditorium / Welcome Center                          | 32,500                  |
| Facilities Services & Operations + Academic Building | 105,000                 |
| Art Building   | 113,500                 |
| Music Addition/Renovation to Boynton                 | 28,500                  |
| Greenhouse Locations                                 | Up to 30,000 total      |
| Two Residence Halls (Base Enrollment of 12,158)*     | 473,000 total           |
| Two Residence Halls (Target Enrollment of 15,000)*   | 395,000 total           |

\*Based on goal of housing for 40% of total enrollment (from Campus Budgetary Guidance Study by Kirksey in May 2022)

| Renovations                  |
|------------------------------|
| McKibben Building            |
| Agriculture Building         |
| Austin Building**            |
| Rusk Building**              |
| Human Services**             |
| Bush Mathematical Sciences** |
| ECRC**                       |
| Steen Library                |
| Social Work Building         |
| Ferguson Building            |
| Dugas Liberal Arts North     |

\*\* Potential minor renovations as departments/ groups shift locations based on the Campus Space Utilization Strategy Update. See Appendix I for more information about these projects.

| Athletics & Recreation Projects                 | Approx. Gross Square Feet (GSF) |
|---|---------------------------------|
| South Operations Building                       | 87,360                          |
| Baseball Venue                                  | 35,500***                       |
| Softball Venue                                  | 28,900***                       |
| Tennis Venue                                    | 6,350***                        |
| Rec. Natural and Synthetic Turf Fields          | 534,200 total                   |
| Norton HPE Renovation & Addition                | 134,600                         |
| Shelton Renovation & Addition                   | 41,000                          |
| Student Recreation Center Renovation & Addition | 113,000                         |
| Recreation Support - Field Services Building    | 4,000                           |
| Johnson Coliseum Renovation & Addition          | 114,700                         |
| North Fieldhouse                                | 190,000                         |
| Football Stadium                                | 122,700***                      |
| Indoor Practice Facility                        | 95,300                          |
| Soccer Venue                                    | 25,700***                       |
| Track & Field + Practice                        | 22,900***                       |

\*\*\* Interior and/or exterior facility space (excluding fields/courts unless specified)











# RECOMMENDATIONS



# RECOMMENDATIONS

## GUIDING PRINCIPLES

This Master Plan and the proposed recommendations were shaped by a set of core principles that embody SFA's aspirations for the future. These principles are summarized below and were described in more detail in the Executive Summary.

- Strengthen Campus Identity and Improve User Experience
- Promote Strategic Growth and Academic Excellence
- Support Safe, Accessible and Connected Campus Mobility
- Advance Athletic and Recreation Excellence through Design
- Deliver Quality through Modern Improvements
- Connect Campus Life with the Surrounding Natural Environment

## CAMPUS MASTER PLAN OVERVIEW

SFA, the newest member of the University of Texas System, is entering a period of record growth and transformation. The Plan provides a comprehensive, multi-year framework to guide this evolution, addressing existing needs while envisioning new opportunities for strategic development.

Grounded in extensive collaboration with University leadership, faculty, staff, students and community stakeholders, the Plan aligns with SFA's mission, educational goals and strategic priorities. It is informed by a detailed assessment of existing conditions,

opportunities and constraints, and projects future academic, residential and infrastructure needs to support the University's continued growth and success.

The full Campus Master Plan and recommended building and facility, transportation, and landscape initiatives are shown on Map 23. Due to the campus's size and layout, the north and south sides of campus are described separately in the following sections, with enlarged maps for each.



## BUILDING & FACILITY INITIATIVES

### Academic

- A** Science Building
- B** Long-Term Building Site
- C** McKibben Building Renovation
- D** Boynton Music Expansion
- E** Art Building
- F** Facilities Services & Operations + Academic Building
- G** Agriculture Building Renovation
- H** Long-Term Military Science & Aviation Sciences Expansion
- I** Greenhouses
- J** Social Work Building Renovation

### Athletic/Recreation

- K** Tennis Venue
- L** South Operations Venue
- M** Baseball Venue
- N** Softball Venue
- O** Norton HPE Renovation & Addition
- P** Shelton Renovation & Addition
- Q** Student Recreation Center Renovation & Addition
- R** Recreation Support - Field Services Bldg.
- S** Loop Trail & Challenge Course
- T** Recreation Fields - Intramural & Competitive Sports
- U** Johnson Coliseum Renovation & Addition
- V** Fieldhouse Building
- W** Football Stadium
- X** Soccer Stadium
- Y** Indoor Practice
- Z** Track & Field + Practice

### Student Experience

- AA** Auditorium/Welcome Center
- BB** R.W. Steen Library Renovation
- CC** Student Housing A
- DD** Student Housing B
- EE** Student Housing C
- FF** Student Housing D

### Garages

- GG** Garage A
- HH** Garage B
- II** Garage C + University Police Facility

### TRANSPORTATION INITIATIVES (areas not included in other facility initiatives)

- JJ** Vista Drive & Alumni Drive Street Modifications
- KK** Wilson Drive Realignment
- LL** E. College Street Modifications
- MM** McKibben/Library Access Road
- NN** North Wilson Drive Extension
- OO** Stadium Loop Drive
- PP** East Stadium Parking

### LANDSCAPE INITIATIVES

- QQ** Wilson Mall
- RR** Central Quad
- SS** Student Center Mall Enhancements
- TT** Central Mall Area
- UU** Aikman Mall
- VV** Austin Plaza
- WW** Raguet Mall Extension
- XX** Steen Open Space
- YY** College Mall
- ZZ** Steen Hall Courtyards
- AAA** Lumberjack Quad & Stadium Plaza
- \*★** Gateway Signage



**Map 23. Campus Master Plan**  
See enlarged map on the following pages

Scale: N.T.S. 



The north side of the campus represents a significant focus of transformation within the Plan. This area integrates new academic, research, athletic and infrastructure improvements to create a modern and connected northern gateway that reflects SFA's growing prominence within the University of Texas System.

At the heart of the north campus vision is the redevelopment of the intercollegiate athletics complex, anchored by a new Fieldhouse, which will serve as the central hub for athletic operations, academic support and student-athlete performance. Adjacent facilities, including the Football Stadium, Soccer Venue, Track and Field Complex, and Indoor Practice Facility, are designed to provide year-round, high-performance environments that strengthen both competitive athletics and community engagement. The Johnson Coliseum Renovation and Addition further

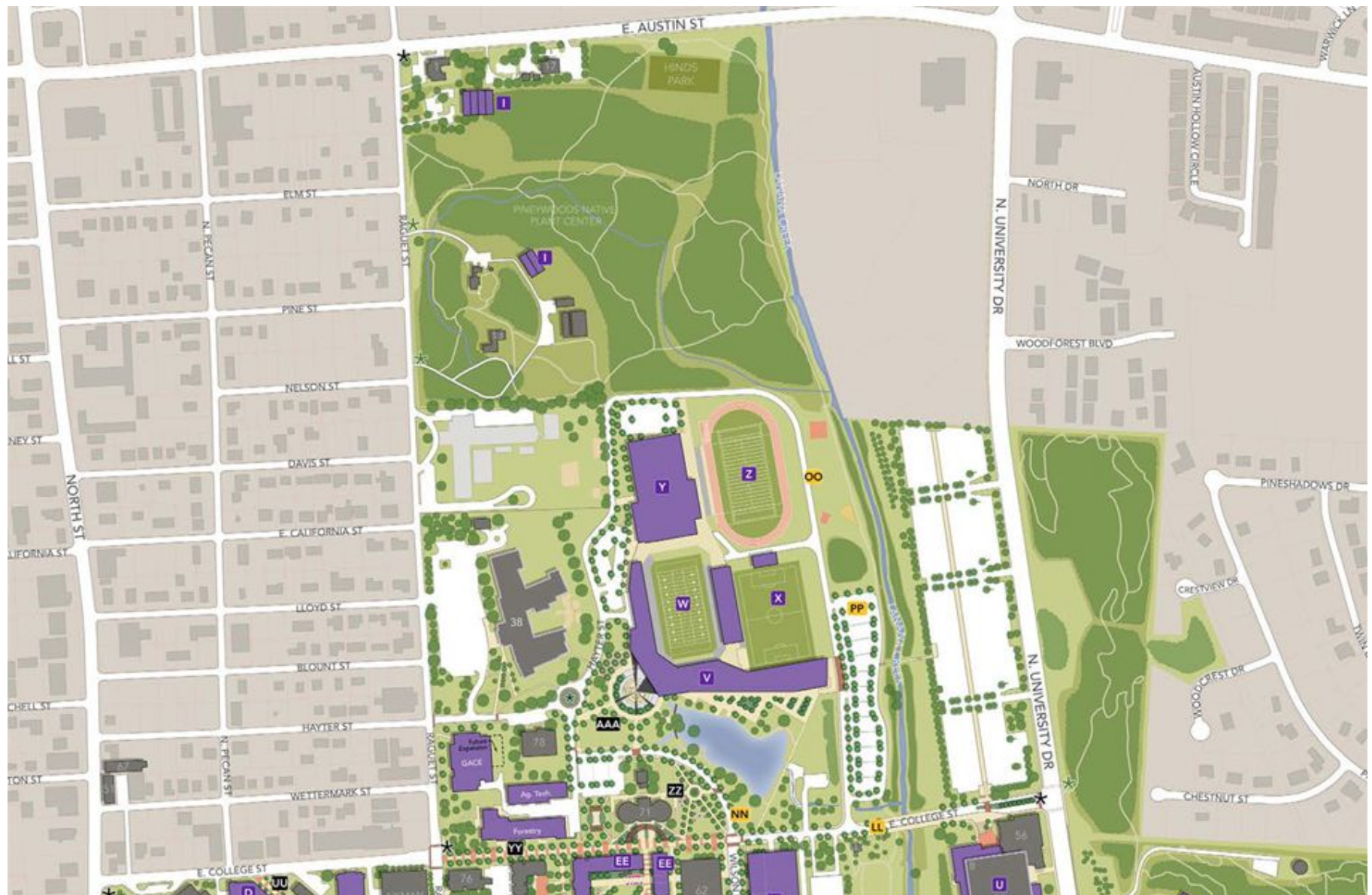
enhances spectator experience and accessibility, while coordinated landscape and plaza improvements near the Fieldhouse and Coliseum unify the area's character and create a welcoming entry experience for visitors and fans.

Key transportation initiatives improve access and circulation across the north side. The E. College Street Modifications (from Wilson Drive to University Drive) will enhance pedestrian safety and connectivity through widened sidewalks, new street trees and landscaped medians at University Drive. The College Mall from Wilson Drive to Raguet Street removes all but authorized and emergency vehicles from this area, greatly improved pedestrian safety and connectivity between the north and south sides of the campus. The new Stadium Loop Road will realign circulation around the athletic facilities,


providing improved traffic flow, a roundabout with a gateway feature at Hayter Street, and stronger connections between venues and parking areas. Together, these improvements establish a more efficient and pedestrian-friendly mobility network.

The Greenhouses, to be reconstructed in three locations on campus (two in the north), will expand research capacity for agricultural and environmental sciences while integrating sustainable technologies and improved access for academic programs. These facilities, paired with nearby open spaces and the Pineywoods Native Plant Center, reinforce SFA's identity as a campus deeply connected to its natural setting.

Collectively, the initiatives on the north side of campus elevate SFA's academic, athletic and environmental assets, creating a dynamic and cohesive environment.



Map 24. Campus Master Plan - North

Scale: N.T.S. 



The south side of the campus is envisioned as a vibrant, student-focused area that enhances academic excellence, student life and campus connectivity. The south campus plan emphasizes academic expansion, residential growth, recreation and mobility improvements that collectively strengthen the University's core identity and daily experience.

The relocation of the School of Nursing from the DeWitt Campus to the Main Campus establishes an integrated health professions and human sciences corridor, allowing students to engage fully in the energy and resources of the broader University environment. This move consolidates health-related programs, fosters interdisciplinary collaboration, and provides modern teaching laboratories, simulation spaces and classrooms to prepare the next generation of healthcare professionals.

The Science Building anchors a revitalized academic core and connects directly to the new Central Quad, an open green space for events and outdoor learning. Surrounding this area, the Art Building, Boynton Music Expansion, and McKibben Building Renovation enhance academic diversity and support the creative and performing arts. Pedestrian-

oriented improvements—such as the Aikman Mall, Austin Plaza, Student Center Mall, Raguet Mall and College Mall—create shaded, seamless connections between academic, residential and student-life areas.

Transportation initiatives further strengthen connectivity and safety. The Wilson Drive Realignment improves traffic flow and pedestrian access with enhanced crosswalks, landscaping and a new signalized intersection at Starr Avenue. The Griffith Boulevard and Vista Drive/Alumni Drive improvements reduce vehicular lanes, expand sidewalks and add planting areas to create a safer, more pedestrian-friendly environment and a stronger arrival experience from North Street.

Residential life expands through Student Housing A, B, C and D, introducing more than 2,400 new beds centered around landscaped courtyards and shared gathering spaces. Supported by new parking garages and pedestrian malls, these facilities promote walkability, cohesion and readiness for future enrollment growth.


Recreation and wellness facilities remain defining features of the south campus. The South Operations Building, Baseball and

Softball Venues, Tennis Complex, and Student Recreation Center Renovation and Addition form a dynamic athletics and recreation hub. The HPE Complex Renovation modernizes shared academic and recreation spaces, while Wilson Mall and the Loop Trail and Challenge Course provide new opportunities for outdoor activity and community engagement.

Together, these initiatives create a connected, active and inclusive south campus that celebrates SFA's mission, supports student success, and strengthens its identity as a leading institution within the University of Texas System.



Map 25. Campus Master Plan - South

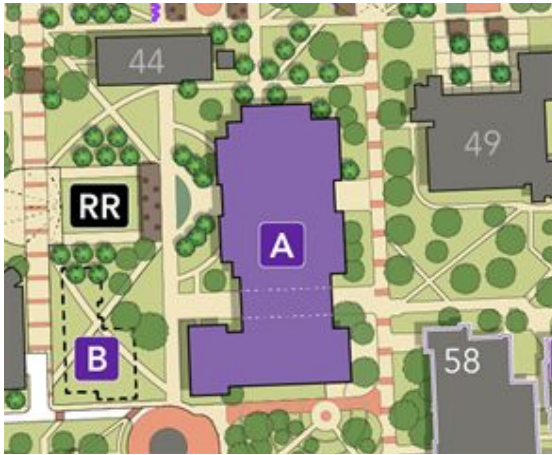
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## BUILDING AND FACILITY INITIATIVES

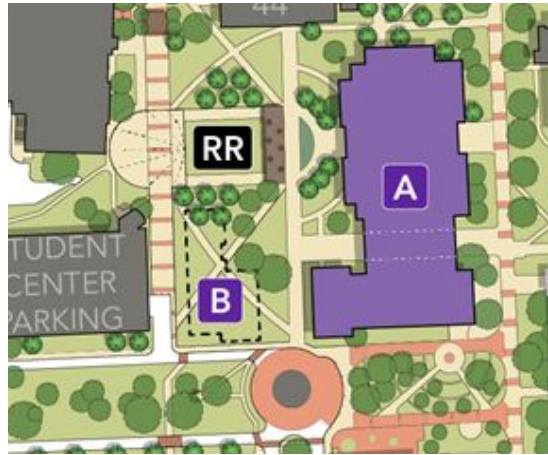
Projects are not listed in a prioritized order, but rather generally from the south to the north within each category, as seen on the plan.

### ACADEMIC



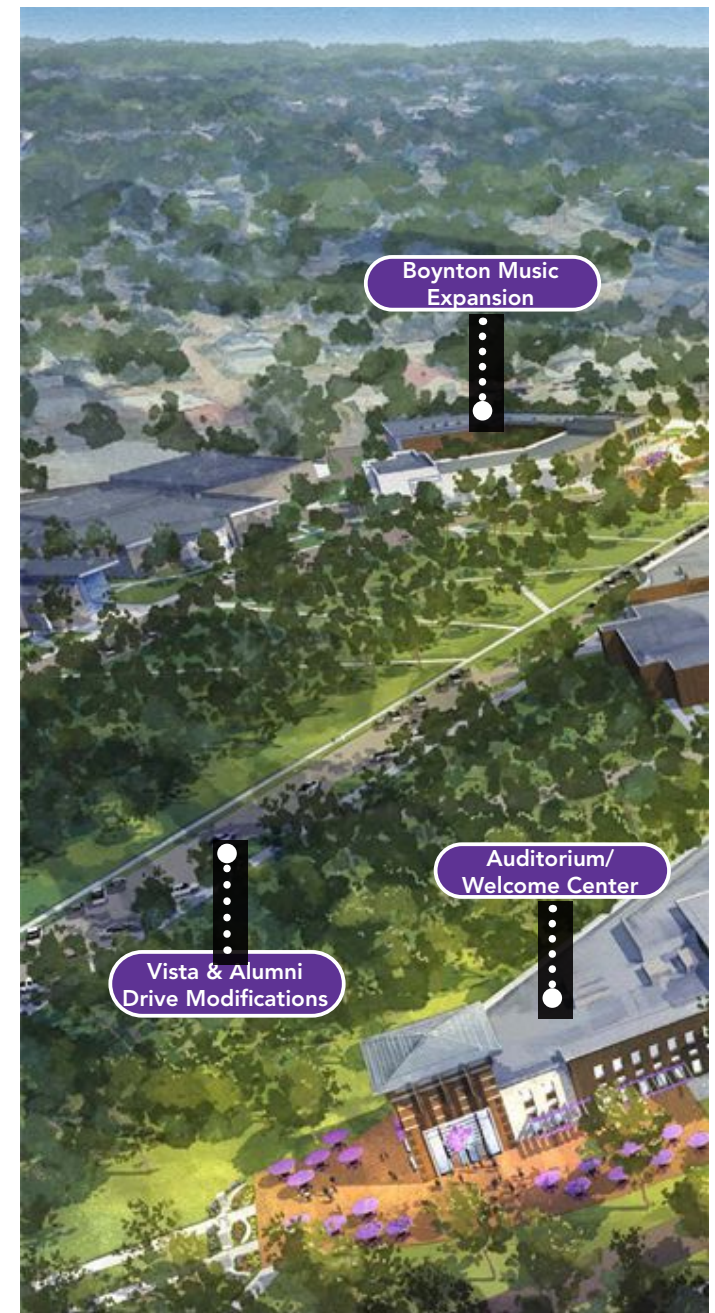
#### A Science Building

A new, 160,000 GSF Science Building will replace the existing Miller Science Building as a three-story academic building with ground floor east-west pedestrian cut-through and a western entry garden adjacent to the Central Quad. The building includes classrooms, labs and offices. Additional square footage will be included for overall growth, a permanent home for the Department of Earth Sciences and Geologic Resources core repository, Department of Chemistry and Biochemistry faculty offices, and a new instrumentation lab for donated equipment. Consideration should be given on the site to the phasing of construction for demolition of existing structures and the relationship with the existing Chemistry Building that will remain.



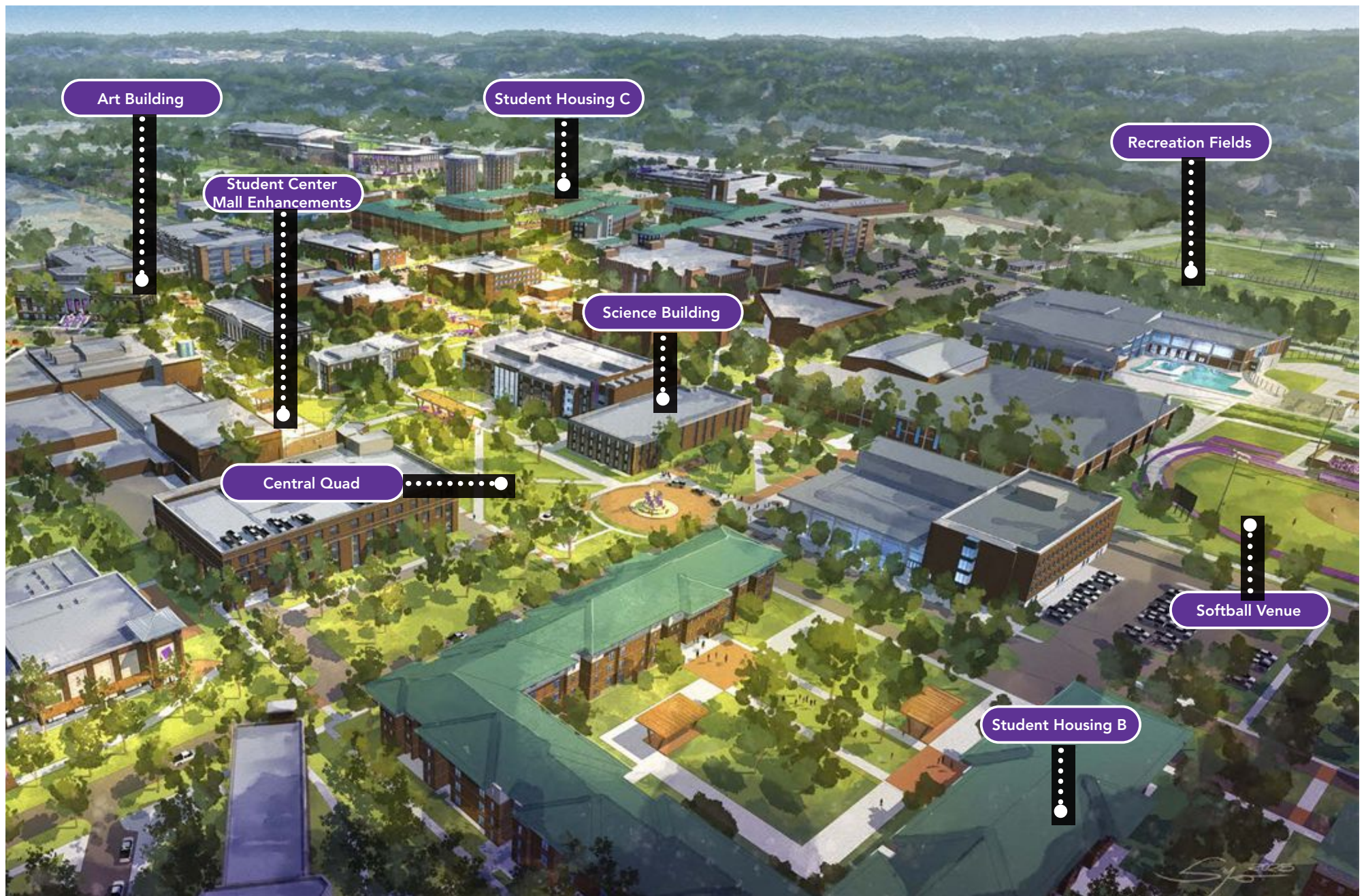
#### B Long-Term Building Site

A dashed line shown west of the Science Building delineates a location designated for a future building. This building would have a 11,600 GSF footprint and could be built at three-to-five stories, depending on the space needs at the time. This location is intended to preserve emergency access and an event drop off east/northeast of the Student Center Parking Garage. The building would also preserve views north from the roundabout to the Central Quad and Chemistry Building. While the ultimate use of this future building is not predetermined, based on the nearby uses, it could be an appropriate location for future expansion for the College of Sciences and Mathematics future programs.



**Figure 32.** Campus Aerial Illustration - Looking Northeast









### **C McKibben Building Renovation**

This Plan recommends the relocation of the DeWitt School of Nursing to Main Campus. The McKibben Building has been identified as the new on-campus home for this facility. The building will need a full renovation. The Department of Psychology will remain in the building and will be joined by the Office of Disability Services. This project will include renovation work to address the academic space requirements and cosmetic upgrades to the entire building. The renovation should consider any congested, outdated or unused spaces, as well as a building lobby with clear wayfinding. Any building systems upgrades will need to be evaluated at the time of the project. See Appendix I for further information about this project.



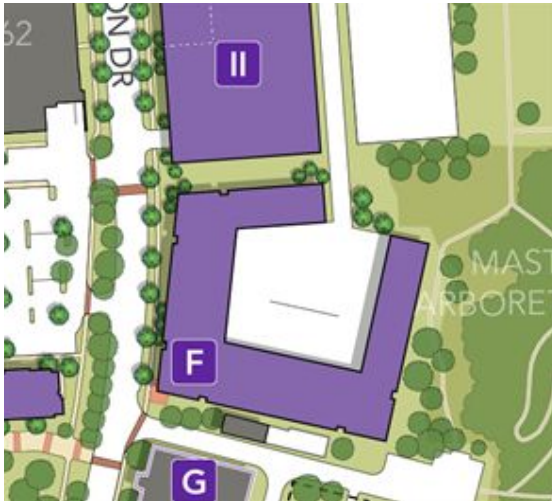
### **D Boynton Music Expansion**

A renovation and two-story, 28,500 GSF expansion on the Boynton Building will allow the Department of Music to consolidate back to one sector of the campus. This addition will house new medium and large rehearsal spaces. Faculty offices, classrooms, private studios and recording spaces, can be added as an interior renovation of Boynton. A new animation computer lab within the renovation can be shared between the School of Art and the Department of Music. Mass Communication spaces will remain and promote additional collaboration between colleges. A loading dock will be added at the west end of the addition. See Appendix I for further information about this project.



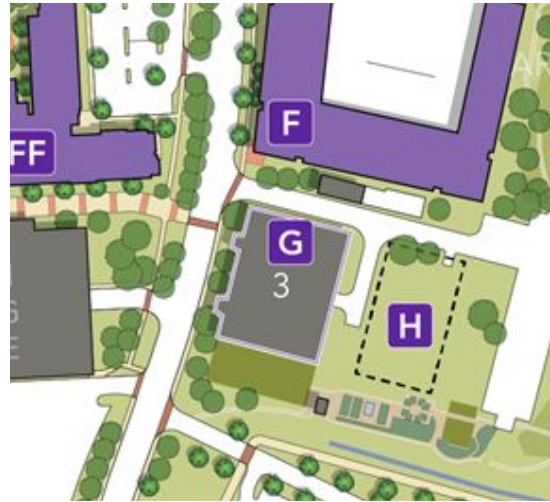
### **E Art Building**

The existing art buildings are undersized for today's enrollment numbers and do not have capacity for future growth. There is also a lack of proper wayfinding, student gathering and gallery spaces within the current facilities. A new three-story, 113,500 GSF Art Building is proposed on the west side of campus to consolidate and improve overall synergies between programs within the College of Fine Arts and to create an arts sector in the overall campus planning. This building will have a prominent location along the new Aikman Mall and include a brick entry plaza on the south side of the building. Vehicle access on the west side of the adjacent Aikman Parking Garage will be maintained. (See Figure 42 on page 128 for an illustration of this building.)



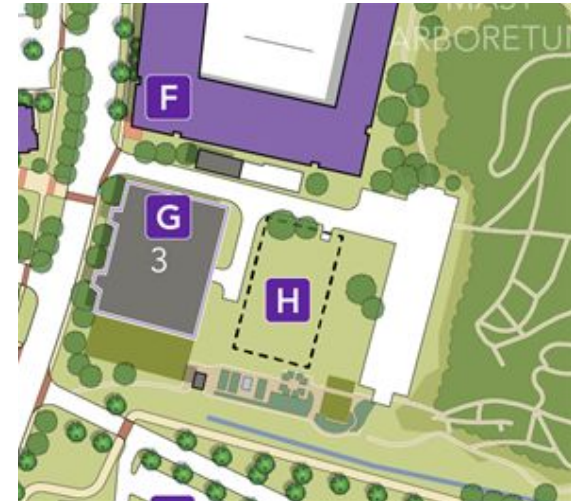
### **F Facilities Services & Operations + Academic Building**

The existing Physical Plant, Purchasing and Central Stores buildings are targeted for demolition and will be replaced by a new combined facilities and academic building. Facilities Services will have improved office, shop and storage spaces and will now include the Environmental Health, Safety and Risk Management group. The Construction Management, Interior Design and future Facilities Management academic programs will be co-located in this new building. This two-story, 105,000 GSF building fronting on Wilson Drive should shield both the service vehicle parking and outdoor workshops from the campus view. Vehicles will access this building from a driveway off E. College Street.



### **G Agriculture Building Renovation**

The Agriculture Building is being vacated as the agricultural program is moved to the new Forestry and Agriculture Building currently under construction. The Department of Military Science and the Aviation Sciences program from the College of Education will backfill this building. The 20,000 SF ground level of the building will need to be renovated and the 20,000 SF unoccupied basement will need to be finished-out to support the growth for both programs. The existing agricultural greenhouses and support buildings will be removed to provide covered outdoor space for Military Science and allow space for a future expansion to the building. See Appendix I for further information about this project.



### **H Long-Term Military Science & Aviation Sciences Expansion**

As previously mentioned, a site has been designated east of the existing Agriculture Building for the long-term expansion of the Military Science and Aviation Sciences program areas. The timing for this expansion is unknown, but the land should be preserved for this future use.





### **I Greenhouses**

The current locations of the Forestry Greenhouse, Agriculture Greenhouse and Biology Greenhouse are targeted for other uses as part of this Plan. As such, three new locations are proposed for these greenhouses:

- Near the location of the current Music Prep House
- In the Pineywoods Native Plant Center
- Adjacent to the parking area south of the Cole STEM Building

The final size, exact location, and determination of which department each greenhouse serves is still in discussion, but ideally, new greenhouses would include space allotted for growth, demonstration and research, and provide flexibility as departmental needs fluctuate over time.

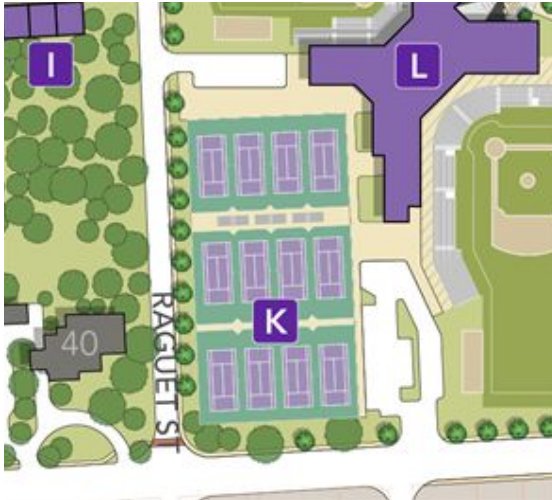


### **J Social Work Building Renovation**

The Hospitality Administration, Dietetics and Nutritional Sciences, and Food and Nutrition academic programs will be relocated to the existing 15,000 GSF Social Work Building. The facility will undergo a comprehensive renovation to accommodate the academic, administrative, and instructional needs of these programs. Planned improvements could include the creation of new faculty and staff offices, flexible classroom and learning spaces, and demonstration kitchens to support hands-on teaching.

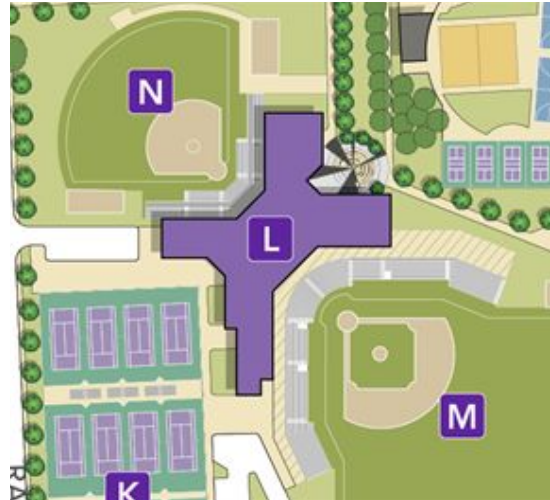
## ATHLETIC/RECREATION

See Appendices C (Athletics) and D (Recreation) for more information about the projects in this section.



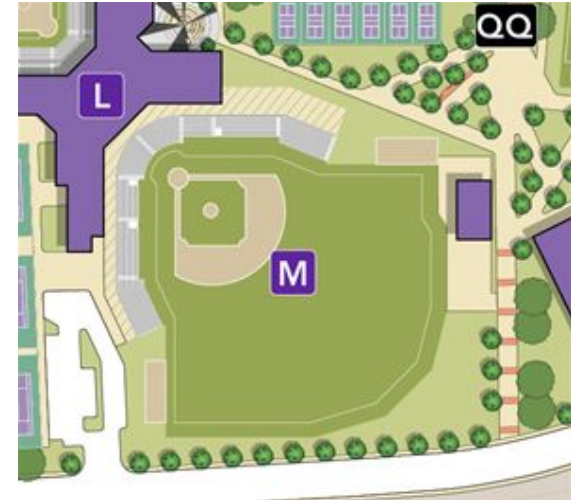
### **K** Tennis Venue

The 6,350 GSF tennis complex will be relocated to the west of the existing courts and feature 12 lighted courts, a central scoreboard, lighting and seating for 205 spectators, along with accessible seating areas to support larger tournaments. The courts will function with the South Operations Building to provide an opportunity to expand and modernize team locker rooms and student-athlete spaces, creating a cohesive and high-performance environment that better supports athletes and competition needs. Spectator amenities and team support functions will be integrated within the facility, establishing a unified and efficient hub for both athletes and visitors during practice and competitions. This project also includes adjacent sidewalks and street trees.



### **L** South Operations Building

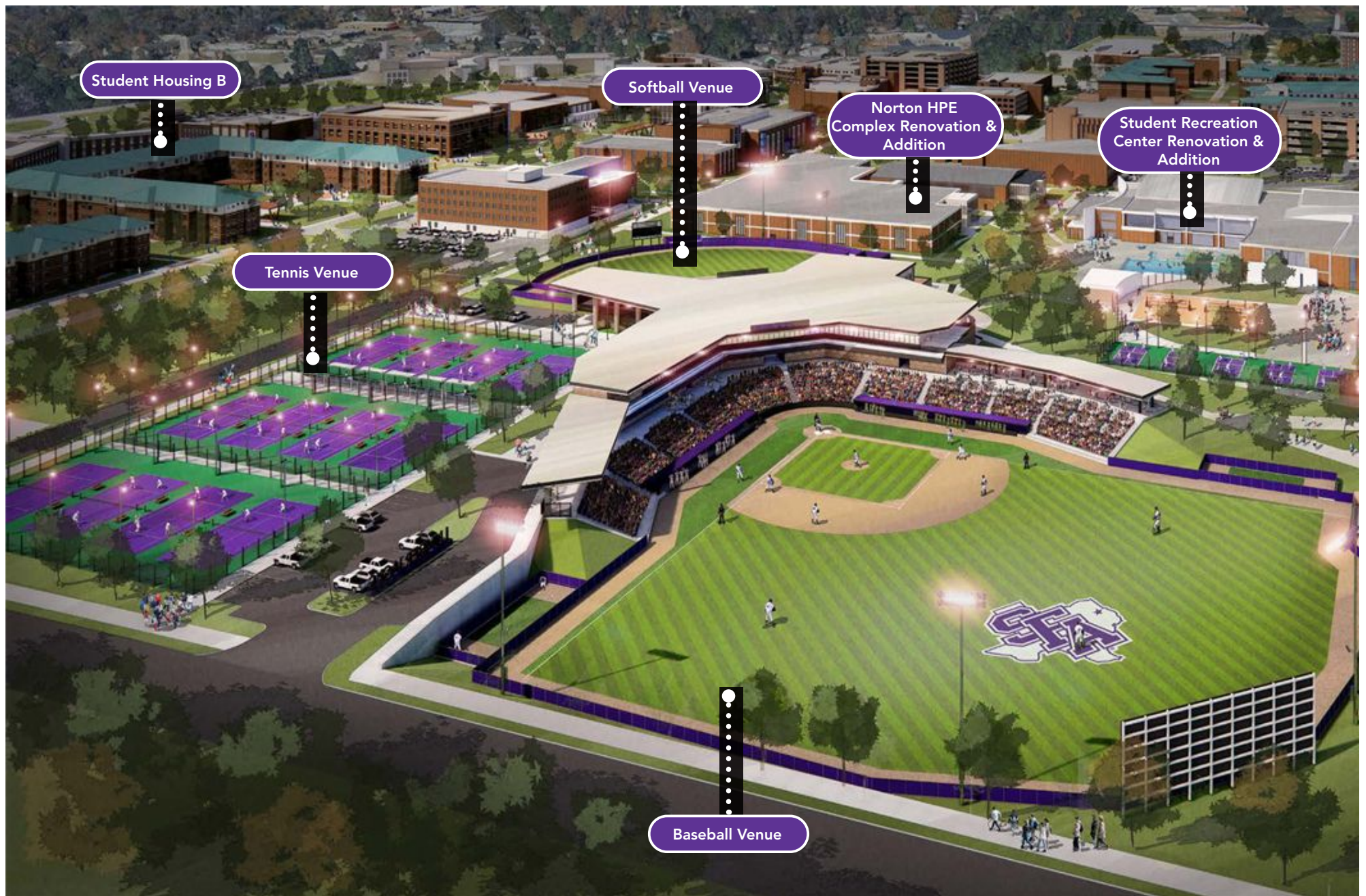
The three-story, 87,360 GSF satellite hub consolidates baseball, softball and tennis operations into a centralized facility. The South Operations Building includes team and visiting locker rooms, lounges, offices, meeting areas and satellite training, and strength and conditioning spaces, along with venue support amenities such as club/suite areas, concessions and restrooms. The design accounts for foul ball territories and adjacent circulation, creating a functional, safe and engaging environment for athletes and spectators. A plaza with enhanced paving and green space connects the north entrance of the complex to the core of campus.



### **M** Baseball Venue

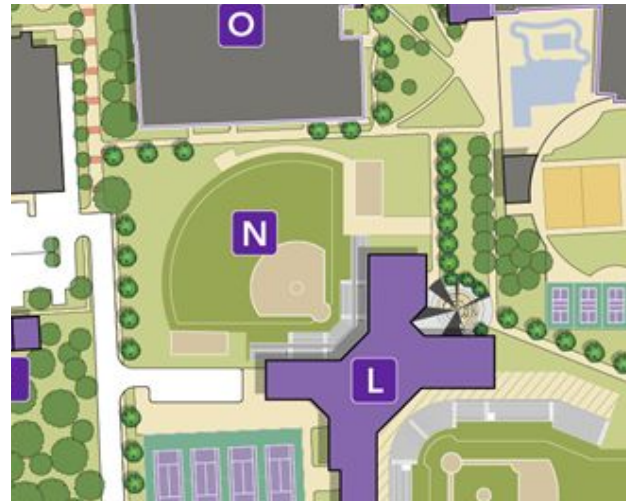
This venue provides a dedicated, on-campus home for baseball. The facility features a combined approximately 35,500 GSF of interior and exterior space and a 130,000 SF field with a synthetic turf infield, natural grass outfield, two bullpens, backstop netting on four poles, field fencing and padding, foul poles, eight sports lighting poles, a scoreboard, sound/PA system, and a 90'x40' batter's eye. Interior batting cages with storage and supporting facilities, including dugouts, hitting and pitching areas, enhanced athlete performance and operations function out of the South Operations Building. Spectator amenities include 2,285 seats. Additional team and spectator support spaces and premium seating are also provided.





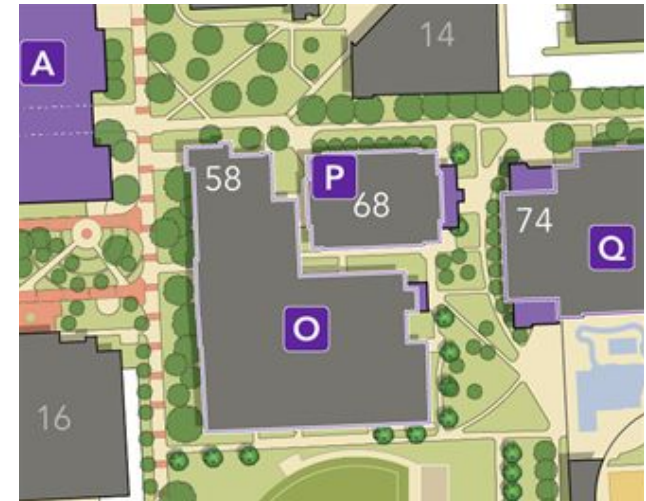
**Figure 33.** South Athletics and Recreation Area Illustration





### **N Softball Venue**

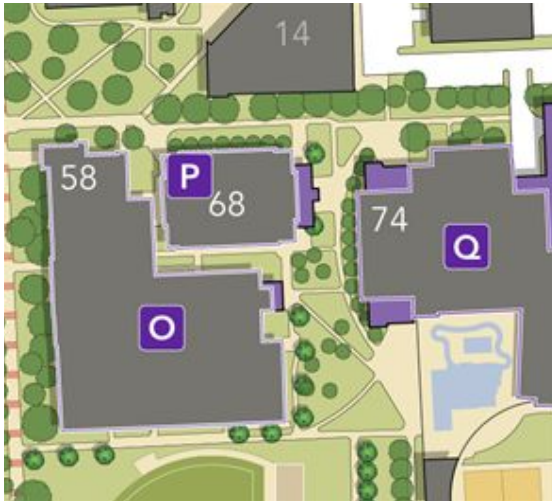
At approximately 28,900 GSF of interior and exterior space, this venue provides an on-campus home for softball. It features a 46,000 SF field with a synthetic turf infield, two bullpens, field fencing and padding, foul poles, six sports lighting poles, a scoreboard, and sound/PA system. Interior batting cages are included and shared with visiting teams inside the South Operations Building. The venue offers 1,370 spectator seats, with additional amenities such as entry plazas, concessions and restrooms. Additional team and spectator support spaces and premium seating are housed in the facility as well.



### **O Norton HPE Complex Renovation & Addition**

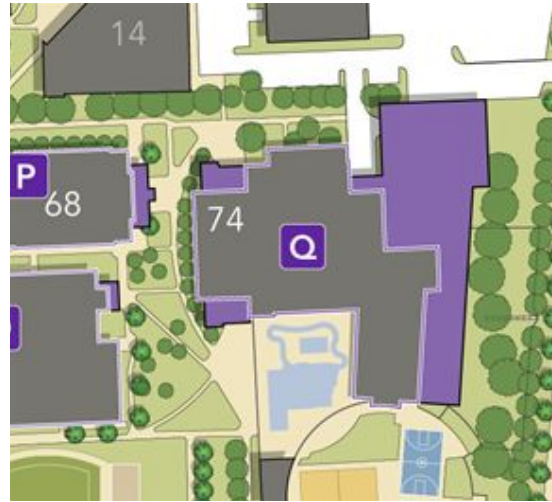
The proposed HPE facility renovation includes a new east entry near the existing staircase, improving access and circulation. Recreation upgrades feature an enhanced fitness center with a powerlifting zone, expanded group and yoga studios, a new spin studio, multipurpose studios, and renovated locker rooms for men and women. Athletics improvements include new locker rooms for visiting athletes and coaches who are competing in Shelton and on the south athletics field/courts. Academic upgrades include the relocated and upgraded Human Performance Lab. The gym and pool will also be upgraded to address acoustical issues, and gym spaces will be upgraded to better support the cheer and dance programs, ensuring the facility serves the entire campus more effectively.





### **P Shelton Renovation & Addition**

This renovation and addition to the Shelton Gym will create a dedicated home for the volleyball program. It preserves the facility's legacy while introducing modern functionality through a new entry, elevator and improved spectator circulation. Key upgrades include renovated locker rooms for players and coaches, a team lounge, film room, expanded storage, and an enhanced athletic training area with ADA upgrades. Updated seating, lighting, graphics, and audiovisual systems elevate the arena experience, while a second-floor suite with concessions and an elevator ensures universal accessibility.



### **Q Student Recreation Center Renovation & Addition**

This project expands the facility from 79,000 to approximately 113,000 GSF. The outdoor aquatics area will be renovated. A new wellness suite will provide a space for holistic wellness, massage, rest and recovery. Recreation upgrades include adding six outdoor pickleball courts and an indoor Multi-Activity Court (MAC) for flexible indoor programming. Weights and functional fitness areas are expanded, a climbing social space created with dedicated bouldering, outdoor fitness facilities are enhanced, and jogging track extended, creating a more versatile, user-focused environment.



### **R Recreation Support - Field Services Building**

This 4,000 GSF building will provide concessions, public restrooms, expanded storage and parking for the adjacent upgraded field complex. Storage with divisible cages will give a home to soccer, softball and rugby equipment. Space for an ice machine, water stations, mowers and a fenced outdoor equipment area is provided. With participation averaging 650 weekly users and over 7,700 from sports clubs recently, there is a clear need for enhanced site circulation and amenities that will support both students and spectators, ensuring a functional and accessible recreation environment. This facility will also support the annual bonfire events.



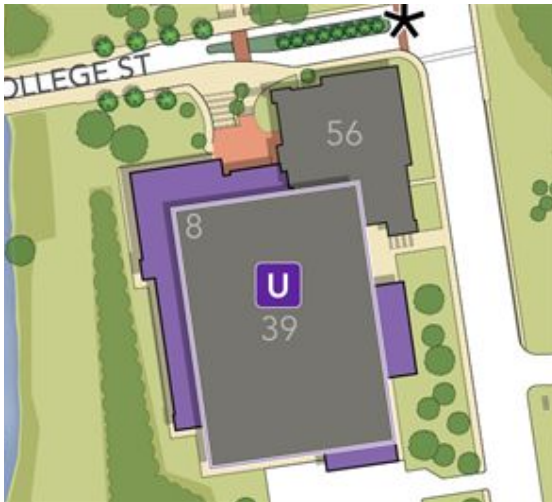
### **S Loop Trail and Challenge Course**

This 0.65-mile, 12-foot-wide, asphalt trail loops around the Recreation Fields and provides access to a Challenge Course with a program footprint of 15,000 SF. The Loop Trail will be used by the entire Nacogdoches community while the Challenge Course will focus on student organizations, academic programs and professional groups. The Challenge Course features potential items like low-ropes courses at ground level and high-ropes elements, including a 30-foot elevated rope course, crate stacking and a climbing wall for more physically challenging activities.

### **T Recreation Fields - Intramural & Competitive Sports**

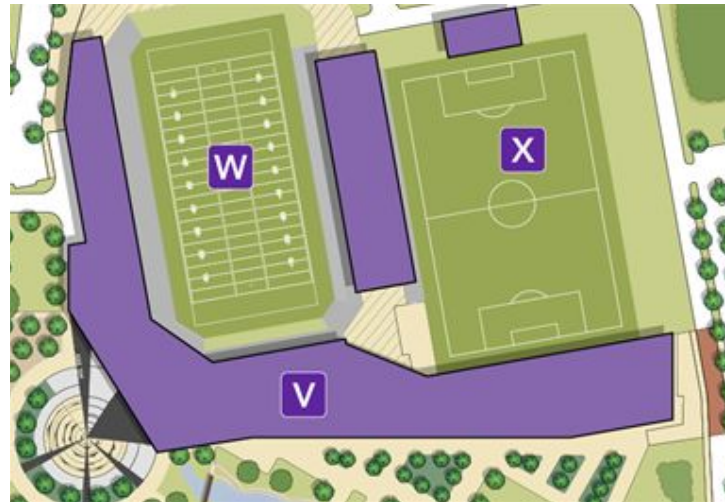
The current fields do not meet the needs for Campus Recreation, with limitations in field size, quantity, usage hours, field type and flooding. To increase usability within the floodplain, 318,200 SF of synthetic turf for soccer, softball and flag football on the west side of a relocated Wilson Drive will be raised and fenced, providing a flexible and durable surface that remains playable during and after inclement weather. An additional 216,000 SF of natural grass will accommodate rugby and flag football to the east. Field lighting and scoreboards are also added. These upgrades will improve field availability, enhance playability and support a wider range of Student Life and recreational activities.





### **U Johnson Coliseum Renovation & Addition**

A combined 114,700 GSF of renovation and addition to the Johnson Coliseum, focuses on arena and seating bowl upgrades, including new entries, clubs, suites, box seating, drink rails, concessions, merchandise, restrooms, guest services and ADA improvements. An upgraded entry plaza and ADA-compliant ramp on the north side of the building improve accessibility and the arrival experience. Additional improvements include golf, cheer and dance locker rooms, satellite athletic training, game management and offices, audiovisual and media support, and additional spectator amenities including grab-and-go stations, restrooms, kitchen and merchandise store.



### **V Fieldhouse Building**

The proposed four-story, 190,000 GSF Fieldhouse Building will serve as a centralized hub for student-athletes, coaches and staff, integrating athletic, academic and administrative functions. Athletic and performance spaces include sports medicine and therapy suites with exam, hydrotherapy, recovery and rehab zones; a sports performance center with weight, cardio and agility areas; and a training table with nutrition offices and fueling stations. Football, soccer, and track and field have dedicated locker rooms, lounges, team offices and meeting rooms, while administrative and academic support includes offices, collaboration spaces and a Hall of Fame highlighting program excellence. The facility features direct connections to the Football Stadium and Soccer Venue integration, with adjacent plazas and Ag Pond views, and landscaped outdoor spaces to foster interaction between programs and shared operations.



**Figure 34.** North Athletics Area Illustration

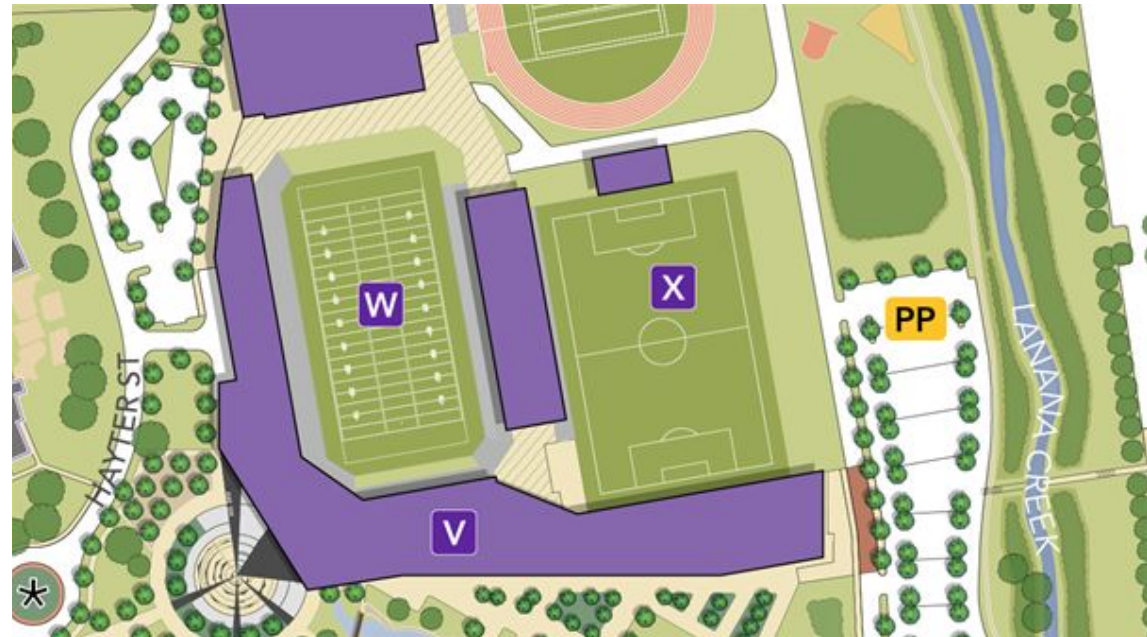








**Figure 35.** Football Stadium Illustration

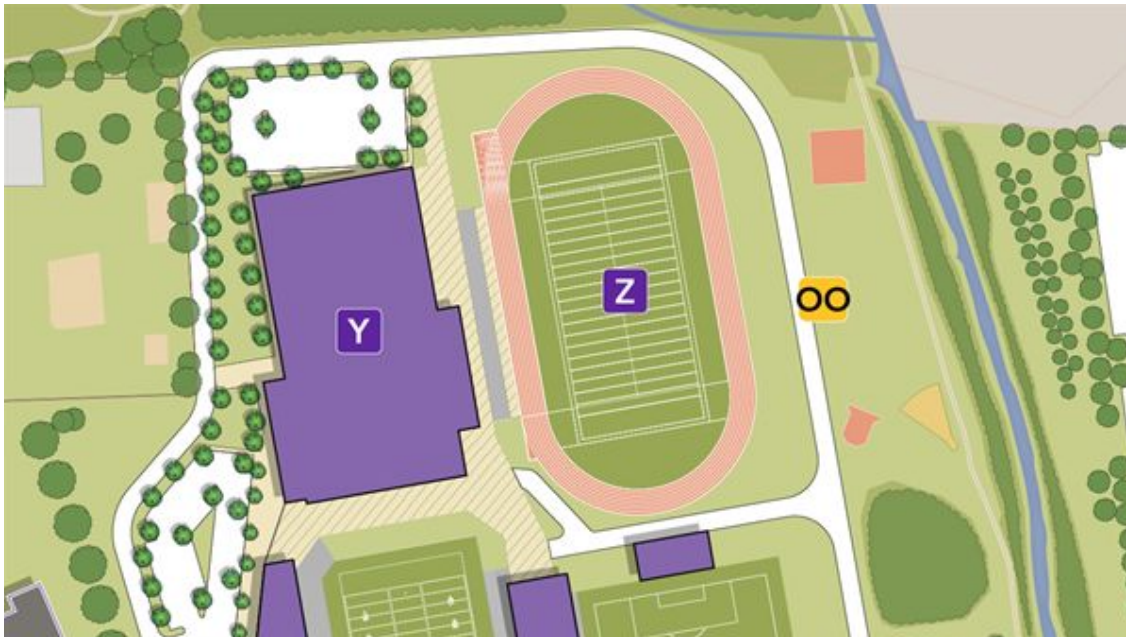


### **W Football Stadium**

The stadium encompasses approximately 122,700 GSF of interior and exterior space plus a 76,000 SF synthetic turf field with six sports lighting poles, a scoreboard, ribbon boards and remote filming cameras. The stadium includes a 10,440-seat U-shaped bowl in a mid-load configuration with flexible hillside seating and optimized sightlines and acoustics, alongside club, suite and loge box seating for premium spectator experiences. Multiple entry plazas, concessions, restrooms and ADA-accessible facilities ensure comfort and efficient circulation. Direct connectivity to the adjacent Fieldhouse supports seamless team access to locker rooms and training facilities. This project includes a parking lot to the west with ADA and VIP spaces.

### **X Soccer Venue**

At approximately 25,700 GSF of exterior space, this venue provides a dedicated home for soccer, featuring a full 106,000 SF competition/practice field, six light poles, a scoreboard, sound system and press box. Seating includes a 1,400-seat bowl and club/suite areas. Support amenities shared with the Football Stadium include restrooms, a merchandise store and visitor locker rooms located on the north side of the field. Soccer operations, including team locker rooms, meeting spaces and other support functions, are housed in the adjacent Fieldhouse Building, ensuring efficient access.

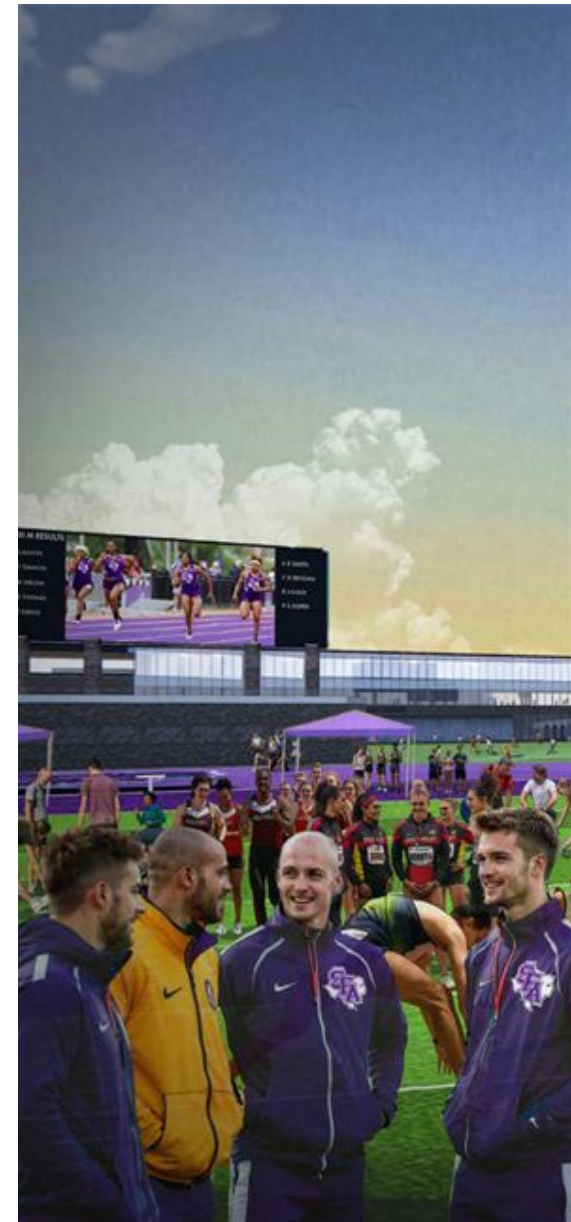


### **Y Indoor Practice**

The approximately 95,300 GSF, two-story facility provides a year-round, all-weather training environment. Designed as a shared, flexible campus resource, it features a full-size NCAA football turf field with a 80' clear height for punting, long passing and vertical drills, along with safety runoffs and multi-sport end zones. Integrated netting and divider systems enable simultaneous use by multiple teams, with training and cardio zones positioned along the field edges for quick access during sessions. The second level includes a press box for observation and coordination, while support spaces such as restrooms, satellite training, and storage areas enhance functionality. This project also includes a parking lot to the north for authorized SFA users.

### **Z Track & Field + Practice**

The approximately 22,900 GSF facility features a full 400-meter, eight-lane track and dedicated areas for field events. Two long jump and triple jump runways with pits and one high jump area are provided, while pole vault has two runways and boxes. Throwing events are supported with three shot put rings, two hammer/discus cages and a javelin runway with landing area. The facility also includes sports lighting, a scoreboard, a sound/PA system and a central field of approximately 155,000 SF. Track and Field operations, including locker rooms, lounges and support spaces are accommodated within the Fieldhouse Building or Indoor Practice facility.



**Figure 36.** Track & Field + Practice Illustration



## STUDENT EXPERIENCE



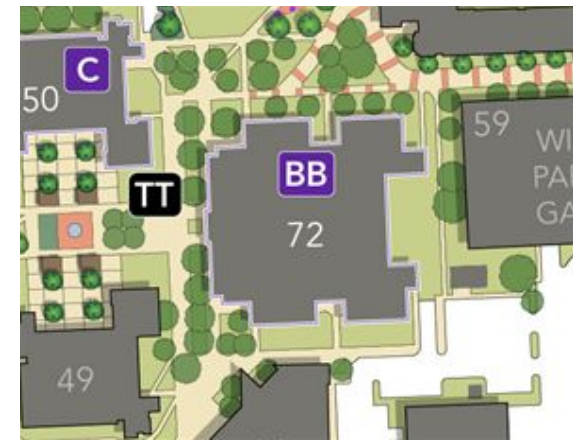
### AA Auditorium/Welcome Center

The new SFA Auditorium/Welcome Center will serve as an identifiable front door to the University and provide spaces for social interaction of various campus users and prospective students. This building will house exhibit spaces to celebrate SFA history, meeting spaces as the home base for Jackwalkers leading campus tours, a spirit shop, and an 1,800-seat auditorium. This two-story, 32,500 GSF building creates a prominent building form seen from the campus entrance and provides space for a balcony inside the auditorium. The auditorium's primary function will be as a concert space for the Department of Music, with appropriate acoustical characteristics. There may also be potential for some of these functions to be housed in the Student Center.

Outdoor gathering areas with seating, enhanced plantings and paving are located

on the northwest, south and east sides of the building.

Notably, this project also includes modifications to Griffith Boulevard. The north leg of the road will be closed from the west entrance of the Student Center Parking Garage to the circular campus entrance at North Street and the south leg of the road will become two-way for this same extent. Griffith Boulevard will be one-way in each direction from the west garage entrance to the central roundabout near the STEM building. On-street parking will be removed for the entire length of Griffith Boulevard and the guard booth and car pull-through are shifted south of the road. These road modifications improve pedestrian safety, help clarify vehicular entry circulation near North Street, allow preservation of as many trees as possible, and minimize disruption of utilities located in the Griffith Boulevard median.



### BB R. W. Steen Library Renovation

It is recommended that the uses in the library be shuffled between floors for better use of space. The existing library building will require a fire suppression system installed before any additional renovation work can begin. The subsequent renovation and shuffling of uses should meet the study needs of today's students and create a modern, technologically advanced space that students want to enjoy, both socially and academically. The building lobby should be open and inviting, and should consider additional food vendor space and/or seating areas that open to exterior seating.

See Appendix I for further information about this project.



**Figure 37.** Auditorium/Welcome Center Illustration





**Figure 38.** Student Housing A Illustration





SFA has identified multiple residence halls that are at or nearing the end of their usable life. The removal of these five buildings will result in a loss of 1,000 beds available for student residence. To restore the University to its current capacity, and provide enough beds for 40% of the target enrollment of 15,000 students, there will need to be approximately 2,410 beds added to reach a total of 6,000 beds on campus. A further housing study will need to be conducted to determine bed types and the associated final bed count and building size for each project.



### **CC Student Housing A**

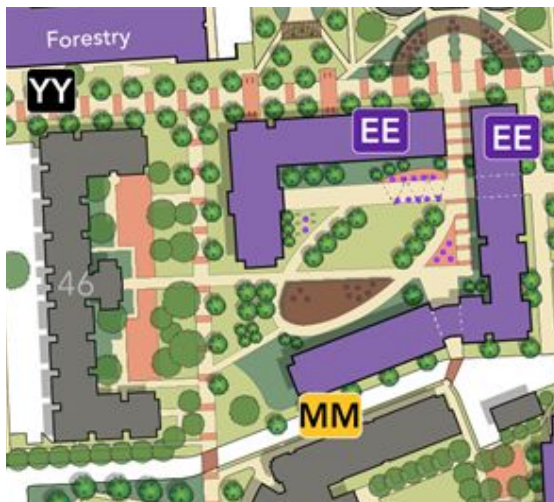
This five-story student residence in the southwest corner of campus will include approximately 530 beds and communal gathering areas. A central courtyard includes shade structures, tables with umbrellas, brick pavers and a flexible green space for socializing. This project includes approximately 5,400 SF of ground floor retail space in the southwest corner of the building, adjacent to a new, small surface parking lot for business patrons. This retail space is intended to accommodate uses that support both students and the greater community.



### **DD Student Housing B**

This five-story student residence is located north of Lumberjack Village and includes approximately 780 beds and communal spaces. A central courtyard with shaded seating, walking paths and landscaping preserves the trees within the current "horseshoe" area. A north-south ground floor pedestrian cut-through provides direct access toward the Student Center to the north. This project also includes a new mall to the west of the building with brick paver bands and shade trees. This mall provides an enhanced experience for those walking/biking to and from garages and residences at the south end of campus.





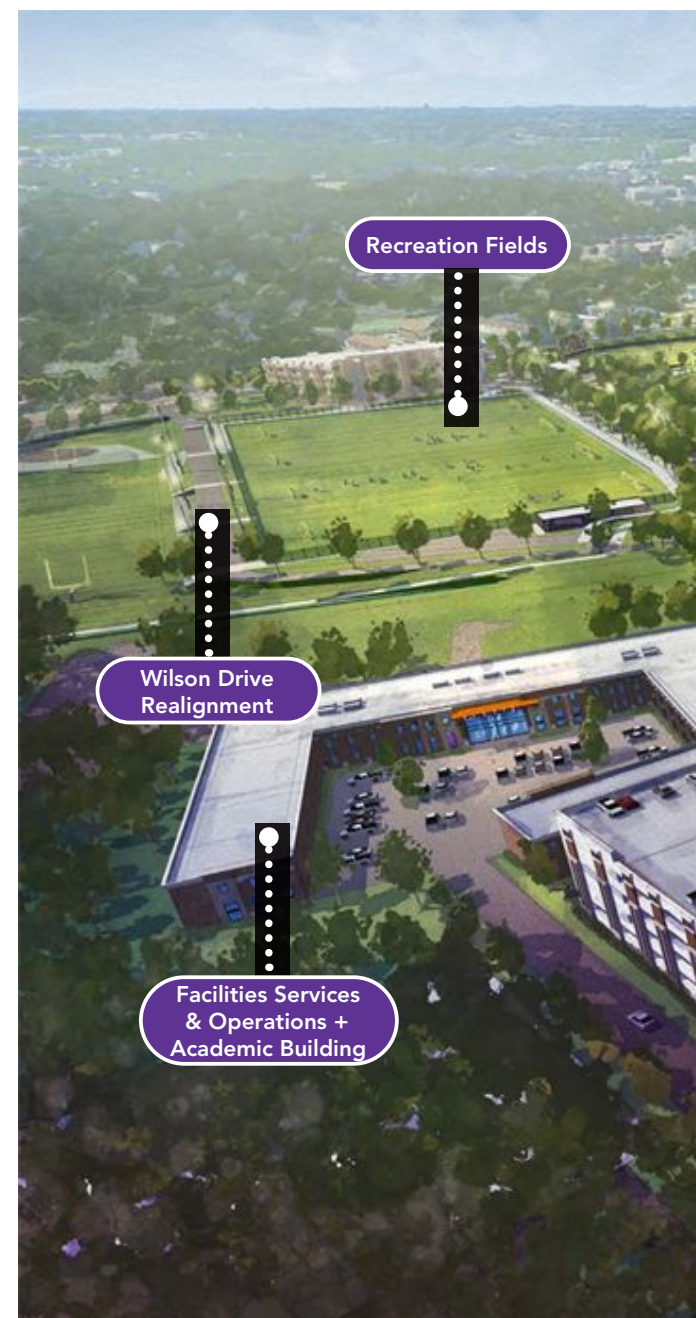
### EE Student Housing C

Student Housing C includes two, five-story buildings totaling approximately 775 beds and communal spaces. The eastern building includes an east-west ground floor pedestrian cut-through to the Dining Hall and a north-south ground floor pedestrian cut-through to Lumberjack Landing. A central courtyard including a large pavilion, hammock area, flexible lawn space, string lighting and shaded seating is open to all students. The existing driveway and parking area between this project and Lumberjack Lodge to the west will be converted to a courtyard space adjacent to the building and a north-south mall with brick paver bands providing safe, enhanced non-vehicular connectivity between the center of campus and E. College Street. See Appendix G for more information about the courtyard.



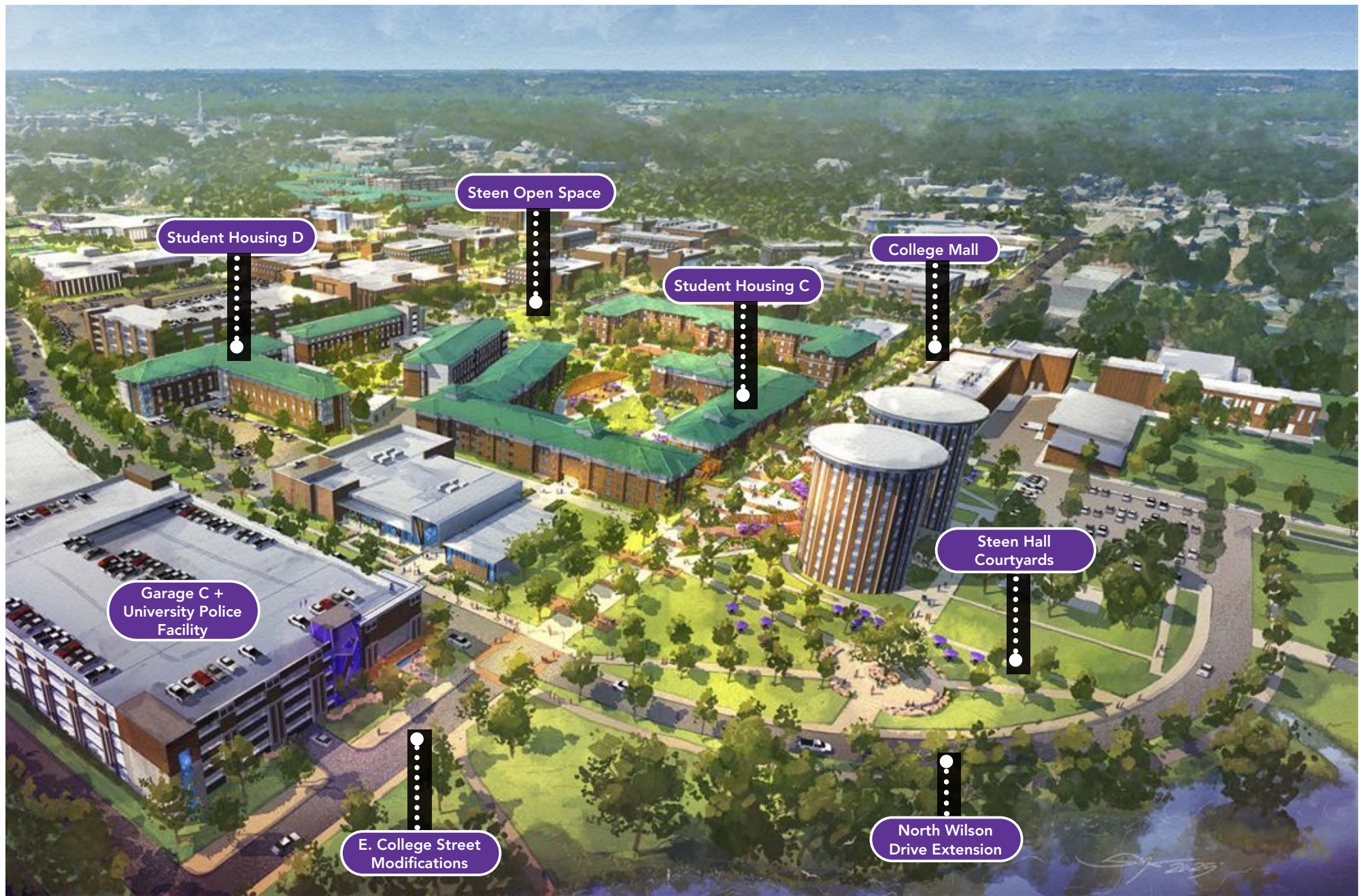
### FF Student Housing D

This previously designed four-story student residence will include approximately 335 beds. A small courtyard space on the west side of the building provides an outdoor gathering area. A wide east-west mall south of the building provides enhanced pedestrian connectivity as well as fire access to this building and Lumberjack Landing.



**Figure 39.** Campus Aerial Illustration - Looking Southwest







## GARAGES



### **GG** Garage A

This garage is situated in the southwest corner of campus. With five levels of parking (four stories, plus rooftop parking), this garage accommodates approximately 700-715 parking spaces. The garage includes two, two-way vehicular access points on the north side of the garage.



### **HH** Garage B

Garage B is located toward the southeast corner of campus, adjacent to the new Baseball Venue and Recreation Fields. With four floors and rooftop parking, it accommodates approximately 860 vehicles. The south entry/egress will be right-in/right-out to prevent vehicles from turning left onto E. Starr Avenue and creating a safety hazard. The eastern entry/egress is a standard two-way access point. This garage will support both daily and game-day parking needs. If needed, exterior utility hookups could be added to support the nearby bonfire area.



### **II** Garage C + University Police Facility

Garage C sits at the corner of E. College Street and Wilson Drive. It will include four stories and rooftop parking totaling approximately 915 spaces to support both game-day and daily parking needs. The northwest corner of the ground floor will also include the new home for the University Police. This 10,500 GSF facility will include offices, dispatch desks, a small fitness room, lockers and a conference room which will also serve as the emergency operations center for emergency management.

## TRANSPORTATION INITIATIVES

Projects are not listed in a prioritized order, but rather generally from the south to the north as seen on the plan.



### JJ Vista Drive & Alumni Drive Street Modifications

Vista and Alumni Drive are currently two-lane, one-way streets circulating vehicles from the circular North Street entrance to an exit further north along North Street. This project reduces both roads to one lane, preserving the one-way traffic flow. The curbline and angled street parking will be shifted accordingly, freeing space for wider sidewalks and landscape areas behind the new curb. The curbline will be further modified at the exit to prohibit vehicles from turning left on North Street, which currently causes traffic issues. This project, and the Griffith Boulevard modifications previously described with the Auditorium/Welcome



Figure 40. North Street Entrance Illustration

Center project, aim to improve vehicular circulation at the North Street entrance and enhance pedestrian safety and comfort along these roadways.



## KK Wilson Drive Realignment

Wilson Drive currently intersects E. Starr Avenue at an unsignalized intersection on a curve, toward the bottom of a hill. Pedestrians regularly cross E. Starr Avenue on foot at this dangerous location and it is a significant safety hazard. This project realigns Wilson Drive to the east starting near the Wilson Parking Garage. The road will now intersect E. Starr Avenue at a signalized intersection aligned with the entry to the parking lot across the street and will be equipped with pedestrian crosswalks. This new road alignment will also include elevation modifications to bring the area west of the road out of the floodplain. This may entail a retaining wall along the east side of the road. Elevating this land above the floodplain will alleviate issues of intramural play following rain events.



## LL McKibben/Library Access Road

As part of the Student Housing C project, the driveway from E. College Street to the parking lot adjacent to the Library and McKibben will be closed. This project creates a new vehicular access road from Wilson Drive to the McKibben/Library parking area. The existing eastern parking area is being converted to a green space as part of the Steen Open Space project (XX). The western parking area will be modified by relocating the dumpster storage area to be closer to the northeast corner of McKibben, removing the small unpaved area that currently bisects the two existing parking lots and restriping the lot to a more efficient parking configuration.



### **MM E. College Street Modifications**

The eastern end of E. College Street, between Wilson Drive and University Drive is proposed to be modified. Street parking will be removed (some already has been), sidewalks will be widened and street trees will be added, where possible. The wider sidewalks will provide a safer, more comfortable pedestrian experience between the core of campus and Garage C and the Coliseum and large parking lots on the north side of the street. A new landscape median toward the east end of the street provides a pedestrian refuge area and space for enhanced planting and gateway signage near the intersection with University Drive. Enhanced crosswalks will be added at each defined pedestrian crossing to enhance visibility of the areas.



### **NN North Wilson Drive Extension**

E. College Street will be closed to vehicles (with the exception of emergency/authorized use) between Raguet Street and Wilson Drive to address pedestrian/vehicular conflicts that occur throughout this area (see project YY). While the goal is to minimize cut-through traffic in this area, some drivers will still need to get from Wilson Drive to the west side of the campus. This North Wilson Drive extension will provide that route. The road will run north behind Steen Hall and ultimately to a roundabout east of the Fieldhouse. This road will be equipped with traffic calming measures such as speed tables and street trees to reduce vehicle speeds. This project includes sidewalks along both sides of the road as well as restriping and adding landscape islands to the existing parking lot west of Steen Hall that is to remain.



## **oo Stadium Loop Road**

Existing vehicular access to the stadium area includes roads on the east and west sides of the facility, but no through circulation. The Stadium Loop Road will bring vehicles from E. College Street to north of the athletic complex, west along Hayter Street and ultimately intersect with Raguet Street. While some of this road will take advantage of the existing alignments on the east and west side, much of this project will include realigning vehicular access. The road will provide access to the athletic complex for deliveries and authorized access, as well as access to parking lots on east, north and west of the complex. Care should be taken with the alignment at the north end to avoid negative impacts to the waterways and sensitive landscapes to the north.

## **PP East Stadium Parking**

This is primarily an existing parking area. This project restripes and reconfigures the parking area to separate vehicular traffic within the lot from the parallel Stadium Loop Road. The existing access at the north end of the lot is closed, and three new access points are added along the eastern edge of the lot. To the extent possible, landscape islands should be added throughout the lot to reduce the heat island effect created by such a large paved area. There may be opportunities to incorporate green infrastructure such as rain gardens and/or vegetated filter strips within and along the edge of the lot.



## LANDSCAPE INITIATIVES

*Projects are not listed in a prioritized order, but rather generally from the south to the north as seen on the plan.*

At SFA, the landscape framework is more than a backdrop; it shapes academic identity, community spirit and student success. A range of space types creates a campus that is functional, memorable and true to SFA's values of openness, connection and growth. The landscape initiatives described in this section are part of a greater landscape strategy developed during the planning process. The strategy, included in the Landscape Character Guidelines in Appendix G, includes a hierarchy of landscape typologies including:

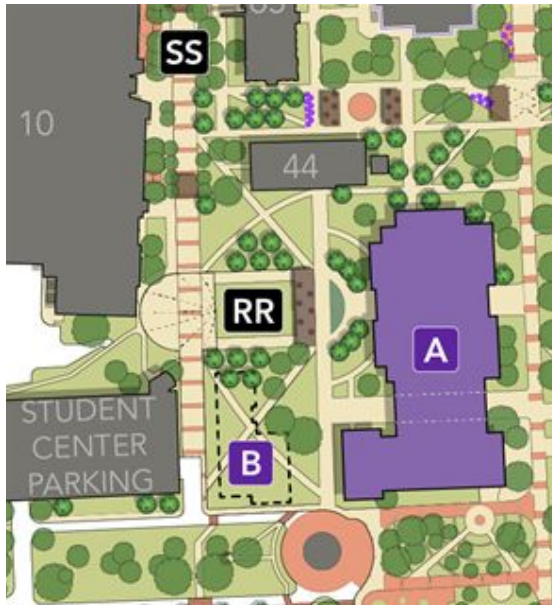
- **Open Spaces:** The University's great "living rooms," these large landscapes host milestone events like orientation and commencement, while also serving as fields for play, relaxation and cultural gatherings, anchoring campus life in nature and community.
- **Quads:** At the academic core, quads connect daily pedestrian life. Flexible and active, they support everything from study on the lawn to art installations, helping define SFA's academic identity.
- **Malls:** Tree-shaded promenades that function as primary arteries, malls emphasize walkability, safety and connection. They are places where daily movement intersects with conversation and campus life.
- **Plazas:** Lively outdoor rooms near student hubs, plazas provide shade, seating, and space for clubs, conversations or people-watching, energizing campus culture.
- **Courtyards:** Intimate spaces nestled between buildings, courtyards support study, small groups and quiet reflection, extending learning and relationships beyond the classroom.



### Wilson Mall

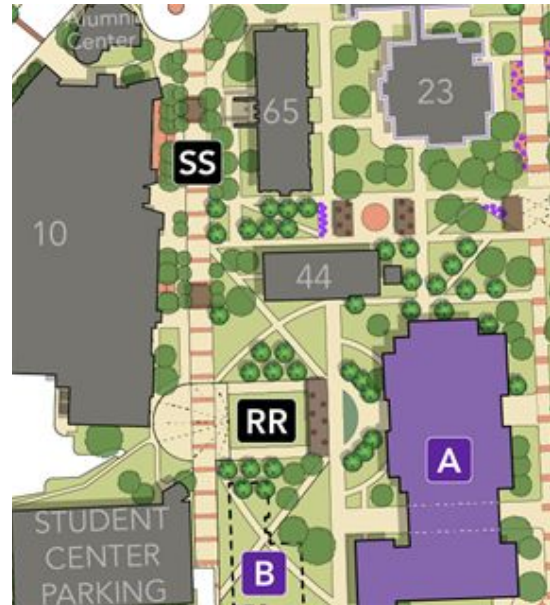
When Wilson Drive is rerouted to the east (project KK), the existing Wilson Drive right-of-way will be converted into a mall with removable bollards at each end. The mall will include brick paver bands, street trees for additional shade and bench seating adjacent to the Recreation Fields. The mall will be designed to maintain fire access in both width and weight rating for paving materials. This project also includes a central plaza between Garage B, the Baseball Venue and the Recreation Fields. The plaza will include additional seating opportunities, enhanced plantings, ample space to accommodate game-day foot traffic, and walkways providing access to the South Operations Building and Loop Trail around the Recreation Fields.





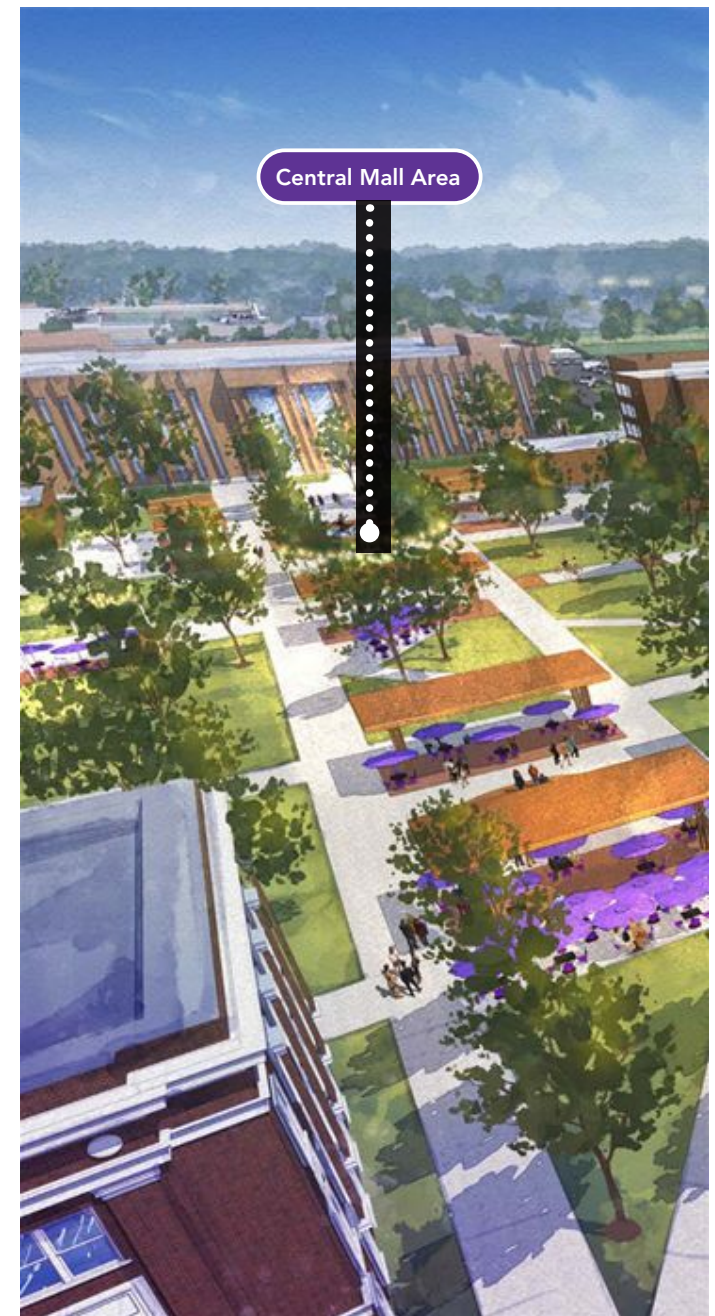
### **Central Quad**

The Central Quad serves as the heart of campus life as an iconic green space framed by the historic core of SFA. Its central location makes it both a symbolic and functional anchor, balancing the preservation of tradition with the needs of a modern, student-centered campus space. This quad includes open lawns for everyday student activity as well as larger special gatherings. Pedestrian pathways weave through the Central Quad, providing direct, intuitive movement between the Student Center Parking Garage and the academic core to the east. A pavilion provides a central focus point for gathering and a variety of furnishings throughout the quad encourage group interaction, study and relaxation under shade. See Appendix G for more details about this project.



### **Student Center Mall Enhancements**

The Student Center Mall exists, in part, today. This project extends the mall south from near the southern entry of the Student Center to the eastern entrance of the Student Center Parking Garage. At this point it narrows to a sidewalk extending to Griffith Boulevard. Removable bollards will be located at both ends of the mall. A semicircular drop-off/turnaround with overhead festoon lighting serves multiple purposes. It can function as a drop-off for authorized uses, when needed, accommodate food trucks, or provide space for special events. The paving along the mall will be updated to reflect the red brick paver bands designated as the new standard (see Appendix G), and shade structures with sufficient height to allow fire truck access will be added at two points along the mall.

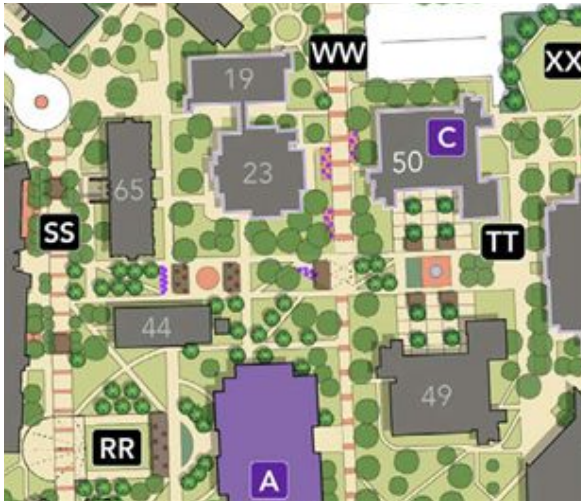


**Figure 41.** Campus Core Landscapes Illustration









### **TT Central Mall Area**

The Central Mall is a defining pedestrian spine in the core of campus, anchored by the iconic Stephen F. Austin fountain on the east and extending westward toward the Student Center. This project reimagines this area as a series of distinct spaces that together create a dynamic and memorable sequence of experiences. The existing fountain remains a centerpiece and will be framed by two improved courtyards enhanced by canopy trees, small shade structures, and outdoor furniture for formal and informal use. The area intersecting the Raguet Mall will include festoon lighting, seating nooks and a shade structure with seating. Moving toward the Student Center, additional improvements include additional shade structures and trees, seating areas and rain gardens.

See Appendix G for more details about this project.



### **UU Aikman Mall**

Aikman Drive is currently a one-way road with on-street angled parking on both sides. There is limited visibility due to the curved alignment of the road and it creates a safety hazard as people cross between the Aikman Parking Garage and the core of campus to the south. To address this safety concern and create a node for safe, pedestrian activity, the Aikman Mall closes Aikman Drive to vehicles (with the exception of emergency/authorized users) from E. College Street to the southern access point of the Aikman Parking Garage. The mall will include enhanced paving, shade trees, pedestrian lighting, and enhanced landscaping. Removable bollards will be located at both ends of the mall.

See Appendix G for more details about this project.

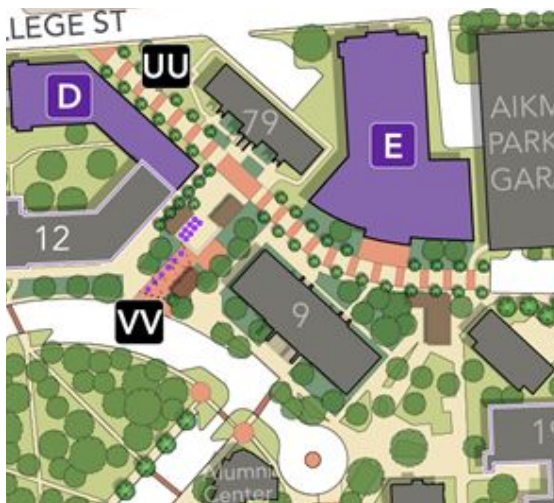


**Figure 42.** Aikman Mall and Art Building Illustration









### **VV Austin Plaza**

The Austin Plaza is located between the Austin and Boynton Buildings in the arts area of campus. Designed as both an arrival point and an outdoor living room, the Plaza consists of multiple shade structures that accommodate different uses, such as outdoor gathering, studying or small events. The center of the space is terraced, and accessible ramps are located adjacent to the building edges. The use of both mounted and movable furniture creates flexibility in everyday uses. Festoon lighting adds warmth and visibility during evening hours. This project also includes an additional shade structure west of the Austin Building, adjacent to the Aikman Mall. See Appendix G for more details about this project.

### **WW Raguet Mall Extension**

The Raguet Mall exists, in part, today. It currently extends from just south of the STEM Building to just south of the McKibben Building. Raguet Street is designated as authorized access only between McKibben and Aikman Drive. While this area can be heavily used by pedestrians since there are no vehicles most of the time, it still looks and feels like a road. The Raguet Mall Extension project extends the Mall, including enhanced paving and plantings to Aikman Drive. Removable bollards at both ends of the mall restrict vehicular access to emergency and authorized vehicles. The pavement will be updated to include red brick paver bands for the full length of the Mall. New brick paver seating areas with benches are located adjacent to the north leg of the Mall.





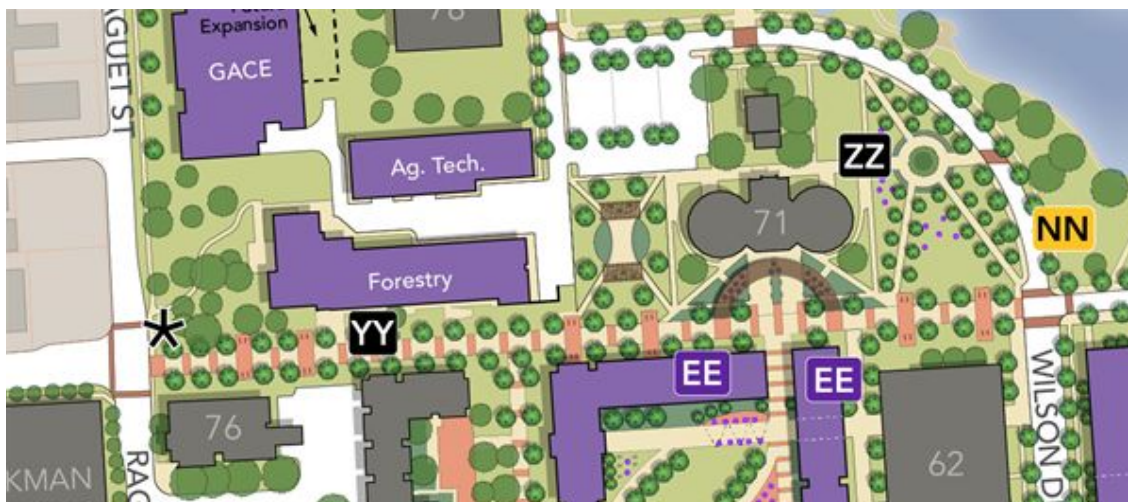
### **XX Steen Open Space**

While the area near the Library includes paved pedestrian spaces and the Raguet Mall, there is a relatively small amount of green space in the center of campus. The Steen Open Space is a new, largely flexible green space located north of the Library. It includes a central lawn with perimeter sidewalk for daily use and special events, enhanced plantings with shade trees and seating areas around the edges, and a wide concrete sidewalk with brick paver bands along the east edge of space to provide a more comfortable pedestrian experience in a primary circulation area. This project replaces an existing parking lot. If additional parking is desired to be maintained, it is recommended to preserve at least the east half of this proposed space as green space to minimize pedestrian/vehicular conflicts that occur today as people cut through the parking lot as a shortcut to their destination.



**Figure 43.** Campus Aerial Illustration - Looking Southwest (Excerpt)





## **YY College Mall**

The stretch of E. College Street between Raguet Street and Wilson Drive has possibly the most issues with pedestrian/vehicular conflicts on campus. This project closes the street to all vehicles except emergency and authorized users. This area will be converted into a mall with paver banding, seating nooks shaded by trees, pedestrian lighting and enhanced landscaping. Converting this to a bicycle and pedestrian friendly area will greatly improve the connectivity between the uses on either side of E. College Street and will create a non-vehicular mobility spine within this heavily residential area.

See Appendix G for more details about this project.

## **ZZ Steen Hall Courtyards**

Steen Hall is currently surrounded by parking areas. This project reimagines two of the three parking lots as courtyard spaces with shade structures, tables with umbrellas, shade trees and open green spaces for flexible use. As this project removes a decent amount of parking, it should be implemented until sufficient replacement spaces are built nearby.

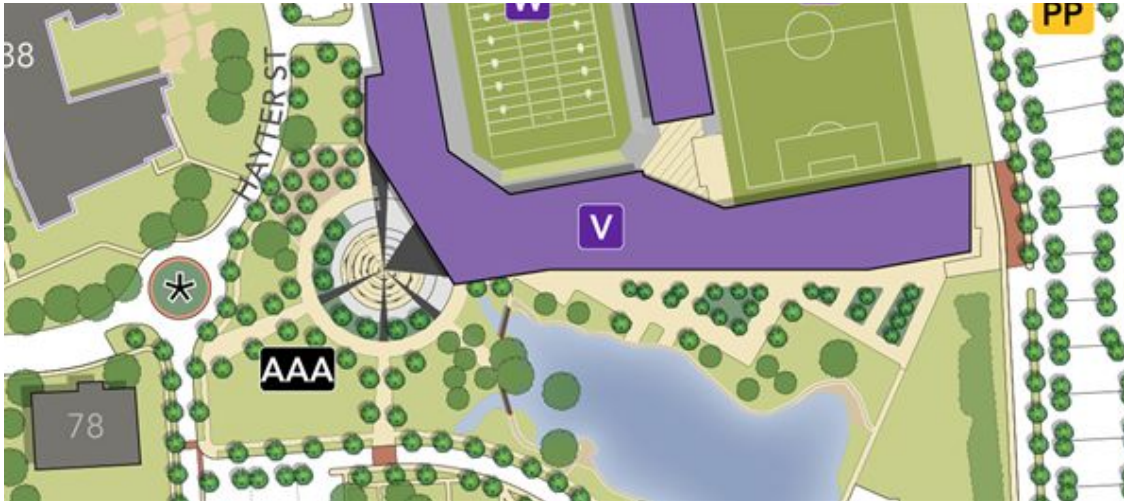


**Figure 44.** College Mall Illustration









### **AAA Lumberjack Quad & Stadium Plaza**

This project includes the Lumberjack Quad with flexible green space for tailgating, events and general daily use. Wide sidewalks with shade trees provide ample pedestrian access through the space. The Quad sits adjacent to the entry plaza for the stadium complex. The plaza features decorative pavement in a pattern reminiscent of tree rings with enhanced plantings and ornamental trees as the outer perimeter “ring.” A shaded picnic area with decomposed granite paving, picnic tables and a grove of trees provides an informal gathering area just north of the plaza. This combination of open lawn area, varied seating and gathering areas, enhanced

plantings, picnic spaces and the plaza creates a unique and memorable entry experience that can be used on game day and for daily recreation.

A paved plaza also extends along the south side of the Fieldhouse and provides additional tailgating opportunities, views to the adjacent Ag Pond and through a north-facing breezeway into the stadium complex.

## **Gateway Signage**

*Denoted by asterisks on the plan*

A cohesive signage system reinforces campus branding, reduces visual clutter and ensures that visitors, students and staff can easily locate campus entrances/edges, buildings, destinations and amenities. Entry monument signs, wayfinding signage, and trail markers all work together to establish a strong sense of identity for SFA, improve first impressions, and support safe and intuitive movement throughout the campus.

As part of the Landscape Guidelines development, signage and wayfinding standards have been developed. The design for existing primary (e.g., North Street entry sign) and secondary (e.g., Clark Boulevard) monument signs remains unchanged, with additional secondary monument signs recommended in locations around campus. A new standard for pedestrian wayfinding, pedestrian gateways, and garden and trail entry signs are included in the Guidelines.

See Appendix G for more details about signage recommendations.



Figure 45. Stadium Plaza Illustration



## CAMPUS MOBILITY









Parking inventory is a key component of the overall campus mobility system, but it represents only one element of the larger network of transportation options. While providing an adequate parking supply is essential to accommodate students, faculty, staff and visitors who commute to or reside on campus, a balanced, multi-modal approach that supports walking, bicycling, transit use and other sustainable forms of transportation is needed.

The quality and safety of pedestrian and bicycle environments directly influence how people choose to move to and through campus. When comfortable, well-lit and clearly defined non-vehicular routes are available, people are willing to walk or bike greater distances between their origins and their destinations. This shift allows parking to be strategically located at the campus periphery, freeing up central areas for academic, recreational and social spaces that contribute to the overall vision of a safe, accessible and connected campus.

The Master Plan envisions a network of malls, which are large, car-free zones designed to promote safety and walkability on campus. These spaces accommodate walking, biking and other forms of non-vehicular transportation, creating an environment that encourages interaction and movement without vehicular conflict. Supporting infrastructure such as bike racks, shaded walkways, seating areas and enhanced crosswalks further improves this pedestrian-friendly environment and reduces reliance on parking adjacent to buildings.


Analysis of the proposed parking strategy shows that most campus destinations are within a ¼-mile walk (approximately 5-minutes) of planned parking areas, including garages, providing convenient access while maintaining the integrity of pedestrian core areas. Concentrating the bulk of parking supply in garages toward the edge of campus not only improves operational efficiency of the roadway system by concentrating vehicular traffic in areas where there is less conflict with pedestrians, but also minimizes the visual and spatial impact of surface lots. This approach repurposes existing surface lots for academic buildings, open spaces and social gathering areas, reinforcing a vibrant and cohesive campus identity.

Additionally, the campus shuttle system plays a vital role in supporting this mobility strategy. Frequent, reliable shuttle service allows users to park farther from their destinations without sacrificing convenience, thus bridging the distance between satellite parking facilities and key campus nodes. Together, the shuttle system, active transportation infrastructure and reconfigured parking inventory form an integrated system that enhances accessibility, sustainability and overall campus mobility.

-  Primary Parking Areas
-  Parking Garage
-  1/4-Mile Radius (with Centroids on Garages and Primary Lots)
-  Primary Pedestrian Mobility Corridors
-  Shuttle Route
-  Day Shuttle Stop
-  Walmart Shuttle Stop
-  DeWitt Nursing Shuttle Stop



**Map 26.** Campus Mobility

Scale: N.T.S. 



# PARKING RECOMMENDATIONS

Parking recommendations are based on an analysis of existing parking conditions, as discussed in the Existing Conditions & Analysis chapter, and key issues identified through input from stakeholders within the University. These recommendations focus on managing parking demand as the primary strategy, with other recommendations focusing on related policies to increase supply or perform further analysis to address issues.

## MANAGING PARKING DEMAND

Reducing parking demand is the most effective long-term strategy for creating a campus that is resilient, welcoming and pleasant to spend time on. Some strategies to manage demand include:

- **Restrict Freshman Parking.** Limiting the amount of parking available to students, especially first-year students, could significantly reduce the number of vehicles stored on campus and require students to think about whether a personal vehicle is needed rather than default to bringing one because they can.
- **Implement a Resident Permit Application / Request-Based Allocation.** Currently, all students who live on campus are allowed to purchase a parking permit. As enrollment continues to grow, strain on the parking supply will continue to grow. Implementing a request-based or application system for resident parking permits ensures that only those with the greatest need are allocated on-campus spaces.
- **Expand Short-Term Paid Parking.** SFA uses ParkMobile to operate its short-term paid parking spots in the Student Center Parking Garage and Lot 21. This system provides convenient parking options for users who are willing to pay a premium for proximity or flexibility beyond their permitted parking areas. By strategically offering these spaces in high-demand locations, the University can maintain access for those who truly need it while gradually reducing the overall supply of permanent parking in central campus areas. It also serves as a reliable revenue source with easier enforcement and lower maintenance requirements than traditional parking meters.

- **Enhance Non-Vehicular Travel Connections and Options.** A balanced mobility approach is central to reducing the need for proximate parking. The campus should continue to expand pedestrian and bicycle connections both within the campus boundary and to surrounding neighborhoods. Infrastructure such as well-lit sidewalks and shared-use paths, bicycle racks, and improved wayfinding enhances safety and convenience. This increases the distance and time that people are willing to walk or bike from their origin to their destination.

## OTHER PARKING RECOMMENDATIONS

While managing demand is a priority, strategic increases in parking supply will be prudent to accommodate future growth and maintain accessibility.

- **Additional Parking Garage Capacity.** The Plan recommends constructing additional parking structures at the campus periphery, maximizing the use of limited land while preserving the campus core for academic and social spaces. An additional off-campus garage could be considered in the future if sustained demand calls for it. Integrating garage locations with shuttle stops and bike share, and prioritizing shuttle movement over private vehicles, will further enhance connectivity between parking areas and key campus destinations.
- **Expand and Promote Shuttle Services.** The campus shuttle system remains a vital component of the overall mobility framework, enabling people to park farther from their destinations without sacrificing convenience. Expanding and promoting this service will increase its role in managing parking demand, especially as parking is relocated to satellite areas of campus. The shuttle should operate on high-frequency routes that serve major garages, academic buildings and residential areas, ensuring reliable and convenient access throughout the day. After routes are established, they should not be modified, unless truly necessary, to establish consistency and reliability of the shuttle system among

users. Clear, consistent signage with information about the shuttle, routes and times should be provided at each stop and available on a dedicated website or app.

- **Create a Campus Transportation and Parking Plan.** To guide implementation, the University should develop a Comprehensive Transportation and Parking Plan that aligns and prioritizes goals for all aspects of mobility on campus, including parking management with pedestrian, bicycle and transit improvements. This plan would provide a more detailed evaluation of inventory and utilization, permit assignment and tracking, and include comprehensive public and stakeholder engagement to support efficient management of parking and transportation resources.
- **Conduct Peer Institution Benchmarking.** Benchmarking against peer institutions of similar size can provide insight into effective policies, permitting and pricing strategies, and incentive programs that SFA may not currently be utilizing, among many other areas to learn and grow the parking and transportation services for continuous improvement.
- **Consider Technological Advancements as Funding Allows.** Potential improvements include a modern data collection system to accurately monitor shuttle ridership and inform service adjustments, exploring the use of License Plate Recognition (LPR) technology for more efficient and consistent permitting and parking enforcement, upgrading communication systems to provide a dedicated radio network for shuttle drivers in place of personal cell phones, and developing a mobile app that delivers real-time updates on parking availability, shuttle route changes, road or parking closures, and service alerts.
- **Increase Enforcement Staff for Events.** Staff members who issue citations and monitor parking compliance are often asked to perform other duties on days when there are large events, leading to a decrease in enforcement capacity on these days. Creating a plan for hiring day-of staff to supplement parking enforcement staff on these days is pivotal to changing the environment.

## **NEXT STEPS**

To begin implementing the recommendations outlined in this section, immediate actions should focus on initiatives that require minimal investment but offer a visible impact. These include refining parking permit policies, particularly for freshmen and resident students, expanding shuttle routes, and expanding short-term paid parking through ParkMobile. Simultaneously, the University should begin regular data collection to better understand existing parking use, shuttle ridership and mode share. This data will continue to inform future decisions about garage expansion, shuttle routing and enforcement staffing.

In the mid-term, a detailed Campus Transportation and Parking Plan should be developed, building on this Master Plan's findings. This document should include a phased implementation schedule, preliminary cost estimates and funding strategies for near-term, mid-term, and long-term improvements.



# ARCHITECTURAL GUIDELINES

The SFA campus is currently made up of a collection of buildings of various styles from many different time periods. The notable buildings on the Main Campus were built over many years and reflect both the needs of the moment and the traditions of architecture that were compatible with the context of the main campus at the time.

In initiating the design process for any new building or open space, each design team should begin with a thorough look at the campus context and history. This first step should include an analysis of the site, including its history, pedestrian and vehicular traffic, infrastructure, orientation with campus boundaries to the City of Nacogdoches, service, views and vistas, topography, vegetation, constraints, massing and architectural character. Signature buildings, including athletics facilities, should reflect a stylistic relationship to the University's legacy buildings and the exterior materials palette should be compatible as follows:

- Dark brown and brown-black brick blends are desirable.
- Stone or cast stone selected as a detail shall complement the brick selection.
- Standard paint color codes are on file at the Physical Plant Department for most exterior materials.
- Building height should be limited to five floors or 75 feet.
- Monolithic, modern, contemporary and/or futuristic buildings are not appropriate for the SFA campus.

Mass Timber is acceptable in limited cases where appropriate in both application and cost. Wood species should be representative of species local to the East Texas region.

Residence halls should reflect a stylistic relationship to Lumberjack Landing and Lumberjack Crossing.

Parking structures should be constructed of exposed precast concrete with brick accents and detailing as exemplified by the Aikman Garage.



*Austin Building*



*Cole STEM Building*



*Rendering of Arthur Temple College of Forestry & Agriculture Building  
(Under Construction as of December 2025)*

# GREEN INFRASTRUCTURE RECOMMENDATIONS

Building on the findings of the La Nana Bayou (Lanana Creek) Watershed Protection Plan (2023)<sup>1</sup>, this Plan recommends further evaluation of a campus-wide strategy for managing and improving stormwater quality before it enters Lanana Creek. The approach should integrate best management practices (BMPs) into the campus landscape to filter, slow and biologically treat runoff from the first 1.5 inches of rainfall—the portion most heavily loaded with sediment, bacteria and nutrients. Together, these measures can advance SFA's commitment to sustainability, environmental education and the preservation of one of its defining natural resources: the Lanana Creek corridor. The following strategies should be further evaluated and incorporated to the extent possible.

- **Rain Gardens and Bioretention Systems:** Rain gardens and bioretention cells should be incorporated throughout the campus at key runoff collection points such as parking lot edges, pedestrian corridors and courtyard low points. These systems use engineered soil media and native vegetation to filter stormwater and remove sediment, nutrients and bacteria before the water infiltrates into the ground. Beyond their environmental benefits, these features enhance the visual and ecological character of the campus by providing pollinator habitat and year-round landscape interest. Their placement within prominent pedestrian areas will also reinforce SFA's visible commitment to sustainable design and watershed stewardship.
- **Vegetated Bioswales and Green Corridors:** Bioswales—shallow, vegetated channels designed to slow and filter stormwater—can be used to retrofit existing drainage alignments and road edges across campus. These systems reduce flow velocity, encourage infiltration and capture suspended pollutants while linking open spaces into a cohesive green infrastructure network. Planting with native grasses and sedges will stabilize soils, support biodiversity

and visually tie the campus landscape to the larger Piney Woods ecoregion. When integrated along pedestrian routes or between facilities, these green corridors will transform utilitarian drainageways into functional and educational landscape assets.

- **Permeable Pavements and Porous Surfaces:** Replacing traditional impervious surfaces with permeable pavements in select campus areas (e.g., overflow parking lots, service drives, pedestrian plazas) can significantly reduce surface runoff. Permeable materials allow rainfall to infiltrate through paving joints or porous substrates, filtering contaminants and reducing the burden on the existing stormwater system. These systems are particularly effective in high-visibility areas where they can demonstrate sustainable infrastructure in action. When paired with subsurface storage layers, they also provide valuable detention capacity, helping to moderate flow rates to Lanana Creek.
- **Constructed Wetlands and Detention Features:** Low-lying open spaces across campus, including the existing Ag Pond area and natural depressions near athletic fields, provide opportunities for constructed wetlands or stormwater detention basins. These features retain runoff during heavy rainfall, allowing sediment to settle and biological processes to remove nutrients and bacteria before discharge. Over time, they mature into thriving ecosystems that enhance biodiversity and create dynamic learning environments for environmental science, forestry and biology students. With thoughtful placement and design, constructed wetlands can also contribute to the campus's aesthetic character and expand outdoor teaching and research space.
- **Smart Irrigation and Nutrient Management:** To reduce nutrient-rich runoff from managed landscapes, the University should expand soil testing programs, adopt slow-release fertilizers and calibrate irrigation systems using smart controllers and rain

<sup>1</sup> For additional information, please refer to the 2023 La Nana Bayou Watershed Protection Plan: <https://twri.tamu.edu/wp-content/uploads/2024/04/tr-547.pdf>



sensors. These improvements will minimize excess watering and fertilizer use, preventing nitrogen and phosphorus from being washed into storm drains. Integrating these practices into campus maintenance protocols strengthens both operational efficiency and environmental performance. In collaboration with Facilities Services, SFA can establish demonstration zones to showcase best practices and share data on water savings and runoff reduction.

- **Pet Waste and Urban Wildlife Management:** Bacterial loading from domestic animals and resident waterfowl remains a notable contributor to water quality degradation. Installing additional pet waste stations along campus trails, open spaces and near housing areas will provide convenient disposal options and reduce pollutants entering storm drains. Educational signage and outreach campaigns can further encourage responsible behavior by pet owners and discourage feeding of waterfowl near ponds and creeks. Over time, these small interventions have measurable cumulative benefits, particularly in high-traffic recreational zones adjacent to Lanana Creek.
- **Monitoring, Research and Education:** A long-term monitoring and education program will position SFA as a living laboratory for watershed innovation. Installing water quality monitoring stations on campus can provide real-time data on runoff quality and BMP performance, supporting both adaptive management and academic research. By integrating these efforts into the environmental science, forestry and engineering curricula, SFA can create interdisciplinary learning opportunities that link theory to application. Public-facing interpretation, through signage, dashboards and class-based demonstrations, will communicate the University's leadership in sustainable watershed management to students, visitors, and the broader community.
- **Integration with the Campus Master Plan Vision:** Collectively, these strategies extend the sustainability goals of the Master Plan by transforming the Lanana Creek corridor and its tributary systems into a living framework for ecological performance, education and design excellence. By embedding green infrastructure within the campus fabric, SFA can strengthen the relationship between built and natural environments, support regional biodiversity, and enhance the student experience through visible, functional sustainability. This integrated approach to stormwater and landscape design would not only improve the health of Lanana Creek but also position the University as a model for environmentally responsible campus planning within the UT System and beyond.



*Rain Garden in a Parking Area*



*Permeable Paving*



*Enhanced Retention Pond*



*Rain Garden adjacent to Street*







# IMPLEMENTATION



# PHASING & IMPLEMENTATION CONSIDERATIONS

Phasing and implementation are critical when following a plan involving capital improvement projects. Appropriately phased and implemented plans help realize the master plan vision. While phasing may be subject to change due to the timing of funding or a change in priorities, implementation can continue with a well-thought-out strategy.

As SFA moves forward with implementing the plan, building and facility recommendations can be prioritized into short-term, mid-term and long-term phases. Flexibility should be exercised and there are a few things to consider during planning and decision-making regarding capital improvements.

## SWING SPACE

Before any facility demolition, renovation or departmental consolidation, SFA should identify and prepare appropriate swing space, temporary facilities used during construction, to maintain operational continuity and minimize disruption. Effective swing space planning ensures that people, equipment and technology are accounted for in advance, reducing project delays and unplanned expenses.

Key priorities include maintaining continuity of instruction and research, ensuring operational efficiency through coordinated moves, and

designing flexible spaces that can be reused for future projects. For example, renovations of the McKibben Building, Boynton Music Building and other academic cores will require temporary accommodation for displaced programs (See Appendix I for the overall campus space strategy).

Swing space may include underutilized campus buildings, phased renovation zones, modular facilities or off-campus leased space for administrative functions. Incorporating swing space planning early in the phasing process will be essential to maintaining SFA's academic and operational stability throughout the execution of the Master Plan.

## ENROLLMENT GROWTH

There has been an enrollment increase in Fall 2025, with the expectation of increases in Fall 2026 as well. Enrollment growth strongly indicates how current and potential students view an institution. Enrollment growth should be closely monitored to verify sufficient space is available to accommodate growth and demonstrate the campus is not overbuilt, which could result from mismanagement of resources. Before renovating or constructing new projects, University leaders should base their project implementation decision on being able to utilize new facilities positively. Enrollment increases and decreases should be reviewed each semester to help provide historical data that is helpful in the decision-making process.

## FUNDING

In a survey conducted by the Association of American Colleges and Universities, financial constraints are at the top of the list as one of the most significant challenges facing higher education institutions. A project's funding should be determined before initiating major capital improvement projects. The prioritization of building initiatives should be based on budget and the efficiency of its use. Current economic and market conditions should be a significant factor in major capital investments. Due to recent rapid shifts in inflation, the labor market and supply chain shortages, it is recommended that SFA update project cost estimates prior to proceeding with implementation or seeking funding.

## DEFERRED MAINTENANCE

Managing deferred maintenance is important and critical to the long-term success of any institution, and it is important for everyone within an organization to understand the long-term impact this list can have. While there will be a need for new facilities and capital improvement projects, deferred maintenance must also be addressed so that the University can function efficiently. Unaddressed capital needs have a direct impact on the ability of leaders to recruit students or attract star faculty critical to research excellence. While SFA addresses its deferred maintenance of facilities and infrastructure, it must also balance the need and cost of new and renovated facilities and how both are integrated into the institution's vision.

## CAMPUS PLAN UPDATES

Given the bold and ambitious nature of the SFA Campus Master Plan, regular updates are essential so the Plan remains relevant, achievable and aligned with the University's evolving goals. As academic programs expand, technologies advance and community needs shift, the physical campus must continue to adapt and respond.

Periodic reviews will allow SFA to evaluate progress, reassess priorities, and incorporate emerging opportunities or funding realities. More frequent annual reviews are recommended in the near term, given recent enrollment growth and the pace of ongoing capital projects, to verify that implementation remains responsive to current conditions.

By treating the Campus Master Plan as a dynamic and living document, SFA can remain agile in addressing challenges, seizing new opportunities and maintaining the momentum of its bold transformation strategy.



# CONCLUSION

The SFA Campus Master Plan represents an important step toward ensuring the University's continued growth, innovation and long-term success. This Plan provides a strategic framework to guide decisions related to the physical development of SFA and its facilities across all campus locations. While comprehensive in its scope, the Master Plan is intended to be a living document, one that adapts over time as academic priorities, enrollment trends and community needs evolve.

The vision, recommendations and implementation strategies outlined in this Plan should be reviewed and refined regularly, ensuring that SFA remains aligned with its mission and positioned for future opportunities. Ongoing collaboration among University leadership, faculty, staff, students and community stakeholders will be essential to realizing the Plan's goals and sustaining its momentum.

Ultimately, the Campus Master Plan establishes a clear road map for SFA's future,

one that celebrates its distinctive character, supports student success and strengthens its role as a vibrant, engaged member of the UT System and the East Texas community. While the path forward will evolve, this Plan provides the foundation and direction needed to guide SFA confidently toward its next century of achievement.











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# APPENDIX A

## ENGAGEMENT SUMMARY





# ENGAGEMENT SUMMARY

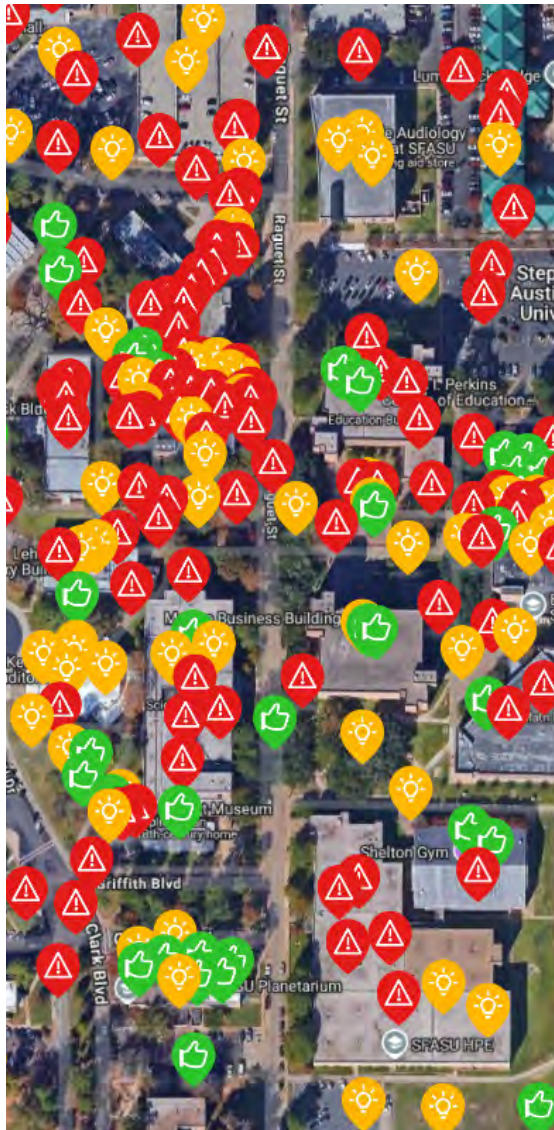
A series of stakeholder engagement opportunities were hosted throughout the planning process, ranging from in-person interviews to virtual interactive activities. This appendix summarizes the stakeholder responses across this engagement effort, including individual responses and overarching themes. The following engagement opportunities were provided for the faculty, staff and student body:

- In-person stakeholder interviews with student body representatives, department heads and University administrators
- Individual surveys for faculty and staff members and the student body, disseminated virtually via the University's website and QR code postings
- An interactive mapping activity shared with all stakeholders, which allowed for open commentary on three independent University properties: the main campus, the Center for Applied Research and Rural Innovation (CARRI) and the DeWitt School of Nursing
- In-person interactive boards posted at the Baker Pattillo Student Center and Ralph W. Steen Library, soliciting feedback on stakeholders' campus vision and opinions on student life and academics

Content within this appendix includes:

- Stakeholder Interviews Summary
- Faculty and Staff Survey Summary
- Student Survey Summary
- Interactive Board Summary
- Interactive Map Summary







# STAKEHOLDER INTERVIEWS SUMMARY

## ENGAGEMENT OVERVIEW

**Date:** December 4 - 6, 2024

**Location:** Baker Pattillo Student Center

**Audience:** Stephen F. Austin State University (President, Vice Presidents, Deans, Faculty, Staff), Student Government Association (President), City of Nacogdoches, Texas, Freese and Nichols, Inc. (Prime Consultant), Facility Programming and Consulting (Subconsultant) and RDG Planning & Design, Inc. (Subconsultant)

**Overview:** The consulting team spent four days at SFA, leading a series of meetings with stakeholder groups across campus to identify space needs and the overall campus vision. The team also kicked off the athletics and recreation portions of the Plan with facility tours and a series of focused stakeholder listening sessions. The City of Nacogdoches (City) was also involved in aligning goals with the City's vision and long-range planning objectives. Meeting sessions ranged from 45 minutes to 1.5 hours at the Baker Pattillo Student Center.

## KEY VISIONARY TAKEAWAYS

The following key visionary/thematic takeaways emerged through the stakeholder interviews. *(Note: This list does not include takeaways from the athletics and recreation stakeholder interviews.)*

- Create an environment where people are thinking “big & bold”
- Emphasize the student experience to improve retention and increase enrollment
- Lead in the field and studies involving agriculture
- Leverage the University's unique natural environment and setting
- Instill “Lumberjack Pride” in meaningful ways across campus, from horizontal to vertical improvements
- Grow enrollment to 15,000 students (both on-campus and online)
- Consolidate department locations across campus for efficiency

## KEY PROJECT TAKEAWAYS

The following key projects were mentioned at least once across the stakeholder discussions. *(Note: This list does not include takeaways from the athletics and recreation stakeholder interviews.)*

- Socially interactive indoor and outdoor spaces that are connected and walkable
- New and improved student housing
- A “one-stop shop” for prospective and existing students
- A new and improved Welcome Center
- A new police building
- A replaced procurement building
- A new engineering building
- Replace Miller Science and Kennedy Auditorium buildings
- A new home for Construction Management
- A library renovation
- Relocating the School of Social Work closer to the rest of campus
- A new Veterinary program
- A complete renovation of the Rusk, Austin and other legacy buildings to better align student services
- Addressing campus-wide storage solutions through conventional and creative means
- Addressing the Stone Fort’s location and condition
- Clearing out and removing all small house structures to the north of campus
- New Culinary facilities
- Improved campus branding, wayfinding, and signage
- Student gathering areas, like rethinking the “Surfing Steve” area
- New parking structures or facilities
- Partial closure of E. College Street for a pedestrian mall
- Consolidated greenhouse locations at Native Plant Center
- A spirit shop on the periphery of the campus



# FACULTY & STAFF SURVEY SUMMARY

## ENGAGEMENT OVERVIEW

**Date:** Open from December 2024 - February 2025

**Location:** Virtual

**Audience:** Faculty and staff members working across the main campus, the CARRI campus and the DeWitt School of Nursing

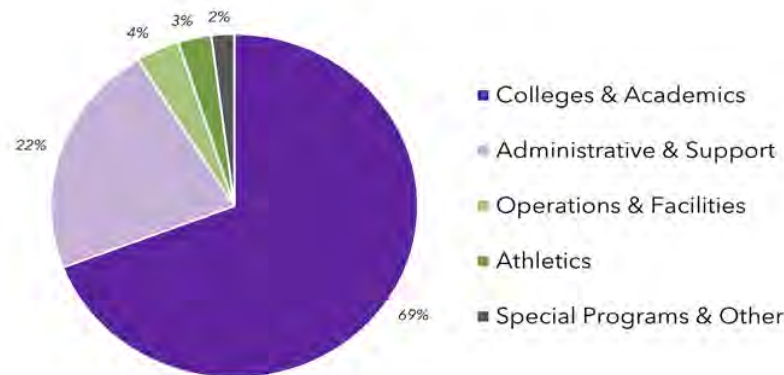
**Overview:** Faculty and staff were asked questions regarding their specific place of work (e.g., department, physical location) and how strongly they agreed or disagreed with various statements related to the campus condition, signage, parking and the pedestrian experience. Respondents were also surveyed for their opinions on the CARRI facility's future utilization and functionality. Overall, the survey captured approximately 9,040 unique responses from 395 respondents.



# KEY RESULTS TAKEAWAYS

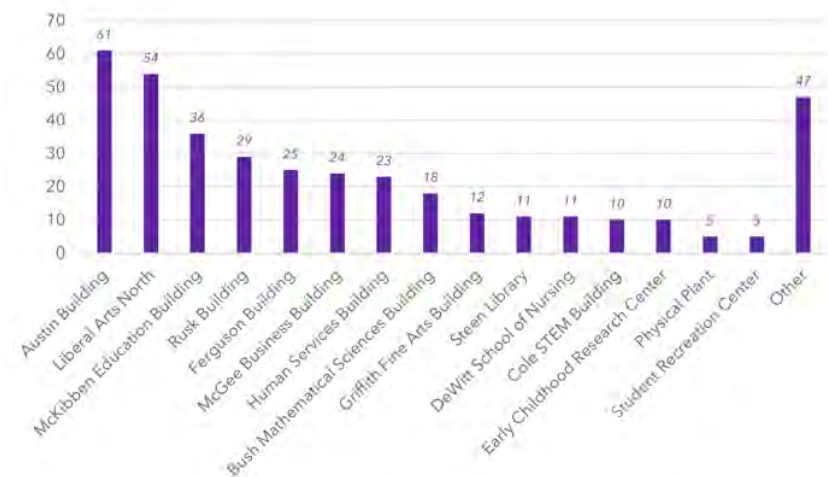
Question No. 1: "What department or college do you work for?"

Response rate: 97.7%



Question No. 2: "Where (i.e., building and/or general location) is your department or college located?"

Response rate: 98.2%



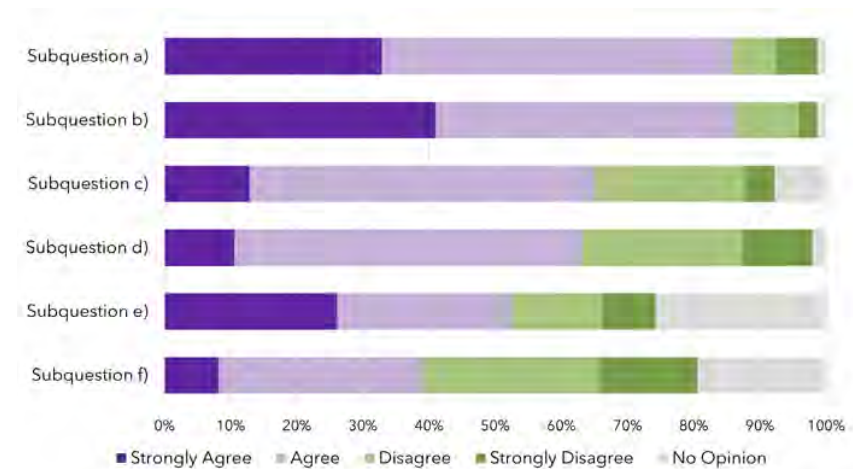




### Question No. 3: "How strongly do you agree or disagree with the statements below?"

Response rate: 74.7%

- Subquestion a) The campus is attractive and offers an appealing first impression.
- Subquestion b) I physically work close to other employees within my department or college.
- Subquestion c) Sufficient lighting is provided throughout the campus.
- Subquestion d) The general appearance of the buildings represents the University well.
- Subquestion e) I would use outdoor classrooms and outdoor learning environments if they were available.
- Subquestion f) The furniture, fixtures and lighting in the classrooms and laboratories contribute positively to the University's learning environment.



### Question No. 3: "How strongly do you agree or disagree with the statements below?," open-ended response takeaways

Open-ended responses: 136

#### Strengths

##### 1. Modern and appealing new buildings.

- Respondents consistently praised new or recently renovated buildings like Cole STEM, Griffith Fine Arts, and the School of Nursing.
- Quote:  
*"The newer buildings look wonderful and have great study spaces for students."*

##### 2. Campus aesthetic and natural environment.

- Many mentioned the beauty of the campus grounds and natural landscaping, especially the pines and gardens.
- Quote:  
*"First impressions of the campus are very good. The pines among the buildings are truly a unique setting."*

##### 3. Pride in unique academic spaces.

- Some specialized facilities (e.g., Brundrett, Nursing Building, ECRC) are seen as strong assets.
- Quote:  
*"The School of Nursing building is a tremendous asset to the University."*

#### Opportunities

##### 1. Renovation of aging buildings.

- Overwhelming feedback indicates a need to modernize dated interiors, especially Miller Science, Art Barn, and Liberal Arts buildings.
- Quote:  
*"Many buildings are old and outdated, and the technology is poor in the classrooms."*

##### 2. Improving lighting for safety and learning.

- Poor indoor lighting and dark outdoor walkways were frequently cited as safety and accessibility issues.
- Quote:  
*"Need sufficient lighting especially at night, for safety."*

##### 3. Technology and furniture modernization.

- A clear need for updated classroom technology and functional, uniform furniture was repeated across buildings.
- Quote:  
*"There is no uniformity between anything on campus; every building is different, no two classrooms have same tech..."*





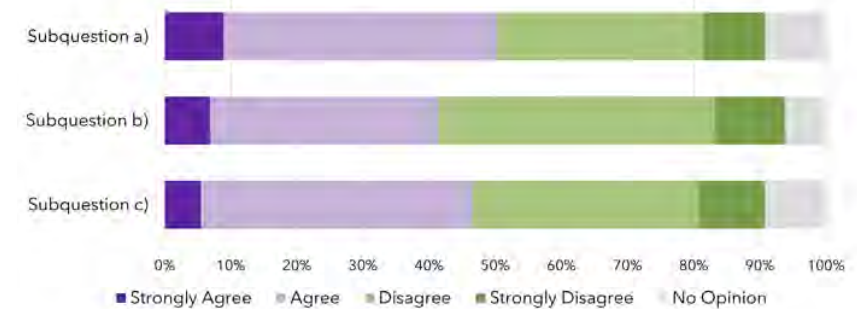
#### Question No. 4: "How strongly do you agree or disagree with the statements below about signage on the Main Campus?"

Response rate: 73.9%

Subquestion a) Signage is attractive, visible, illuminated and appropriately located to allow easy navigation throughout campus.

Subquestion b) Exterior building signage is easy to find and easy to read.

Subquestion c) Interior building signage is easy to find and understand.



**Question No. 4: “How strongly do you agree or disagree with the statements below about signage on the Main Campus?,” open-ended response takeaways**

Open-ended responses: 86

Strengths

1. Wayfinding on Showcase Days and along roads has improved.
  - The temporary signage used for campus events like Showcase Saturdays was repeatedly praised and could serve as a model for permanent improvements.
  - Quote:  
*“Signage is better during Showcase Saturdays, but should be better overall (esp. the first weeks of the fall/spring).”*
2. Directional roadside and general exterior signage has value.
  - Some participants noted that the purple directional signs installed along roads are helpful, even if not consistently placed.
  - Quote:  
*“The ‘new’ purple general directional signs along roads are an improvement.”*
3. Some facilities stand out regarding internal signage.
  - Among buildings, the Learning Commons received specific praise for its effective internal signage.
  - Quote:  
*“Signage for the Lumberjack Learning Commons is great. The rest of the library is lacking...”*

Opportunities

1. Many buildings lack clear, visible, and updated signage.
  - The most common issue was poor exterior and interior signage, particularly in buildings like Ferguson, Liberal Arts North, Boynton, and Miller Science.
  - Quote:  
*“Every semester I encounter students who are lost in Ferguson and Liberal Arts North, requiring me to guide them to their destination.”*
2. Inconsistent or confusing signage causes frustration.
  - Faculty highlighted a lack of visual uniformity and inconsistent placement as barriers for students and visitors.
  - Quote:  
*“Highly inconsistent across campus.”*
3. There is strong demand for interactive or large-format mapping.
  - Respondents repeatedly suggested the addition of permanent campus maps (e.g., “You are here” kiosks) to help students and visitors navigate more easily.
  - Quote:  
*“What if we had a few wayfinding maps set up around different places on campus? The kinds that say ‘you are here.’”*





**Question No. 5: "How strongly do you agree or disagree with the statements below about parking on the Main Campus?"**

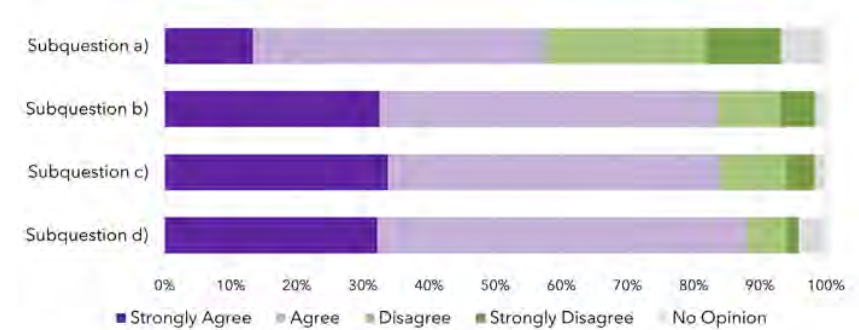
Response rate: 74.2%

Subquestion a) There are enough parking spaces overall.

Subquestion b) Parking is sufficiently close to where I need to go.

Subquestion c) I easily understand where I'm allowed to park.

Subquestion d) I feel safe in campus parking lots.



**Question No. 5: “How strongly do you agree or disagree with the statements below about parking on the Main Campus?,” open-ended response takeaways**

Open-ended responses: 65

Strengths

1. Parking for faculty is generally sufficient.
  - Many faculty and staff members report that they can reliably find parking, often close to their buildings. This was one of the most consistently positive themes.
  - Quote:  
*“Parking is easy for me as a faculty member, but I hear constant complaints from commuter students.”*
2. Some good use of signage and online tools.
  - A few users pointed out that online tools and signage do help, though they are not sufficient on their own. Some specific signage was noted as visible or useful, particularly for those familiar with it.
  - Quote:  
*“Without the online parking map, I wouldn’t know where to find more parking for a designated tag.”*
3. Some areas near certain buildings have reliable parking.
  - While not universal, some buildings have ample nearby parking (typically those with staff lots or lesser-used garages).
  - Quote:  
*“I can always find parking near our building.”*

Opportunities

1. Student and staff conflict over spaces.
  - There is frequent tension between students and staff over misuse of designated spaces. Staff report losing their own spots to students, and students feel that many staff-only lots are underutilized.
  - Quote:  
*“Students park in faculty/staff parking regularly... I get here even a few minutes late, and I’m parking elsewhere.”*
2. Need for better infrastructure or solutions.
  - Multiple people suggested building upward, improving shuttle service, or implementing shared-permit or tiered systems. Many emphasized that paving more lots isn’t a sustainable fix, but better urban planning or parking management could be.
  - Quote:  
*“Why don’t we build more interior multistory garages?”*
3. Poor driver behavior and lot design issues.
  - Many comments describe aggressive or inattentive driving, blind corners in garages, and unstriped or awkward parking designs, especially around Wilson garage and the Business College lots.
  - Quote:  
*“People drive through the lot without yielding to exiting traffic. I’ve almost been hit.”*





**Question No. 6: "How strongly do you agree or disagree with the statements below about pedestrian/bicycle comfort and safety on the Main Campus?"**

Response rate: 73.9%

Subquestion a) The campus is easy to navigate.

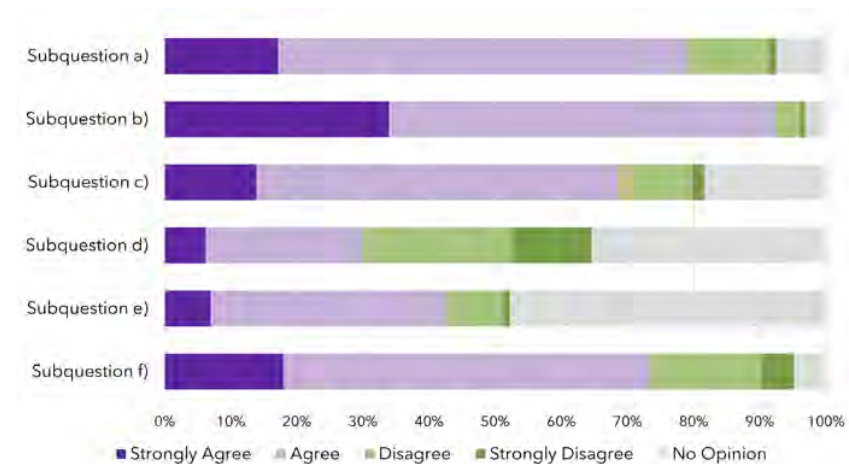
Subquestion b) I feel safe walking throughout campus.

Subquestion c) Buildings are well connected to walk between classes.

Subquestion d) The campus is easily navigated by bicycle, and proper amenities such as bicycle lanes and storage racks are provided.

Subquestion e) Circulation is adequate between student housing and academic buildings.

Subquestion f) As a pedestrian (i.e., a walker), I feel safe crossing roads within the campus.



**Question No. 6: “How strongly do you agree or disagree with the statements below about pedestrian/bicycle comfort and safety on the Main Campus?,” open-ended response takeaways**

Open-ended responses: 89

Strengths

1. Walkability of core campus.
  - Many users feel that the central campus is compact and walkable, making it easy to get between classes without a vehicle or bike.
  - Quote:  
*“For the most part campus is easily navigable.”*
2. Improvements in sidewalk infrastructure.
  - Recent upgrades to sidewalks and walkways around key buildings are appreciated and have enhanced pedestrian comfort.
  - Quote:  
*“I think improvements have been made since 2019 to increase connectability with the addition of improved sidewalks around the STEM Building and Griffith Fine Arts Building.”*
3. Availability of bike racks in some areas.
  - While some still call for more racks, especially near administrative buildings, many acknowledge that bike parking is available in a number of spots.
  - Quote:  
*“There are plenty of bicycle racks...”*

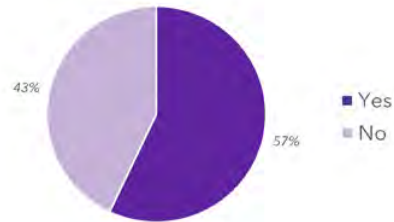
Opportunities

1. Lack of dedicated bike lanes.
  - A consistent note across responses is that there are no official bike lanes, leading to conflicts between cyclists and pedestrians on shared sidewalks.
  - Quote:  
*“What bike lanes????”*
2. Dangerous crosswalks and intersections.
  - Intersections near campus, especially East College, Raguet, North Street, and College Street, are viewed as hazardous and not designed for pedestrian safety.
  - Quote:  
*“East College and Raguet is a DEATH TRAP! People have been struck by motorists yet nothing has changed?”*
3. Sidewalk safety hazards.
  - Walkways are often cited as slippery, uneven, poorly lit, or blocked by vegetation, making them dangerous, particularly in rain or at night.
  - Quote:  
*“Some pavements... are uneven and paved with pebble concrete. These are slippery and unsafe in inclement weather.”*



**Question No. 7: "Are there departments or colleges that should be moved or relocated to better serve their functional relationships with other facilities due to their size, location or condition?"**

Response rate: 61.3% (134 open-ended responses)



Top Five Takeaways (Open-Ended Responses)

1. The School of Art should be relocated closer to Fine Arts.

- The School of Art was the most frequently mentioned program in need of relocation. Respondents stressed the disconnect between Art and other fine arts departments, as well as the poor condition and visibility of the current Art facilities.

- Quote:

*"Yes! It would be wonderful if the School of Art was located next to the Fine Arts and Music buildings... Being closer together would also foster collaboration and make it easier for shared staff in the college to provide assistance."*

2. Nursing should be brought onto Main Campus.

- The DeWitt School of Nursing's physical separation was noted as a barrier to student integration and access to main campus services. Many advocated for relocating Nursing or providing housing and support services closer to its location.

- Quote:

*"Nursing should not be located off campus. As a major program, it should be highlighted with facilities on the main campus."*

3. A centralized Student Services Building is strongly desired.

- Numerous comments called for the creation of a "one-stop" center to house Financial Aid, Registrar, Admissions, Student Business Services, and Housing, noting that fragmentation creates confusion and inconvenience.

- Quote:

*"It would make things easier and smoother on the students if the Registrar's Office, Financial Aid, and Student Business Services were in the same building."*

4. Chemistry, Biochemistry, and STEM Department reorganization.

- Several respondents highlighted the current physical separation between chemistry offices and labs as inefficient and detrimental to student learning and research. Consolidation into the Lehmann Chemistry Building was widely supported.

- Quote:

*"The offices and classrooms for the Department of Chemistry and Biochemistry need to be moved to the Lehmann Chemistry building."*

5. The College of Education is too scattered across campus.

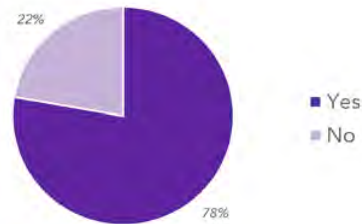
- Faculty and staff emphasized that the College of Education is disjointedly housed in multiple buildings, leading to confusion for students and inefficient operations for faculty and advising staff.

- Quote:

*"College of Education spans the campus. Students are confused every semester trying to find the 'Education Building' vs. the 'Education Annex.'"*

**Question No. 8: "Are there departments with building facilities needing expansion or new facilities to serve their functional needs better?"**

Response rate: 61.3% (189 open-ended responses)



Top Five Takeaways (Open-Ended Responses)

1. Miller Science Building is widely seen as inadequate

- The Miller Science building was the most frequently mentioned facility in need of a overhaul or replacement. Faculty and staff cited poor conditions, outdated infrastructure, and challenges with lab-based teaching and recruitment.

- Quote:

*"Miller Science needs to be remodeled or rebuilt to properly house the departments that are located within the building and offer students the experiences they deserve."*

2. The School of Art needs a new, modern facility.

- Respondents repeatedly described the Art Building as unattractive, outdated, poorly located, and detrimental to student recruitment and retention, especially as enrollment in Art programs grows.

- Quote:

*"Yes! The School of Art needs a new building(s) to be able to grow and attract students. We have our highest ever enrollment... but our ugly, poorly maintained building is standing in our way."*

3. Nursing requires more space and modern learning environments.

- Faculty highlighted limitations in classroom space, simulation labs, and student amenities at the DeWitt School of Nursing. Respondents emphasized the need for expansion to keep up with growing enrollment.

- Quote:

*"The DeWitt School of Nursing needs bigger simulation lab facilities. We are bursting at the seams for the amount of students we are now enrolling."*

4. Music facilities are over capacity and scattered across campus.

- The School of Music has outgrown its current space and is operating across multiple buildings. This fragmentation creates logistical challenges and impairs the quality of instruction and rehearsal.

- Quote:

*"The School of Music has outgrown its building, which has resulted in moving groups to other buildings... many music ensembles currently rehearse in rooms that are really too small for volume safety."*

5. Student-facing offices lack adequate, private workspaces.

- Multiple responses pointed to poor conditions in student-facing administrative offices like Student Business Services, where lack of privacy and noise interfere with effective service delivery.

- Quote:

*"Student Business Services. We need offices. During busy times it is hard to hear students on the phone when everyone in the office is on the phone."*



**Question No. 9: "Do you have ideas for collaboration spaces or facilities within the buildings where your department or college is located?"**

Response rate: 64.3% (100 open-ended responses)



Top Five Takeaways (Open-Ended Responses)

1. Modern, flexible collaboration spaces in academic buildings.

- Many respondents requested multipurpose rooms, lounges, and study areas that support both student and faculty collaboration. Spaces like those found in the STEM Building were held up as models.
- Quote:  
*"We could use more multipurpose spaces for classes, students, and events. The STEM Building is a great example of what we could use."*

2. Interdisciplinary and interdepartmental spaces are a priority.

- Suggestions focused on co-located or shared spaces between related departments, especially in science, art, health sciences, and humanities. This was seen as a way to foster collaboration, streamline services, and maximize space.
- Quote:  
*"I would love to have some colab space with STEM to fully explore the various aspects of Aerodynamics."*

3. Student services need better layouts for privacy and function.

- Several administrative offices (e.g., Student Business Services, Financial Aid, Registrar) were cited as needing more private, accessible, and functional collaboration spaces to better serve students without disruptions.
- Quote:  
*"We do not have private office space, we have cubicles... Some of the information should be private since we are dealing with special circumstances that are private."*

4. Older buildings could be renovated for collaboration.

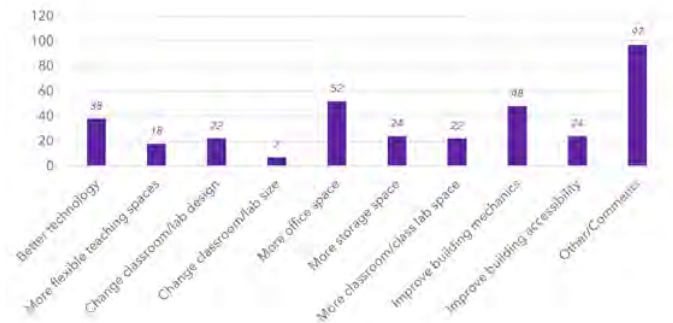
- Faculty frequently mentioned repurposing or modernizing older buildings to include common areas, conference rooms, and student lounges. Ferguson and LAN were highlighted repeatedly as underused or outdated.
- Quote:  
*"Ferguson and LAN could be reconfigured to better serve today's students' needs. Including open spaces, updated classrooms, and faculty/staff space."*

5. Libraries and public spaces are underutilized for group learning.

- Respondents suggested rethinking library spaces to better support group study, collaborative technology use, and community interaction. There were calls for more seating, whiteboards, and inviting group areas.
- Quote:  
*"The library needs to be for students to study, meet and greet with study groups, have space for group study sessions... More study rooms, seating, tables, whiteboards, etc."*

**Question No. 10: "If you could change only one aspect of the physical space used by/provided for your discipline/department, what would it be?"**

Response rate: 64.6% (97 open-ended responses)



Top Five Takeaways (Open-Ended Responses)

1. Accessibility remains a major concern

- Many responses cited issues with elevators, ramps, entrances, and interior accessibility. These issues impact both compliance and inclusion, especially in older buildings.
- Quote:  
*"I was mobility-impaired until very recently... our sidewalk seams are dangerously deep to use a walker... Keep in mind that not all disabled people use power wheelchairs."*

2. Building maintenance is severely lacking across many areas

- Respondents frequently mentioned leaking roofs, dirty or damaged ceilings, outdated restrooms, broken HVAC systems, and poor overall cleanliness.
- Quote:  
*"Our building has not been painted in 15 years... The bathrooms have not been deep cleaned in the 8 years I have taught here... It is extremely difficult to recruit new students once they have seen this building."*

3. Faculty and staff need private, enclosed office spaces

- Numerous comments expressed dissatisfaction with open office layouts or cubicles, citing issues of noise, lack of privacy, and difficulty handling sensitive student matters.
- Quote:  
*"I work in a cube, no door, no privacy."*

4. Classrooms lack modern furniture and teaching flexibility

- Several faculty mentioned the need for reconfigurable seating, better technology, and collaborative layouts to improve the learning environment. Long rows and fixed furniture were noted as especially problematic.
- Quote:  
*"Classroom desks and chairs are difficult to move and make small group discussions and other activities hard to execute."*

5. Libraries and public spaces are underutilized for group learning.

- Issues with uneven heating/cooling, poor airflow, and outdated systems were common. These problems affect comfort, focus, and in some cases, health.
- Quote:  
*"It stays very cold in our area. Wish we had more control on the airflow. Dimmers on lighting would be amazing."*



### Question No. 11: "What are the best features of the campus you primarily work at and why?"

Response rate: 53.9%

#### Top Five Takeaways

1. Natural beauty: trees, landscaping and green spaces.

- The most consistently praised feature was the campus's trees, gardens, and green spaces. Faculty and staff view the natural environment as central to SFA's identity and a major contributor to mental well-being and recruitment.
- Quote:  
*"The best features of the Main Campus are absolutely the plants/tree/landscaping! So many campuses are...concrete, but we always have something in bloom or changing colors :)"*

2. Walkability and compact campus layout.

- SFA's main campus was frequently described as easy to navigate, safe, and comfortable, with most buildings within a short walking distance. This accessibility supports collaboration and student engagement.
- Quote:  
*"Main campus - Everything is walking distance, and our outdoor spaces are well maintained."*

3. Newer facilities enhance student and faculty experience.

- Buildings such as the Cole STEM Building, Campus Rec, and Griffith Fine Arts were highlighted as modern, well-equipped, and inviting. These facilities elevate the University's academic and co-curricular profile.
- Quote:  
*"The new fine arts facility is incredible."*

4. Campus Grounds staff are deeply appreciated.

- Multiple comments specifically praised the dedication and skill of the groundskeeping and maintenance teams. Their work is seen as essential to the campus's beauty and atmosphere.
- Quote:  
*"The grounds crew does an incredible job maintaining the campus grounds. It's a joy to come to work each day."*

5. The campus community and atmosphere are welcoming.

- While the question focused on physical space, many respondents emphasized that the friendly, inclusive atmosphere, reflected through faculty, staff, and students, is one of the campus's defining features.
- Quote:  
*"Honestly, the people. When visitors come to our campus it is our faculty, staff, and students that impress them the most. We are the most welcoming aspect of our institution."*

## Question No. 12: "What features on the campus you primarily work at need the most attention and why?"

Response rate: 53.2%

### Top Five Takeaways

#### 1. Deteriorating academic buildings need urgent investment.

- Buildings like Miller Science, Ferguson, HPE, Boynton, and the Art Barn were consistently mentioned as outdated, unattractive, or even unsafe. These spaces are seen as damaging to learning environments and recruitment.
- Quote:  
*"The whole building is unsafe and constantly have rats in the building. Bats have also been found in the building."*

#### 2. Campus accessibility and ADA compliance remain inadequate.

- Faculty and staff flagged serious concerns about building access, outdated sidewalks, uneven pavement, and lack of ramps or automatic doors, especially for individuals with mobility challenges.
- Quote:  
*"Accessibility for mobility-impaired people is a serious issue. I'm not sure the University is ADA compliant in this area."*

#### 3. General maintenance and cleanliness are declining.

- Many respondents described poorly maintained interiors, stained carpets, outdated restrooms, and failing HVAC systems. Deferred maintenance was seen as a clear sign of institutional neglect.
- Quote:  
*"Cleanliness. The buildings look like they need love. The windows are always dirty. The bricks need washed. The sidewalks are always grungy."*

#### 4. Outdoor lighting and pedestrian safety need improvements.

- Multiple responses raised safety concerns about dim or non-functional lighting, slick or cracked sidewalks, and confusing or dangerous pedestrian crossings, especially during wet conditions or at night.
- Quote:  
*"The lamp posts could be brighter... walking at night is still scary. Especially in the center of campus."*

#### 5. There is a lack of modern, student-centered spaces.

- Faculty cited a need for collaborative study areas, lounges, and flexible classroom layouts. Many buildings were described as uninviting or outdated in their design for modern teaching and student engagement.
- Quote:  
*"Creating spaces like lounges in every building could create positive interactions between students and foster a greater commitment to staying at SFA."*



Question No. 13: "Are there any major campus improvements planned or needed in the future?"

Response rate: 39.0%

#### Top Five Takeaways

1. Aging academic buildings require replacement or renovation
  - Miller Science was the most frequently mentioned facility, often described as outdated, inadequate, or an eyesore. Other buildings like Ferguson, Boynton, HPE, and the Art Building were also cited as needing urgent attention to better serve academic functions.
  - Quote:  
*"Yes... Miller science building needs a major overhaul. The chemistry building needs major overhaul. The library needs major upgrades. There is much work to be done."*
2. Student housing requires modernization and expansion.
  - Numerous respondents emphasized that outdated dorms harm student recruitment and retention. Many supported replacing the oldest residence halls entirely and offering private or apartment-style options to attract modern students.
  - Quote:  
*"The old dorms need to go. I think the older dorms are negatively affecting the perception of SFA."*
3. Academic programs need purpose-built or expanded facilities.
  - Departments like Art, Music, Social Work, and Nursing were frequently cited as being underserved by current facilities. Respondents called for better classroom space, labs, storage, and visibility, especially for growing or high-demand programs.
  - Quote:  
*"Yes, please relocate and rebuild the art facility... if it were located adjacent to the rest of the college of fine arts and in a well-designed facility."*
4. A centralized One-Stop Student Services Center is a priority.
  - Many respondents advocated for a student-facing building where essential services (e.g., Admissions, Financial Aid, Registrar, Student Business Services) could be housed together to streamline the onboarding and support experience.
  - Quote:  
*"There needs to be a welcome center on campus. Admissions, financial aid, student business services, etc. need to be in the same building."*
5. Infrastructure, sustainability, and accessibility need investment.
  - Calls for improvements went beyond buildings—faculty and staff highlighted the need for better lighting, sidewalks, signage, electric vehicle charging stations, solar panels, and universally accessible design across campus.
  - Quote:  
*"I also think SFA should invest in electric vehicle charging stations... it would be a shame to lose students because we don't have charging infrastructure."*

**Question No. 14: “The University owns approximately 18 acres of land at the northeast corner of US 59 and Ernest McLain Road (CARRI). What programs or uses do you think would be appropriate for this property?”**

Response rate: 35.9%

Top Five Takeaways

1. Strong support for agriculture, forestry, and horticulture use.
  - Many respondents felt that the land’s location and existing use made it ideal for expanding agriculture, forestry, and horticulture programs, especially for research, teaching gardens, or animal care.
  - Quote:  
*“Agriculture research on fruit production and landscape plant materials.”*
2. Construction Management is a logical fit.
  - A number of responses suggested relocating or expanding Construction Management facilities to the property, citing hands-on learning opportunities, space requirements, and distance from central campus as manageable for this program.
  - Quote:  
*“This was the building I was talking about, all of the Construction Management programs that could be housed here... a great hands-on solution.”*
3. Relocating athletic facilities (baseball/softball) was mentioned.
  - Many respondents recommended using the land for athletic purposes, particularly for baseball or softball fields, due to poor conditions at current city-owned facilities and the value of having athletic venues closer to campus.
  - Quote:  
*“Baseball / Softball fields – they need to be moved from the City Baseball complex...”*
4. No daily student instruction unless transportation is addressed.
  - Respondents repeatedly cautioned against placing student-dependent academic programs at CARRI unless transportation is provided, since the site is not walkable from main campus and many students lack vehicles.
  - Quote:  
*“Given that it is not walkable from the main campus, it should NOT be used for anything that requires our students to go there.”*
5. Interest in community-facing and interdisciplinary uses.
  - Several responses proposed using CARRI for programs that benefit both SFA and the community, such as a rural health hub, drone research, a makerspace, a community garden, or professional development center, without duplicating existing campus infrastructure.
  - Quote:  
*“There are opportunities to become a premier research center for wood use in bio-mass and alternative energy... through applied research.”*



**Question No. 15: “Do you have any other comments or points you wish to make about the current or future conditions on the Main Campus and other locations (i.e., DeWitt School of Nursing, CARRI)?”**

Response rate: 23.8%

Top Five Takeaways

1. A long-term, cohesive master plan is critically needed.
  - Numerous respondents highlighted the absence of a clear, future-oriented facilities master plan. Many pointed to architectural inconsistency, deferred maintenance, and lack of strategic direction as signs of institutional drift.
  - Quote:  
*“50 year master plan!”*
2. Aging academic facilities remain a top concern.
  - Even in a broad question, specific older facilities like Miller Science and Social Work were mentioned repeatedly as needing renovation, replacement, or relocation due to age, poor aesthetics, or lack of functionality.
  - Quote:  
*“The Social Work building, to an outsider’s perspective, is far from central campus, tiny, old, and crowded.”*
3. Bring the DeWitt School of Nursing closer to Main Campus.
  - Several responses suggested relocating Nursing to main campus for better integration and access to services. Others emphasized enhancing the current site to reflect the program’s excellence.
  - Quote:  
*“Dewitt School of Nursing needs an exterior face lift! It looks like a nursing home when you pull up!”*
4. The CARRI facility needs clarification and purpose.
  - Many expressed confusion about what CARRI is, what it does, or why the University owns it. Others want it used more effectively for research, community partnerships, or relocated non-academic units.
  - Quote:  
*“What does CARRI do?”*
5. Embrace the UT System affiliation and rebrand with purpose.
  - Respondents saw SFA’s place in the University of Texas (UT) System as an opportunity for modernization, increased visibility, and competitive edge if leadership embraces it with intentional planning and investment.
  - Quote:  
*“It’s time to embrace and take advantage of the UT system affiliation... make it the destination for higher education in East Texas.”*





# STUDENT SURVEY SUMMARY

## ENGAGEMENT OVERVIEW

**Date:** Open from December 2024 - February 2025

**Location:** Virtual

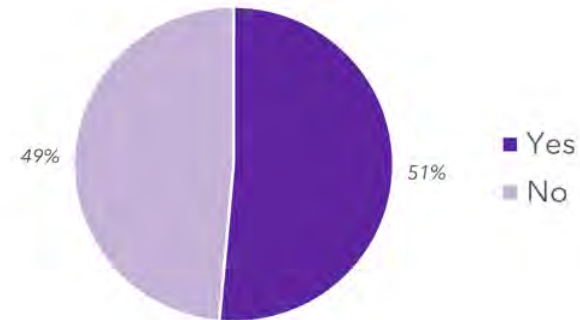
**Audience:** Students attending the University in person, virtually or in a hybrid format

**Overview:** Students were asked questions regarding their housing status and how strongly they agreed or disagreed with various statements related to life in Nacogdoches, the campus condition, student housing, parking, the pedestrian experience and student life. Respondents were also surveyed for their opinions on the DeWitt School of Nursing campus. Overall, the survey captured approximately 3,090 unique responses from 315 respondents.

## KEY RESULTS TAKEAWAYS

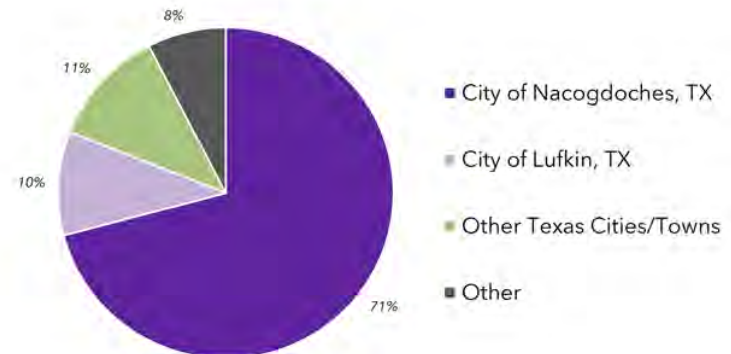
Question No. 1: "Do you currently live on the Main Campus?"

Response rate: 100%



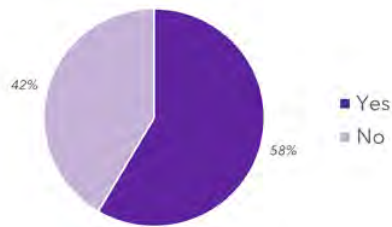
Question No. 2: "If you do not live on the Main Campus, which neighborhood or city do you commute from?"

Response rate: 50.2%



### Question No. 3: "Do you feel like you know all the features and amenities available to you at Stephen F. Austin State University?"

Response rate: 99.4% (42 open-ended responses)



#### Top Five Takeaways (Open-Ended Responses)

##### 1. Partially unaware or informed about campus resources.

- Students acknowledged that they are missing information about what is available to them. Even those who feel generally aware admitted there are likely features they still haven't discovered.

- Quote:

*"I feel like I know most of the amenities but there are probably still things that I am unaware of."*

##### 2. Communication about resources needs improvement.

- Numerous responses emphasized that resources aren't consistently or effectively communicated, especially through orientation, signage, or centralized platforms. Some students rely on professors or word-of-mouth to learn what's available.

- Quote:

*"Many of the services I was not told about in orientation, but my professors were very good at communicating to us many of the more obscure features of campus."*

##### 3. Students want a centralized, accessible source of information.

- Several students suggested the need for a physical or digital hub, such as a list, map, or bulletin board, that consolidates all available features, events, and services in one place.

- Quote:

*"I know many of them but I feel like I'll never truly know them all without being given them physically in a list."*

##### 4. Access to amenities is sometimes limited by hours or location.

- Multiple students noted that food options and other services (e.g., health resources) aren't available during weekends, evenings, or school breaks (when they may be needed most).

- Quote:

*"Food halls/restaurant hours are not accessible weekends/late/breaks when that may be the only food source available to students."*

##### 5. Marginalized students experience greater barriers to access.

- Students with disabilities or those from underrepresented groups highlighted specific gaps in outreach, accommodations, or awareness of supportive services that could significantly affect their academic experience.

- Quote:

*"No, as a partially blind person, I was not fully aware of all the amenities and services available to me... Greater outreach and detailed, accessible communication... would ensure students with disabilities are fully informed."*

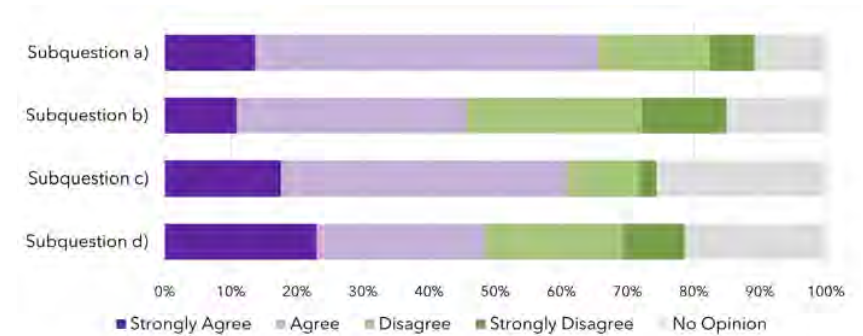




**Question No. 4: "How strongly do you agree or disagree with the statements below about the relationship between the University and the City of Nacogdoches?"**

Response rate: 100%

- Subquestion a) Navigating off-campus to access goods and services is easy and enjoyable.
- Subquestion b) The City of Nacogdoches provides adequate goods, services, and pastimes when and where the University is unable to do so.
- Subquestion c) I want to be more involved in the Nacogdoches community outside of my capacity as a student.
- Subquestion d) I prefer to go home on the weekends because there aren't a lot of activities or things to do on- and off-campus.



**Question No. 4: "How strongly do you agree or disagree with the statements below about the relationship between the University and the City of Nacogdoches?," open-ended response takeaways**

Open-ended responses: 49

Strengths

1. Proximity and walkability between campus and Town resources.
  - Students appreciated that SFA is physically close to restaurants, stores, and community services, making local access convenient for those with transportation.
  - Quote:  
*"I think the location of the campus does it make traveling to different areas in Nacogdoches easy because it is close proximity to a lot of goods and services."*
2. Campus provides many on-site events and activities.
  - Several respondents noted that SFA itself offers a consistent slate of events, especially for those who choose to engage.
  - Quote:  
*"There is always something going on here on campus, is just a matter of if you actually get out and go to the events, which I really enjoy doing!"*
3. Some students find enjoyment in the small-town environment.
  - A few students expressed appreciation for Nacogdoches' charm and pace, especially compared to larger urban centers.
  - Quote:  
*"Nac is a beautiful town, but seems like students immediately think negatively because of the size."*

Opportunities

1. Lack of off-campus entertainment and social options.
  - A large number of students said Nacogdoches lacks entertainment, especially since the movie theater closed. This drives some students to go home on weekends or perceive the town as "boring."
  - Quote:  
*"There are more empty businesses in this town than open ones. Everyone knows you have to go to Lufkin to shop."*
2. Poor communication about community events and amenities.
  - Students noted they often hear about events too late, or not at all. They suggested more centralized and proactive promotion of off-campus happenings.
  - Quote:  
*"I believe students should have a 'What's Happening in Nacogdoches This Week/Month' option in mySFA or as a poster in the student center."*
3. Transportation and walkability barriers limit student engagement.
  - Students without cars find it hard to explore the community due to limited public transportation, poor walkability, and disconnected infrastructure between campus and town.
  - Quote:  
*"I do not drive, so I walk to most of the places I go in Nacogdoches and the infrastructure in regards to walkability and public transportation is horrendous."*

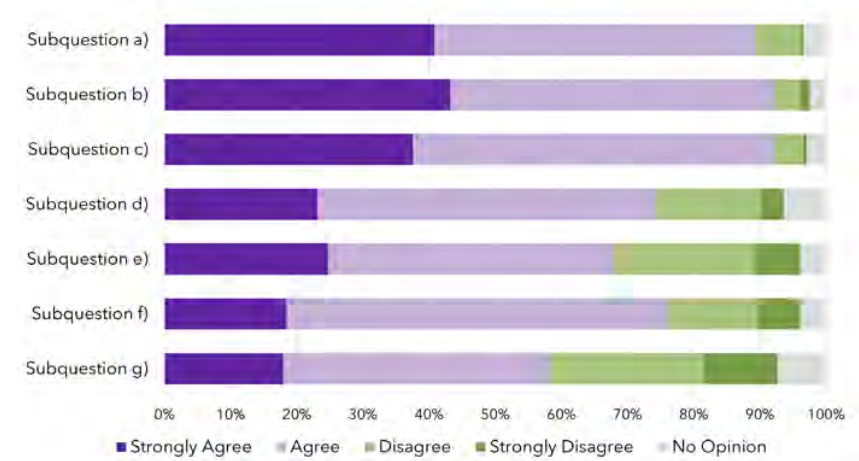




**Question No. 5: "How strongly do you agree or disagree with the statements below about aesthetics, safety and outdoor spaces on the Main Campus?"**

Response rate: 65.4%

- Subquestion a) The campus is attractive and offers an appealing first impression.
- Subquestion b) The campus grounds are kept clean and well-maintained.
- Subquestion c) The campus feels safe.
- Subquestion d) The general appearance of the buildings represents the University well.
- Subquestion e) Sufficient lighting is provided throughout the campus.
- Subquestion f) Sufficient gathering spaces on campus provide a relaxing place to meet, study or socialize.
- Subquestion g) Outdoor spaces are comfortable with sufficient shade and seating.



**Question No. 5: “How strongly do you agree or disagree with the statements below about aesthetics, safety and outdoor spaces on the Main Campus?,” open-ended response takeaways**

Open-ended responses: 44

Strengths

1. Campus landscaping and grounds are well maintained.
  - Several students acknowledged the care taken to maintain lawns, flowers, and trees across campus, which contributes positively to its overall appearance.
  - Quote:  
*“I strongly agree... our people work so hard to make sure the lawns and flowers are maintained all year round.”*
2. Newer buildings provide strong visual appeal.
  - While many buildings are outdated, students consistently pointed out that facilities like the STEM and Fine Arts buildings elevate the campus’s visual quality and aesthetics.
  - Quote:  
*“The older building designs such as the Miller Science building and Military Science building, throw off the unique aesthetics of the newer ones like the Fine Arts building and the STEM building.”*
3. Students appreciate the outdoor gathering spaces that do exist.
  - Although students want more of them, the existing outdoor seating and spaces are used and valued, especially when well-located and maintained.
  - Quote:  
*“Even more gathering spaces!! y’all are good at those.”*

Opportunities

1. Inadequate outdoor lighting creates safety concerns.
  - Numerous students expressed that walking at night feels unsafe due to poor lighting, especially near academic buildings, dorms, and parking areas.
  - Quote:  
*“When dark or rainy it’s terrifying to walk alone... lights behind library, math building, outside of the Wilson garage... need to be brighter.”*
2. Many campus buildings are visibly outdated or poorly maintained.
  - Older buildings like Ferguson, Miller Science, Human Sciences, and the Education Building were repeatedly described as rundown, uninviting, or mismatched compared to newer facilities.
  - Quote:  
*“The outside of the buildings are nice... but the inside of most of the academic buildings are old and outdated.”*
3. More comfortable and accessible outdoor seating is needed.
  - Students asked for additional shaded, well-lit, and comfortable outdoor seating, especially for study purposes. Many noted that existing seating is limited or made of hard concrete.
  - Quote:  
*“More seating would be nice, a lot of seating is concrete benches (not very comfortable).”*





**Question No. 6: "How strongly do you agree or disagree with the statements below about housing, learning spaces and recreation on the Main Campus?"**

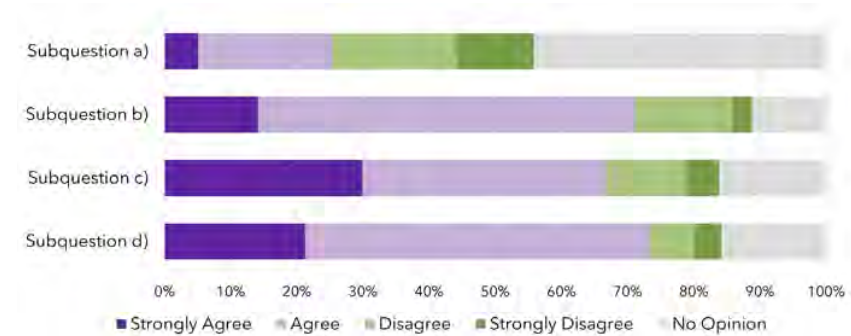
Response rate: 65.1%

Subquestion a) (If you live on campus) I am satisfied with the on-campus housing program, including housing conditions, location, amenities, etc.

Subquestion b) Indoor learning environments meet my expectations.

Subquestion c) I would use outdoor classrooms and outdoor learning environments if they were available.

Subquestion d) The campus provides sufficient recreational facilities.



**Question No. 6: "How strongly do you agree or disagree with the statements below about housing, learning spaces and recreation on the Main Campus?," open-ended response takeaways**

Open-ended responses: 51

Strengths

1. Convenience and use of on-campus recreation facilities.
  - Despite concerns about access and space, students consistently value the recreational spaces available to them, including the gym, pool, and Rec Center, with many using them even after moving off campus.
  - Quote:  
*"Even as an off-campus student I still use on-campus recreation facilities."*
2. Outdoor learning and study spaces are valued.
  - Students showed strong interest in using more outdoor spaces for academic or recreational purposes, including outdoor classrooms and seating areas.
  - Quote:  
*"I feel I would greatly enjoy utilizing an outdoor space while actively learning."*
3. Construction Management outdoor learning area.
  - While still in need of improvements, students praised the outdoor learning environment already created for programs like Construction Management as a step in the right direction.
  - Quote:  
*"It is nice to now have the construction management house and the outdoor learning is great..."*

Opportunities

1. On-campus housing conditions are widely criticized.
  - Many students described dorms as dirty, outdated, and prone to mold, with maintenance and quality not matching the high costs. Calls for renovation were frequent and urgent.
  - Quote:  
*"Mold, broken furniture, broken appliance in dorms is uncalled for. The price and the quality does not match."*
2. The Rec Center and HPE Complex are overcrowded and outdated.
  - Older buildings like Ferguson, Miller Science, Human Sciences, and the Education Building were repeatedly described as rundown, uninviting, or mismatched compared to newer facilities.
  - Quote:  
*"The HPE complex is extremely dated and needs to be bulldozed. The rec center doesn't have enough equipment or space for the size of SFA."*
3. Inconvenient pool hours and lack of aquatic programming.
  - Multiple students expressed disappointment about the limited availability of the indoor pool and the absence of aquatic teams or events.
  - Quote:  
*"Indoor Pool needs more reasonable hours."*





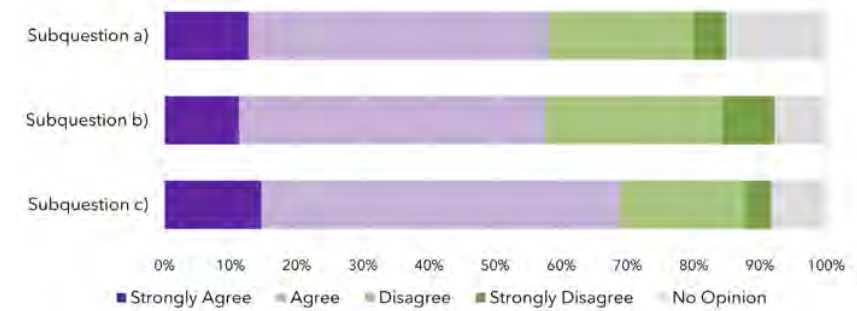
**Question No. 7: "How strongly do you agree or disagree with the statements below about signage on the Main Campus?"**

Response rate: 65.1%

Subquestion a) Signage is attractive, visible, illuminated and appropriately located to allow easy navigation throughout campus.

Subquestion b) Exterior building signage is easy to find and easy to read.

Subquestion c) Interior building signage is easy to find and understand.



**Question No. 7: “How strongly do you agree or disagree with the statements below about signage on the Main Campus?,” open-ended response takeaways**

Open-ended responses: 33

Strengths

1. Some interior signage is organized and functional.
  - A few students indicated that while external signage is lacking, some buildings are well-organized inside, helping them navigate once they’re indoors.
  - Quote:  
*“In terms of signage, everything is well organized inside the buildings, but outside, it still seems insufficient in my opinion.”*
2. Returning students become comfortable over time.
  - Several responses implied that signage may not be a major issue for upperclassmen or those familiar with campus, suggesting a learning curve that eases with time.
  - Quote:  
*“Personally I don’t really have an opinion about this since I know campus like the back of my hand.”*
3. Some buildings have effective directional systems.
  - Though rare, some students noted that specific buildings or systems, like RIZE signage, could serve as a model for the rest of campus.
  - Quote:  
*“Some buildings could really use a floor map near the staircases/ elevators. Have all buildings switch to RIZE signage.”*

Opportunities

1. Exterior building signage is too small, blended, or absent.
  - Students consistently reported that building names are hard to find or read, especially on older buildings or when the lettering is poorly contrasted with building surfaces.
  - Quote:  
*“The letters on the outside of the buildings, especially Vera Dugas and Ferguson, are very small... the color of the letters blends too closely to the building itself.”*
2. Campus-wide wayfinding is inadequate, especially for newcomers.
  - There is a clear demand for large campus maps, directional signage at key locations (e.g., Surfin’ Steve), and improved visibility for first-time visitors or new students.
  - Quote:  
*“Need better maps. Big printed ones with ‘you are here’ like at malls.”*
3. Parking and lot signage is unclear or confusing.
  - Several students described parking signage as poorly marked, hard to read, or inconsistent, causing frustration with understanding rules or navigating lots.
  - Quote:  
*“Parking lot signage is extremely confusing, difficult to see, unclear, and often not present at all.”*





**Question No. 8: "How strongly do you agree or disagree with the statements below about parking on the Main Campus?"**

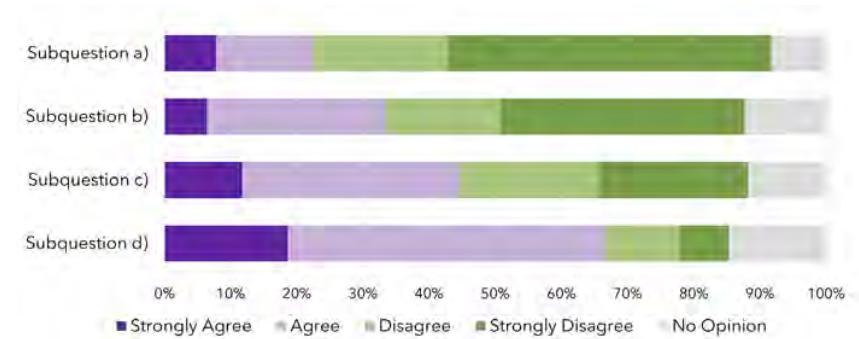
Response rate: 65.1%

Subquestion a) There are enough parking spaces overall.

Subquestion b) Parking is sufficiently close to where I need to go.

Subquestion c) I easily understand where I'm allowed to park.

Subquestion d) I feel safe in campus parking lots.



**Question No. 8: "How strongly do you agree or disagree with the statements below about parking on the Main Campus?," open-ended response takeaways**

Open-ended responses: 58

Strengths

1. Select areas offer convenient parking for specific departments.
  - Some students mentioned that their specific programs or departments are located near accessible lots, improving their personal experience with campus parking.
  - Quote:  
*"Parking is only convenient for me because I am a social work major and there is an All Permit Lot close by."*
2. The commuter lot has capacity, but only in distant areas.
  - A few students acknowledged that certain commuter lots, like the one near the Coliseum, do have open spaces, though distance is an issue.
  - Quote:  
*"The commuter lot has plenty of spots and is always half empty but it is the farthest place on campus from classes."*
3. Parking garages provide relief when understood or accessible.
  - While some students were frustrated by limited access, others noted that the parking garage offers options, particularly when it's well-managed or more levels are opened to students.
  - Quote:  
*"The second level of the garage should be opened to parking for all, and keep the first level for faculty."*

Opportunities

1. Overall lack of student and commuter parking is a major concern.
  - The most frequent and emphatic complaint was a serious shortage of student parking, especially for commuters, who often arrive early or park far from classes.
  - Quote:  
*"ABSOLUTELY NO PARKING. EVER. commuters have nowhere near enough parking. I am often late to classes solely because [I'm] parking miles away."*
2. Faculty/staff spaces are underutilized and should be rebalanced.
  - Multiple students expressed frustration that many faculty and staff spaces sit empty while student lots overflow. They suggest reallocating underused spaces during student-heavy hours.
  - Quote:  
*"There is many faculty/staff lots that have maybe 3 or 4 cars in them at a time... while students are circling the lots."*
3. Parking signage and rule communication are poor.
  - Students reported confusion about which lots they could park in, unclear signage, and having to dig through PDFs or the rulebook to understand policies, leading to tickets and frustration.
  - Quote:  
*"The only information about parking rules has to be searched for in the rulebook... Many students have been fined for simply parking facing the wrong direction because they were not made aware of the rules."*





**Question No. 9: "How strongly do you agree or disagree with the statements below about pedestrian/bicycle comfort and safety on the Main Campus?"**

Response rate: 64.8%

Subquestion a) The campus is easy to navigate.

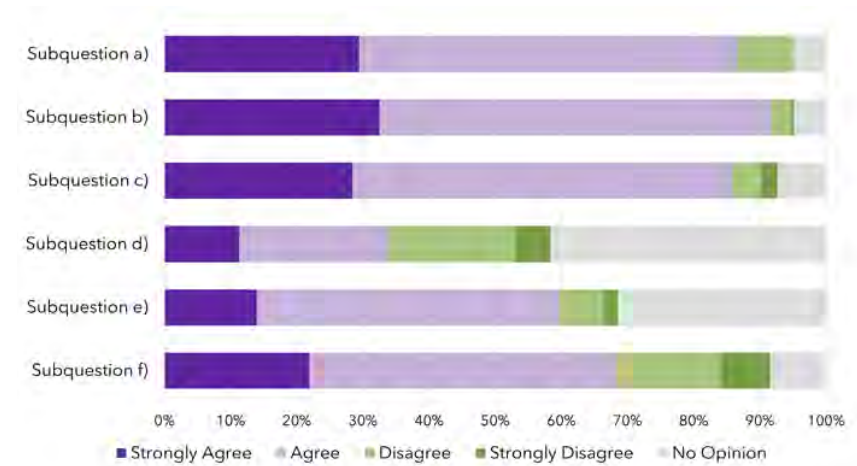
Subquestion b) I feel safe walking throughout campus.

Subquestion c) Buildings are well connected to walk between classes.

Subquestion d) The campus is easily navigated by bicycle, and proper amenities such as bicycle lanes and storage racks are provided.

Subquestion e) Circulation is adequate between student housing and academic buildings.

Subquestion f) As a pedestrian (i.e., a walker), I feel safe crossing roads within the campus.



**Question No. 9: "How strongly do you agree or disagree with the statements below about pedestrian/bicycle comfort and safety on the Main Campus?," open-ended response takeaways**

Open-ended responses: 44

Strengths

1. Campus is generally walkable and pleasant for many students.
  - While not perfect, several students noted that most of the main campus is walkable and accessible on foot, particularly in central areas.
  - Quote:  
*"Majority of campus is walkable and pleasant! However, some spaces lack sidewalks (in front of physical plant for example) and feels more oriented towards cars than people."*
2. Ramps and sidewalks support general accessibility.
  - Although bike/pedestrian infrastructure is limited in places, students acknowledged the presence of ramps and general infrastructure that supports mobility across campus.
  - Quote:  
*"Otherwise, there are a decent number of ramps to navigate around."*
3. UPD patrol presence enhances perceived nighttime safety.
  - One student specifically mentioned that seeing University Police near parking areas at night made them feel safer.
  - Quote:  
*"I love how UPD patrols nightly/sits in one area for a while. It helps as a woman to come out of the dark parking garage and see UPD there as protection."*

Opportunities

1. Lack of dedicated bicycle infrastructure creates safety risks.
  - The most common concern was the absence of bike lanes. Students report frequent near-collisions, frustration with cyclists on sidewalks, and a need for separate infrastructure to ensure safety.
  - Quote:  
*"Bikes make me feel unsafe because they will run into you, yell at you to move, speed past you..."*
2. Crosswalk safety is inadequate in key locations.
  - Multiple students described dangerous crossings on roads like East College, East Starr, and Alumni Drive, where drivers speed or ignore pedestrians.
  - Quote:  
*"The crosswalk by the Griffith Fine Arts building is concerning, where I and several other Theatre students... have nearly been hit by vehicles driving on Alumni Drive."*
3. Sidewalk and path connectivity is lacking in certain areas.
  - Students mentioned confusing or incomplete walkways, especially when navigating from residence halls, parking lots, or peripheral buildings. These gaps create unnecessary detours and increase risk.
  - Quote:  
*"I feel there should be a walkway connecting between the front entrance of Lodge towards the building of Landing instead of me having to walk all the way around..."*



### Question No. 10: "What are the best features of Main Campus and why?"

Response rate: 37.1%

#### Top Five Takeaways

1. Natural beauty and landscaping are signature strengths.

- The most frequently cited feature was the beauty of the trees, flowers, gardens, and wooded setting. Students find the scenery calming, aesthetically pleasing, and unique to SFA.

- Quote:

*"The scenery and plant life is always appreciated. I don't feel like I'm stuck in a city, and the air generally feels clean. I like the gardens and trees that change with the seasons."*

2. The campus is compact and highly walkable.

- Students consistently praised the ease of navigating campus due to the close proximity of buildings and walkable layout, making their daily routines more efficient and pleasant.

- Quote:

*"Very pretty and close together so it's easy to walk through."*

3. The STEM Building is a standout facility.

- The STEM Building was one of the most frequently named structures, appreciated for its design, study spaces, lighting, and modern amenities. It represents a model for future campus construction.

- Quote:

*"The STEM building... pretty purple lights, lots of natural light inside, and I love those study corners."*

4. The Student Center and library offer key resources and spaces.

- The Student Center (SC) and Steen Library were repeatedly cited as hubs for food, study, socializing, and support services. These central spaces are seen as inclusive and well-utilized.

- Quote:

*"The Student Center... it is a localized environment that provides many services."*

5. Campus features support academic and recreational balance.

- Students highlighted the Rec Center, trails, volleyball courts, and outdoor seating as important outlets for mental health, social interaction, and physical wellness.

- Quote:

*"The rec center and walking trails are relaxing and offer a good pass time."*

### Question No. 11: "What features on the Main Campus need the most attention and why?"

Response rate: 41.3%

#### Top Five Takeaways

1. Parking is overwhelmingly the most pressing concern.
  - Students repeatedly described the parking situation as inadequate, confusing, and frustrating, particularly for commuters. Many pointed out that student spaces are limited while faculty spots often sit unused.
  - Quote:  
*"PARKING. IT IS HELL ON EARTH. Again, without my special privileges... this [still] make[s] this much easier on me, but for quick things it can be difficult."*
2. Older academic buildings are outdated and unwelcoming.
  - Buildings such as Ferguson, Liberal Arts North, Miller Science, and Human Sciences were frequently described as old, dingy, poorly lit, and in need of both aesthetic and functional upgrades.
  - Quote:  
*"Older buildings such as Liberal Arts North and Ferguson are extremely outdated... the elevator is constantly breaking. Classrooms are overcrowded with furniture because it is where 'the hand-me-down' furniture goes."*
3. On-campus housing is deteriorating.
  - Students voiced serious concerns about the condition of dorms, citing mold, broken fixtures, lack of cleanliness, and an overall mismatch between cost and quality.
  - Quote:  
*"Dorms are moldy... The old E. Miller building also needs work... There was a cockroach in the staircase in the same spot for 3 weeks."*
4. Sidewalks, drainage, and lighting pose safety hazards.
  - Many students identified broken, slippery, or flooded sidewalks, especially near buildings like Chemistry and Rusk. Poor lighting around key areas like Steen, library paths, and residence halls was also called out as a safety issue.
  - Quote:  
*"Sidewalk repaving... between the chemistry building and the Rusk building... the concrete sections have shifted creating trip hazards. I have fallen and seen many others including elderly and disabled students trip."*
5. Dining Hall food quality is a major source of dissatisfaction.
  - Numerous students criticized not the dining spaces themselves, but the quality, safety, and variety of food offered by dining services, especially Chartwells.
  - Quote:  
*"Dining halls—awful food... random overuse of acids... alive flies within the produce... backlog of dirty dishes... get rid of Chartwells, the food is terrible—it's the worst part about SFA."*



## Question No. 12: “What amenities, events or activities would encourage you to spend more free time on the Main Campus?”

Response rate: 34.9%

### Top Five Takeaways

1. More events, especially inclusive and non-Greek-life activities.
  - Many students asked for a greater variety of social events, especially those not tied to Greek life or specific organizations. Craft nights, food festivals, competitions, movie nights, and casual games were popular suggestions.
  - Quote:  
*“Events for people not in Greek life or religious orgs! Arts and crafts with Surfin Steve, movie showings in the student center, yoga on the lawn, etc.”*
2. Students are motivated by free food, giveaways, and incentives.
  - Across the board, “free food” was one of the most common motivators mentioned. Giveaways, gift cards, contests, and merchandise all rank high as ways to increase engagement.
  - Quote:  
*“Free food and free stuff for everyone not just a couple people.”*
3. More comfortable, social, and outdoor spaces are needed.
  - Students want more inviting areas to study, relax, and connect, especially outdoors. Suggestions included hammocks, shaded seating, bean bags, courtyards, and a dedicated lounge or study-focused building.
  - Quote:  
*“Outdoor lounging areas or student lounge areas in general... an area with lots of windows and/or with bean bags and comfy chairs would be much appreciated.”*
4. Better dining options and hours would increase on-campus time.
  - Students asked for more variety, healthier options, and extended hours in dining locations to make campus feel more livable and convenient.
  - Quote:  
*“More food options with better hours. More family friendly activities.”*
5. Students want unique and creative recreation options.
  - Several students proposed new recreation facilities and activities such as an indoor pool, obstacle courses, adult playgrounds, and even rooftop access, along with more accessible fitness and wellness options.
  - Quote:  
*“Bouncy houses. College students can be delightfully simple sometimes. Obstacle courses too—maybe routine competitions between Greek Life and Athletes or something.”*

**Question No. 13: “Do you have any other comments or points you wish to make about the current or future conditions on the Main Campus?”**

Response rate: 24.4%

Top Five Takeaways

1. Parking remains the most urgent and frustrating issue.

- The single most mentioned concern was inadequate student parking, especially for commuters. Students feel there’s a disproportionate allocation to faculty/staff, with underutilized lots while student lots overflow.
- Quote:  
*“PARKING PARKING PARKING PARKING PLEASE I’M BEGGING YOU FIX IT.”*

2. Residence halls are outdated and in need of major upgrades.

- Multiple students pointed out serious concerns with mold, malfunctioning alarms, broken elevators, and poor housing conditions, especially in older dorms like Steen and Hall 14.
- Quote:  
*“The dorms are so outdated... if I can’t hear the fire alarm while sleeping, that is a safety hazard.”*

3. Students want facilities that match academic and campus growth.

- There’s demand for updated academic buildings, improved libraries, better gym and rec facilities, and equitable investment in programs like Agriculture and Construction Management, not just STEM or Athletics.
- Quote:  
*“McGuffin and the ag folks seem to get put on the backburner all the time... Construction management needs a real building with real parking.”*

4. Dining services and food options need improvement.

- Students expressed dissatisfaction with the dining hall experience, citing repetitive menus, long wait times, poor quality, and unreliable hours.
- Quote:  
*“Dining hall food is repetitive and unappetizing. The Dine on Campus app is frequently wrong... Students shouldn’t have to wait over 45 minutes to use their meal exchange at Chick-fil-A.”*

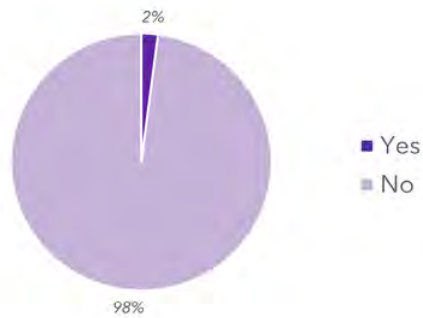
5. Campus safety, accessibility, and navigation require attention.

- Students asked for more accessible sidewalks, safer crosswalks, weather-safe walkways, and better signage or interactive maps. Those with disabilities specifically called out overlooked barriers.
- Quote:  
*“Please make sure the building and walkways are accessible to disabled people.”*



**Question No. 14: "Do you attend the DeWitt School of Nursing?"**

Response rate: 61.6%



**Question No. 15: "If you attend the DeWitt School of Nursing, what are the best features of the satellite campus and why?"**

Response rate: 1.9%

- Answers:
  - "I like that we are the only ones who use the building and spend time there."
  - "The parking is good the class is spacious and bright."
  - "I should be able to use multiple meal swipes at a time."
  - "Parking and campus size."
  - "The student lounge; Computer lab; The seating area in the main entrance."
  - "It has a pristine feel to it, that it is on its own."

**Question No. 16: "If you attend the DeWitt School of Nursing, what elements on the satellite campus need the most attention and why?"**

Response rate: 2.2%

- Answers:
  - "We desperately need more classrooms. If SFA is going to continue allowing/accepting higher numbers of freshmen, then the campus buildings need more room and availability. Currently, the nursing building doesn't have enough classroom spaces for the number of students there right now."
  - "Another lounge would be nice or a dedicated study room. the building makes a weird rrrring noise throughout the day and randomly power is lost then gained like a flickering which is distracting especially while testing."
  - "I should be able to use multiple meal swipes at a time."
  - "Honestly maybe move them back on campus would be a better idea."
  - "More shaded outside options for lounging."
  - "The student lounge could be bigger since the school is growing."
  - "The size and amenities."

**Question No. 17: "If you attend the DeWitt School of Nursing, what amenities, events or activities would encourage you to spend more free time on the satellite campus?"**

Response rate: 1.3%

- Answers:
  - "Another study focused or loungelike room or cute outdoor area."
  - "I should be able to use multiple meal swipes at a time."
  - "Better food options, a park, or increases in Masters or Doctoral level degrees."
  - "Amenities and infrastructure."

# INTERACTIVE BOARD SUMMARY

## ENGAGEMENT OVERVIEW

**Date:** Boards available from December 2024 - February 2025

**Location:** Ralph W. Steen Library and Baker Pattillo Student Center

**Audience:** Students, staff and faculty

**Overview:** A series of interactive boards were posted at the Ralph W. Steen Library and Baker Pattillo Student Center to gather passive, in-person feedback from interested passersby. Each location was provided with a set of boards: one asking for input on the overall campus vision, and one asking respondents what they love and would change about academics and student life at the University.



*Images: Student doodles drawn on interactive boards*













new dorm/renovated better elevators  
Stephen F. Austin State University Campus Master Plan

Get rid of  
MOLD in all  
hallways!

NEW MUSIC BUILDING!

# WHAT'S YOUR CAMPUS VISION?

Imagine the campus in the future. What does it look like? What would you like to see? Please write your thoughts below!

**NEW MUSIC BUILDING PLEASE** ← More parking! x2 again

Renovate the student center!!! This!!!

Renovate the Art building Art Building Expansion/Remains

Renovate Human Science Buildings

More Parking!!

Bigger housing

Bigger Sidewalks

Elevators in 14 P12

Make stairs & Landings non first year!

I AM the Campus Vision

Hire Freshmen for campus rec. PLS...!!

Real Recycling Program

More affordable prices at on-campus stores (esp. B&N)

Better Food!!!

CROSSWALK

more parking spots!!!

More Sound Proofing in study rooms

Better and new models to study ASP [the ones in the P&C are old and very few]

Different Sidewalks: #Don't want a Superfall

MORE FUNDING FOR SCHOOL OF MUSIC!

Higher Pay for Student employee positions why is it like \$7 per hr.

This guy

Make college housing only

Higher pay for Student positions.

SideWALK from dining hall to front building B&N

REDO THE UPSTAIRS PRACTICE ROOMS IN THE MUSIC BLDG

More parking for off-campus students

Create Sidewalks where people naturally want to walk! Otherwise they trample the grass!!

Bus across campus better commuter parking

Being able to live off campus after first year

Cleaner roommates!!

Better Roads Please!!

To make school more affordable, please!!!

New Art Building

New Music building

New Music Building

New Music Building

Convincing only parking

Soap in dorm bathrooms! please have you

Chicago bean

Fix MOLD

Better/cleaner Dorm Bathrooms

For real

The drains!!! No More Flooding

Higher pay for Student positions.

"What's your campus vision?" interactive board scans





## Stephen F. Austin State University Campus Master Plan

# WHAT'S YOUR CAMPUS VISION?

Imagine the campus in the future. What does it look like? What would you like to see? Please write your thoughts below!

Scan the QR code to take the online survey!  
Visit sfau.edu/masterplan for more information!

Indoor football facility  
New football locker room  
-Cade  
word.  
More trees  
Bigger Market w/ more stuff  
Redbull!!!  
A Playground!  
More Parking  
More crosswalk  
MORE TREES!  
Cheaper Books  
This guy  
Survival  
Fax!  
Use the movie theatre year round!  
We Bored Fr  
A target.  
Build dorms that cater!  
An understandable bus shuttle system - a cane user who wanted ride a working bus system  
Driers in village 2  
Find a way to get A MAIL Down Here!  
Please!  
I'd  
Fix The Roads  
or pay for my fees  
Put in Hall 14!  
functional  
More Bases  
THIS!  
More Parking  
phase!  
Fix Wepa in village  
Please I'm begging you!!  
More Add bull (singular)  
More flowers!  
More Add bull (singular)  
More football spots!  
Remodel Library  
To Master In Game Development  
Subway Now  
Parking  
Playground please  
Resident parking by resident halls (when... wisely...)  
I'd  
SWINGS!  
a New movie Bldg  
Come to athletic events!  
Gimme Red Bull  
Put Wepa Printers in School of Nursing!!!  
RED BULLS! YAS REDBULL!!!

"What's your campus vision?" interactive board scans









Scan the QR code to take the online survey:  
visit [state.ajphustudyplan](http://state.ajphustudyplan) for more information.

# Stephen F. Austin State University Campus Master Plan

## WHAT DO YOU LOVE/WHAT WOULD YOU CHANGE?

Tell us what you **love** and what you'd **change** about **student life** and **academics**. Please write your thoughts below!

***I love...***

## Student Life

Book  
 Twiggy  
 Staff  
 The atmosphere of SFA, spirit and community  
 The East Entry  
 The Campus  
 REC/pinkies, trees and the rec!  
 Yoga classes  
 The trees & meal programs  
 The Freshers  
 Jack walkers!!  
 #JULC  
 Jalen Hurts  
 The clubs  
 The Pass from the Thatch students  
 SFA picnic program  
 The Thatch program  
 The Calmness of the campus  
 EF  
 The Freshers  
 Tri Delta

the athletic games

[illegible]

## Academics

the extent of our  
professors knowledge

Dedication from professors

Helpfulness  
of professors!  
(bood you ya!!)

Theres lots  
of help/resources (y)

Class size per

### Concluding

that you can ask  
as many questions  
as you want without feeling  
slow!

have access to all grades in one place! *more food options at heartmas*  
*Better advisors / teachers*  
*More training / grad programs*  
**Playground!** *Communication*  
*more online options for Nontraditional Students*

More food options in the  
at desert maze

Force Professors to  
Show Full grade  
through semester









Scan the QR code to take the online survey!  
Visit [www.sas.edu/masterplan](https://www.sas.edu/masterplan) for more information.

## Stephen F. Austin State University Campus Master Plan

# WHAT DO YOU LOVE/WHAT WOULD YOU CHANGE?

Tell us what you **love** and what you'd **change** about **student life** and **academics**. Please write your thoughts below!

### Student Life

My things  
Pawpaw

The Rec

Purple flowers

I love...

George Pickens

My wife (the post)

The post

The Squirrels

Twiggy

Hayden Tronson

The Holy Bible

Sagwon Barkley

SI's

The AARC!

### Academics

Parking

Better N  
Bigger Downs

I'd change...

cleaning  
mod  
in ALL Downs!

pls evaluate  
all ladybugs  
(they don't pay rent...)  
more areenat

More granola  
for squirrels!!!

more plants  
in garden/walk paths  
→ Bees!



on labbing, Bryan  
invasive Japanese  
beetles that bite.

The map

Less work, MORE CONDOMS  
(if we can) -

bring the  
dust off down  
& make it shine

the poop  
some!!

rec hours!  
(later times)

Ayes, I second that

longer hours  
11

The False  
of Purple  
Promises!!

Purple Promise Scholarship  
available to more than just  
first-time, first year students

I second!

i think I find it

More lounge  
Areas

Free printing!

corruption / abuse of power  
from dean at  
students / UPD

"What do you love/what would you change?" interactive board scans



# INTERACTIVE MAP SUMMARY

## ENGAGEMENT OVERVIEW

**Date:** December 2024 - February 2025

**Location:** Virtual

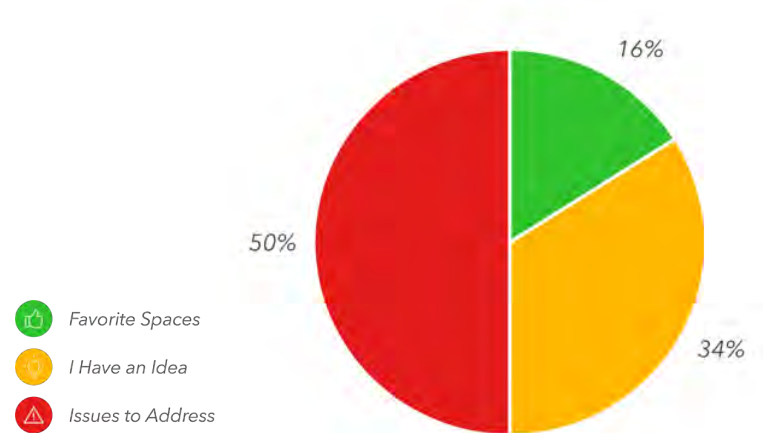
**Audience:** Students, staff and faculty

**Overview:** The University published and hosted an online interactive map to gather site-specific feedback from interested students, staff and faculty. Respondents were asked to drop pins identifying their favorite spaces, places where they have ideas or suggestions and areas where they have issues they'd like addressed. The map's limits focused on the Main Campus, the CARRI campus and the DeWitt School of Nursing.

## KEY RESULTS TAKEAWAYS

Interactive map response composition:

Total responses: 751



### Top Five Discussion Topics

1. Building and facility quality
2. Transportation and accessibility
3. Natural resources and recreation
4. Dining options and quality
5. Housing



Interactive map export #1 (Main Campus, North)









Interactive map export #3 (Main Campus, South)





Interactive map export #4 (DeWitt School of Nursing)



Interactive map export #5 (CARRI)





Interactive map pin type: **"Identify your favorite spaces on campus."**

Response rate: 16%

### Top Five Takeaways

1. The gardens and trail system are beloved, iconic outdoor spaces.
  - The Lanana Creek Trail, SFA Gardens, and surrounding green spaces were among the most frequently mentioned areas. Students and faculty appreciate their beauty, tranquility, and value for fitness and educational opportunities.
  - Quote:  
*"The gardens are wonderful! I love that SFA has the education center, the plant sale, and the trails... These gardens are an amazing asset to SFASU and a gift to the community!"*
2. The STEM Building and its rooftop deck are standout features.
  - Students highlighted the Cole STEM Building, particularly its natural lighting, study corners, and rooftop deck, as one of the most modern and inspiring spaces on campus.
  - Quote:  
*"STEM atrium and rooftop deck... Best building around, love the roof deck."*
3. The Makerspace is highly valued and underrated.
  - Multiple responses enthusiastically celebrated the campus Makerspace, with calls for increased support, visibility, and funding due to its hands-on learning value.
  - Quote:  
*"The Makerspace is phenomenal and deserves more attention and funding."*
4. Recreation and athletics areas foster community and wellness.
  - The Rec Center, courts, and Coliseum were praised for being clean, well-maintained, and central to student engagement and physical health.
  - Quote:  
*"The Rec is better maintained than the rest of campus. Keep utilizing rec fee dollars to enhance student experience here and at IMS complex."*
5. Shaded green spaces and courtyards offer peaceful, social areas.
  - Numerous responses celebrated specific courtyards, trees, and benches as perfect places to relax, study, or socialize, often with added personal touches like feeding squirrels or watching wildlife.
  - Quote:  
*"Beautiful area of trees, grass and shade. Great for a hammock or picnic. It would be nice to have more outdoor seating areas here and across campus."*



Interactive map pin type: **"Share your ideas about campus."**

Response rate: 34%

### Top Five Takeaways

1. Overwhelming demand for more parking and parking garages.

- Calls for new commuter parking, especially garages, appeared dozens of times across campus. Students are frustrated by limited space, confusing zoning, and unsafe walking conditions from distant lots.

- Quote:

*"This area really needs to be a commuter parking garage."*

2. Desire for facility upgrades, especially dorms and academics.

- Respondents repeatedly identified outdated facilities as a barrier to recruitment and retention. Priorities include dorms (like Steen and Hall 20), the Science and Math buildings, and Student Services offices.

- Quote:

*"This dorm is in such a great spot near the pond and stadium. I agree with all the issue markers, but I think it could be rebuilt into better and more dorms. We don't have enough space to house kids and with the push for higher enrollment, its needed."*

3. Support for new, creative campus amenities.

- Community members expressed enthusiasm for imaginative additions that would enhance student life, like entertainment venues, themed statues, covered patios, or a campus tavern.

- Quote:

*"Tear this down and build a bowling alley for the students to utilize and for the bowling team to practice."*

4. Better pedestrian and crosswalk infrastructure needed.

- Students, particularly those near busy roads or commuting, flagged safety concerns. Suggestions included pedestrian bridges, improved crosswalks, and traffic calming features.

- Quote:

*"Build a pedestrian bridge across University Drive for pedestrians."*

5. Widespread appreciation for nature and trail system.

- Many users love the SFA Gardens, trails, and green spaces. However, they also asked for more signage, seating, native plants, maintenance, and pedestrian access across major roads.

- Quote:

*"The gardens are amazing—keep up the great work on campus. We love walking SFA gardens and trails."*





Interactive map pin type: **"Identify areas or issues you'd like to be addressed."**

Response rate: 50%

### Top Five Takeaways

1. Campus parking is inadequate, confusing, and poorly enforced.
  - Students, staff, and faculty repeatedly cited lack of parking, especially for commuters, as a major pain point. Complaints also included underutilized faculty/staff spots, paid parking near services, and inconsistent permit rules.
  - Quote:  
*"Get rid of parking services price gouging \$200 a student for a parking pass with nowhere to actually park in a reasonable location... and still can't get parking fixed."*
2. Many academic and residential buildings are outdated or unsafe.
  - Buildings like Boynton, Miller Science, Rusk, Ferguson, Art, and older dorms (e.g., Steen, Hall 20) were flagged repeatedly for mold, bad elevators, HVAC failures, water damage, poor lighting, and inaccessibility.
  - Quote:  
*"This building is super outdated and at times unsafe. The elevator is always breaking and the foundation is uneven. Most rooms slope outward and there are cracks in the walls."*
3. Pedestrian safety and accessibility need major improvements.
  - Students raised concerns about dangerous crosswalks, lack of lighting, uneven pathways, vehicle encroachment, and ADA barriers across campus.
  - Quote:  
*"To prevent pedestrian death this intersection needs reconfiguration. The 4-way stop lines are confusing, visibility of south Raguet is poor."*
4. Facilities and grounds need better maintenance and infrastructure.
  - Multiple comments cited flooding, broken bridges, rotting benches, overgrown trails, and dirty or outdated restrooms. Students expressed frustration that basic upkeep is being neglected in high-traffic and visible areas.
  - Quote:  
*"Powerwash/clean or preferably rip up and redo the cross-walkways. The white walls have shown their age for decades and are an eyesore on one of our campus's most highly visible and highly used pathways."*
5. Dining, recreation, and housing services are underserving.
  - Students asked for expanded dining hours, better gym access, indoor pool improvements, cleaner dorms, and accessible laundry. Many cited broken appliances, mold, and a lack of student-centered design in housing and student life services.
  - Quote:  
*"The dorms really need to be updated, especially since y'all just reopened them... Hall 20 was one of the few dorms available. Many people were displaced and STILL have NO WHERE to go."*

# **APPENDIX B**

## **UTILIZATION INFORMATION**





# UTILIZATION DATA - CLASSROOMS

## Classroom Fill and Utilization

All Buildings on Campus

Stephen F. Austin State University, Fall 2024

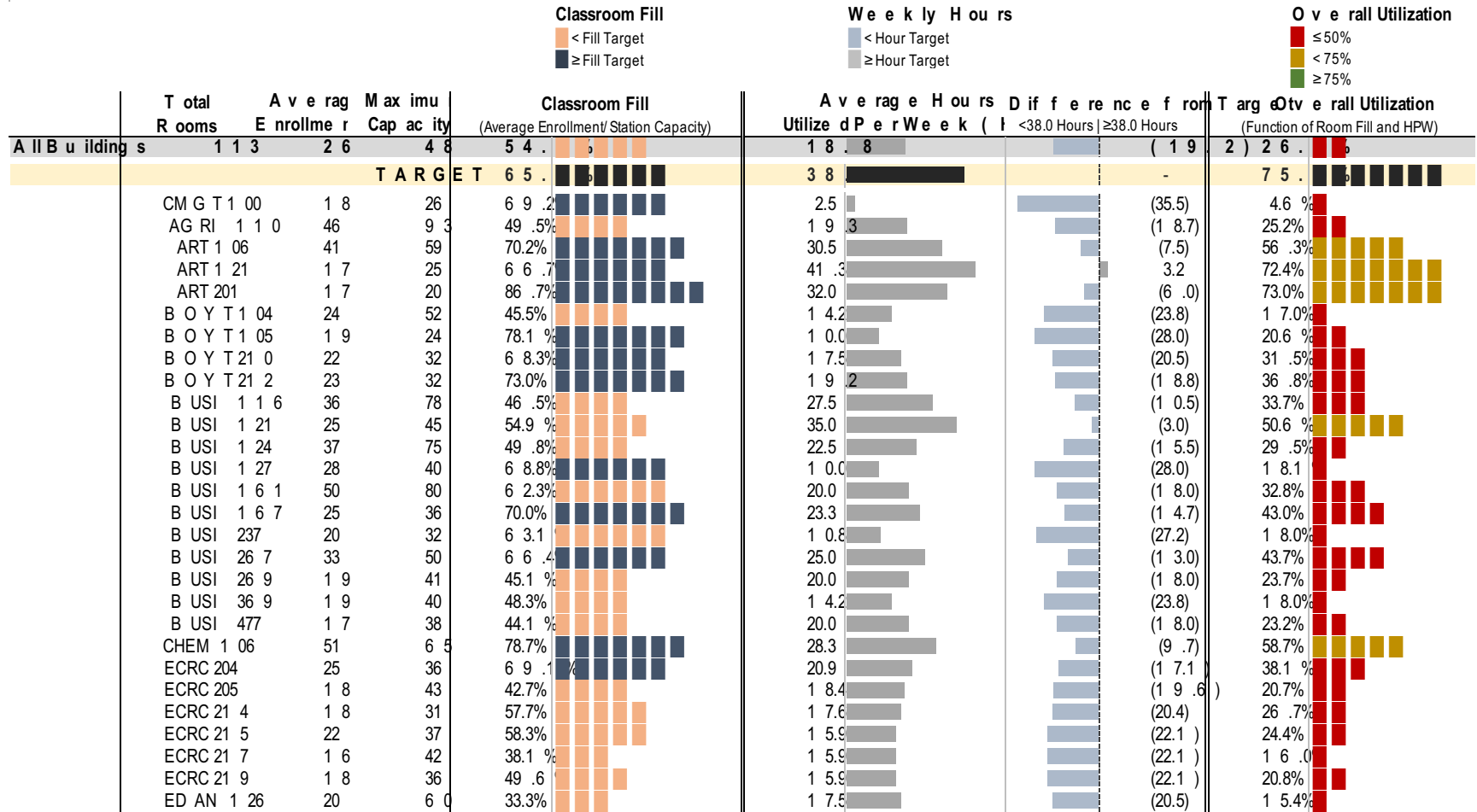


Figure 1. SFA Classroom Fill and Utilization, Fall 2024 - All Buildings on Campus

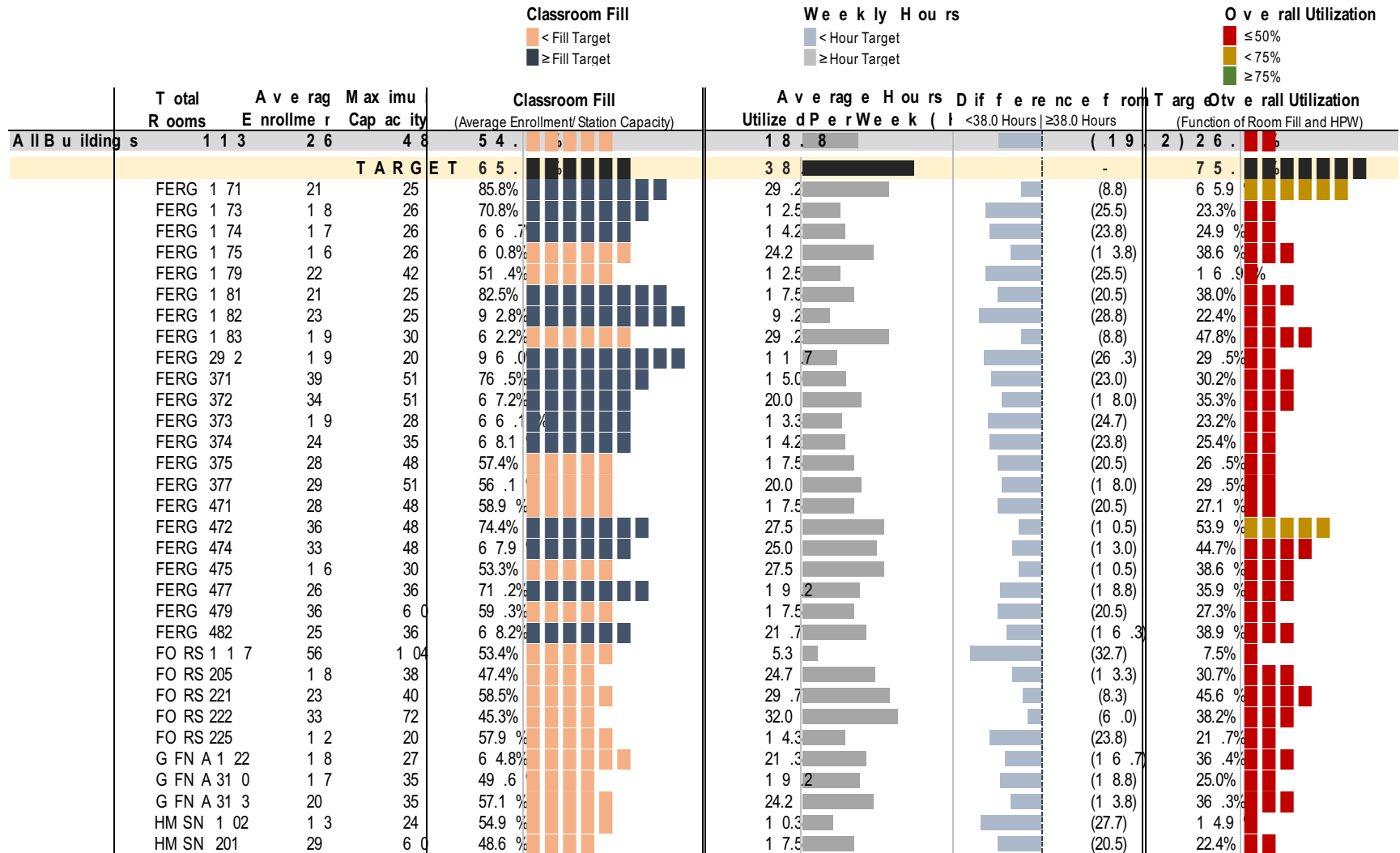


Figure 1 (cont.). SFA Classroom Fill and Utilization, Fall 2024 - All Buildings on Campus



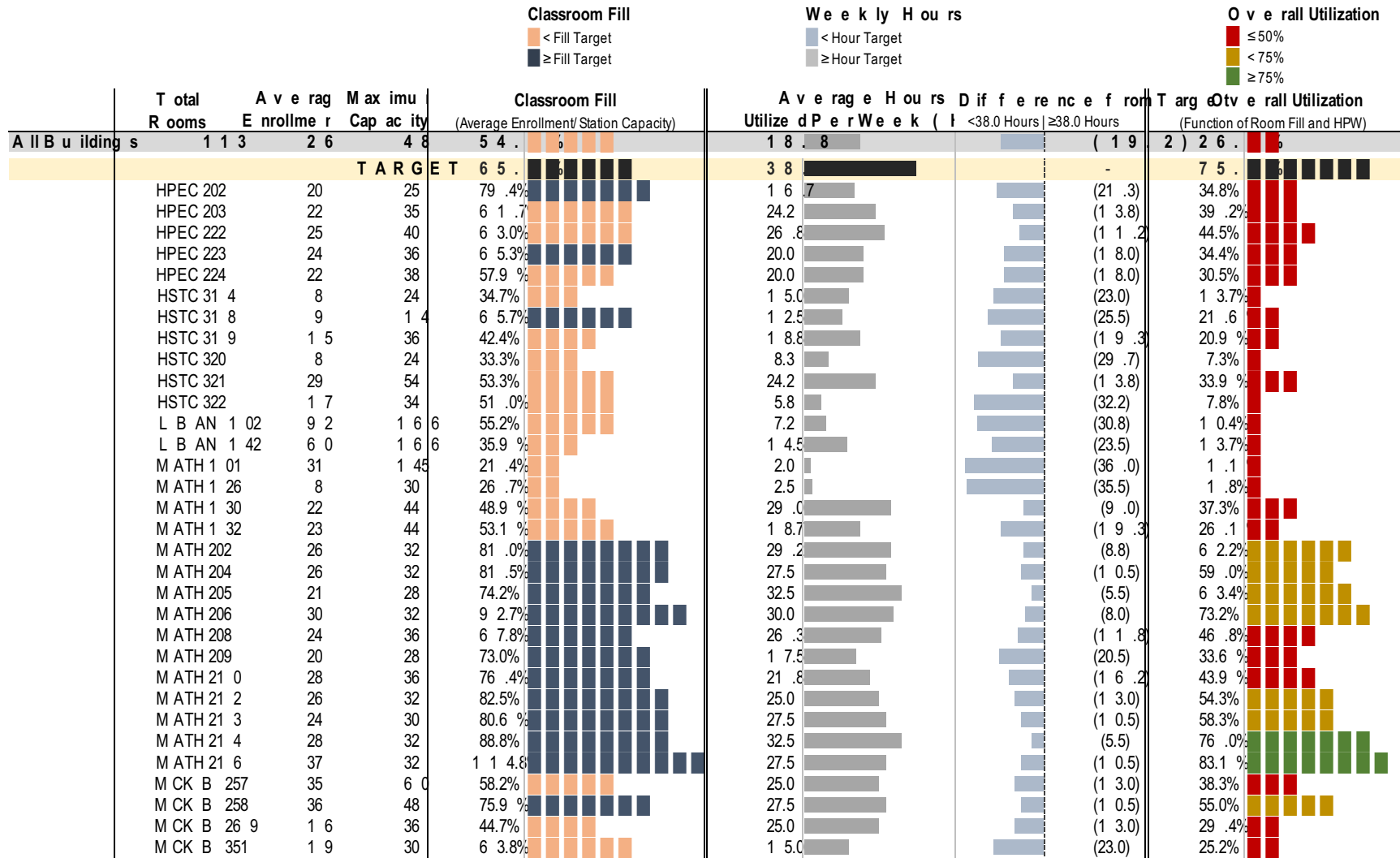


Figure 1 (cont.). SFA Classroom Fill and Utilization, Fall 2024 - All Buildings on Campus

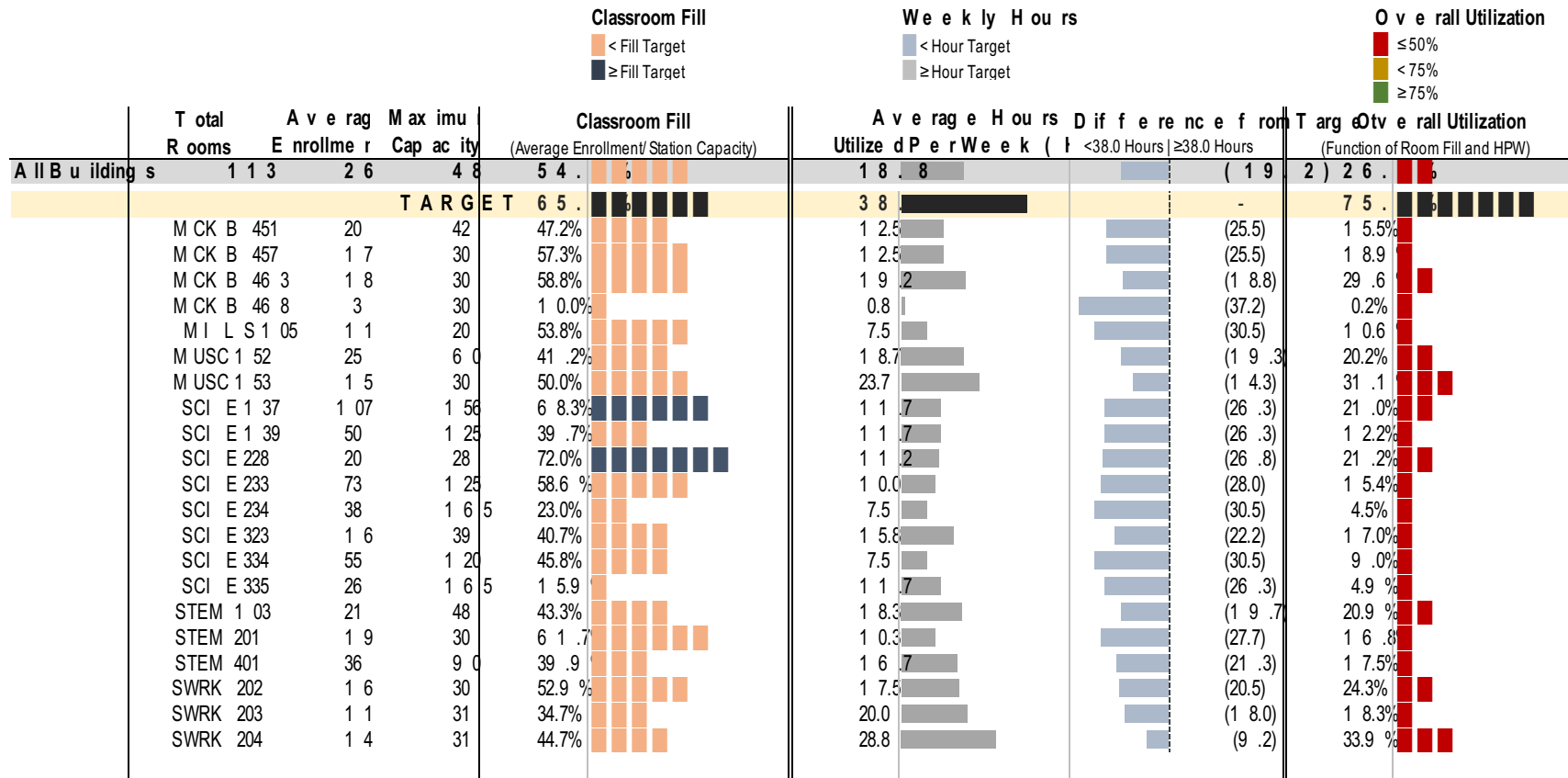


Figure 1 (cont.). SFA Classroom Fill and Utilization, Fall 2024 - All Buildings on Campus



# UTILIZATION DATA - CLASS LABS

## Class Lab Fill and Utilization

All Buildings on Campus

Stephen F. Austin State University, Fall 2024

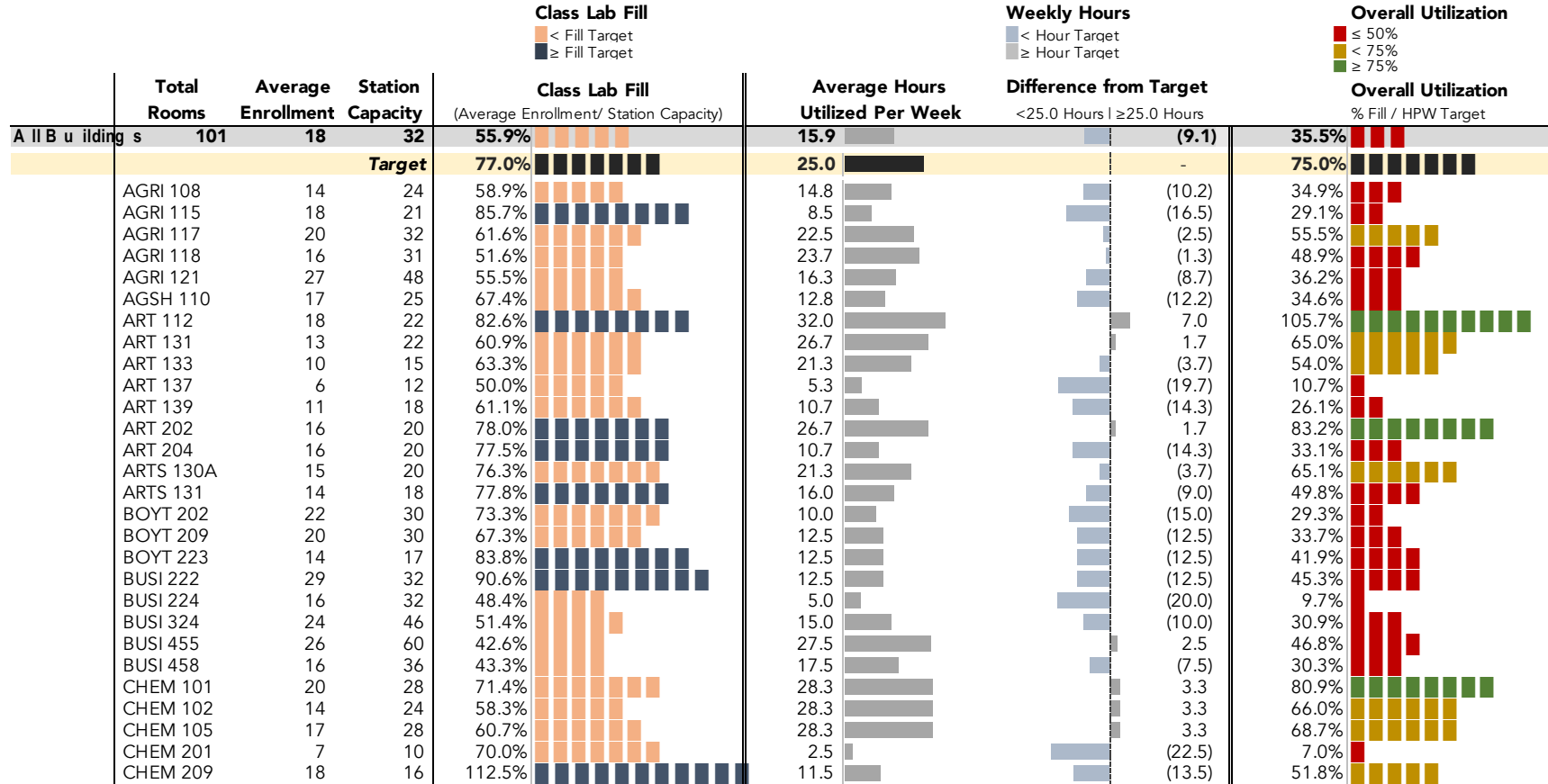


Figure 2. SFA Class Lab Fill and Utilization, Fall 2024 - All Buildings on Campus

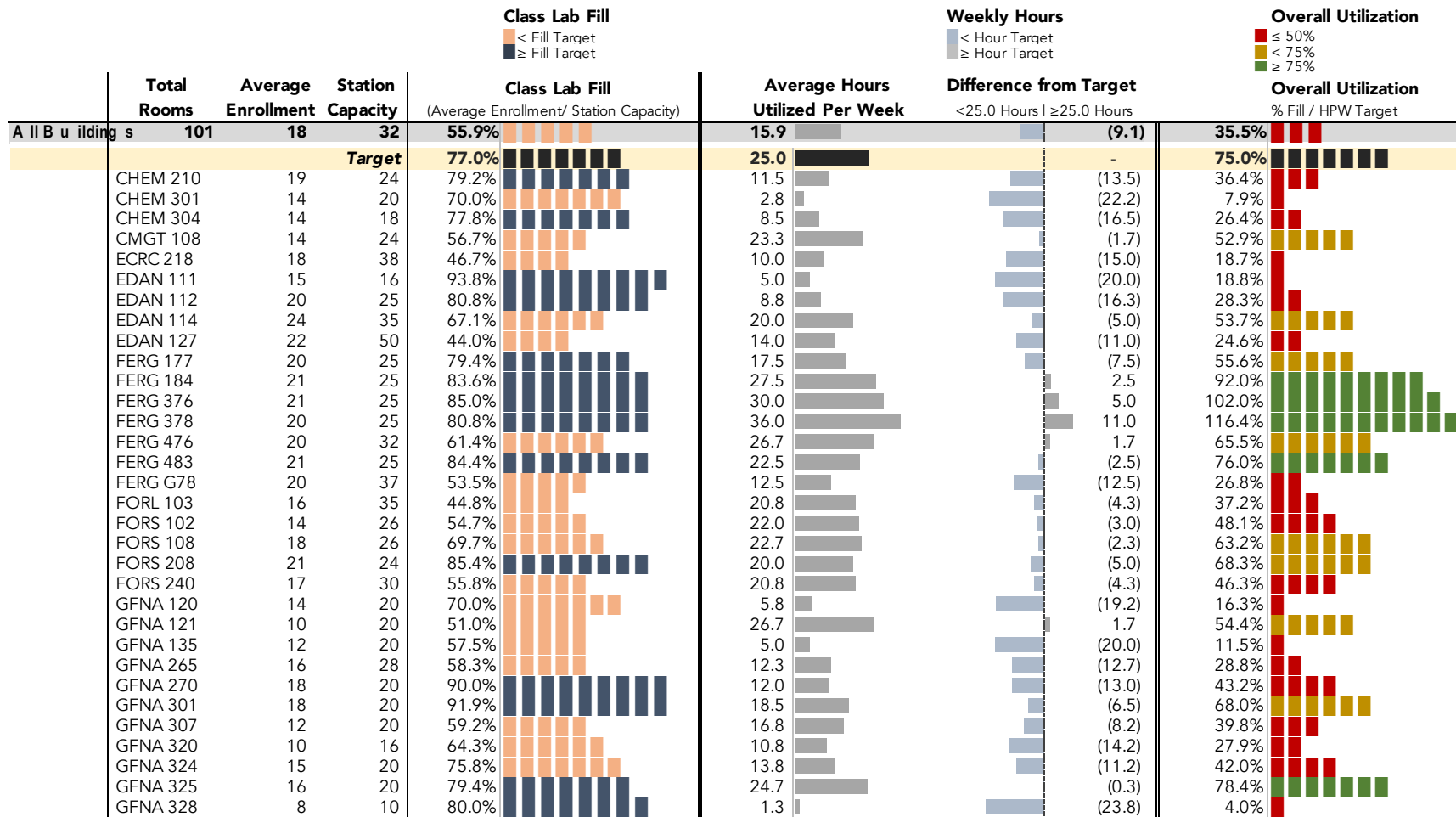


Figure 2 (cont.) SFA Class Lab Fill and Utilization, Fall 2024 - All Buildings on Campus



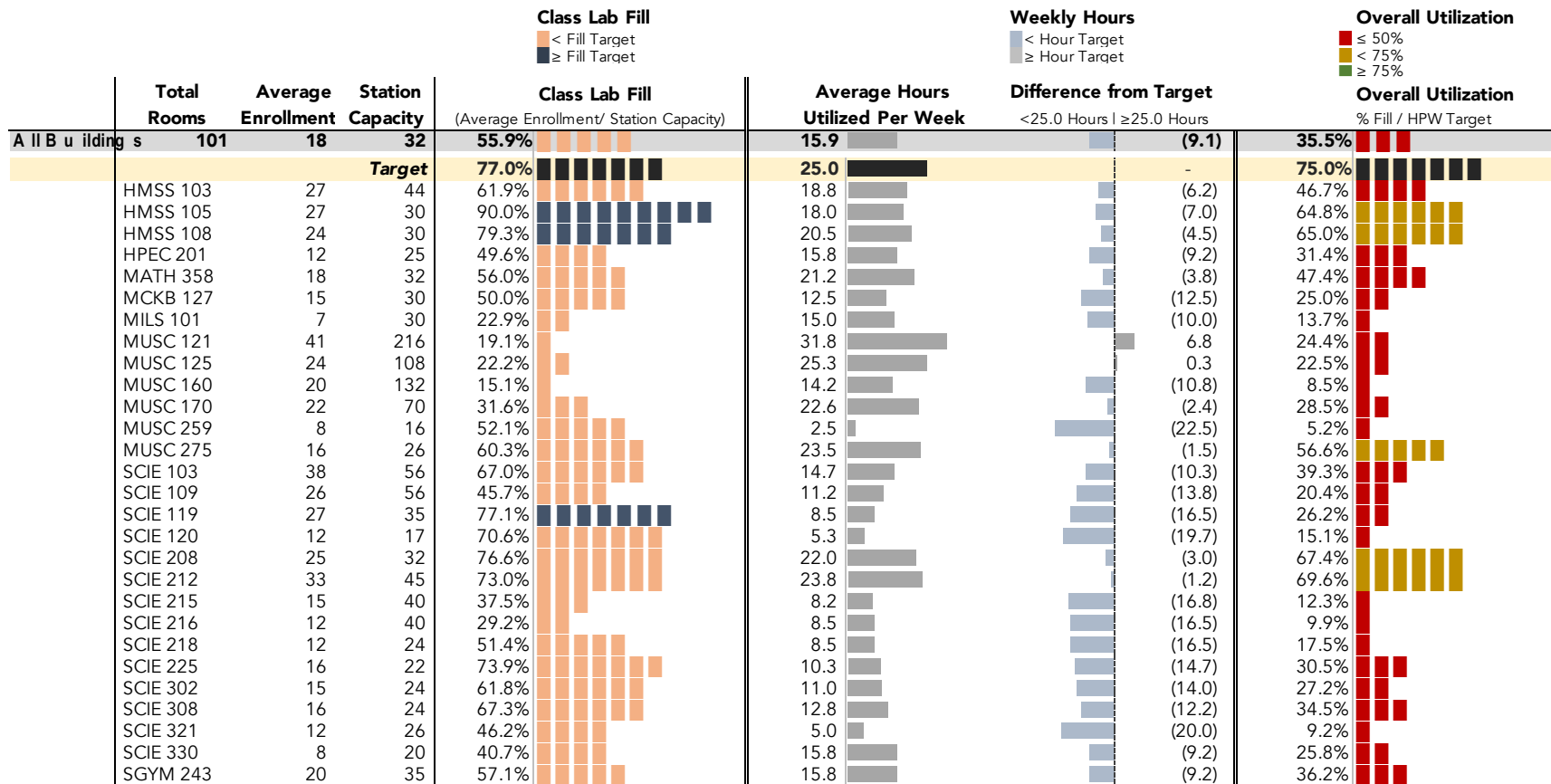


Figure 2 (cont.) SFA Class Lab Fill and Utilization, Fall 2024 - All Buildings on Campus

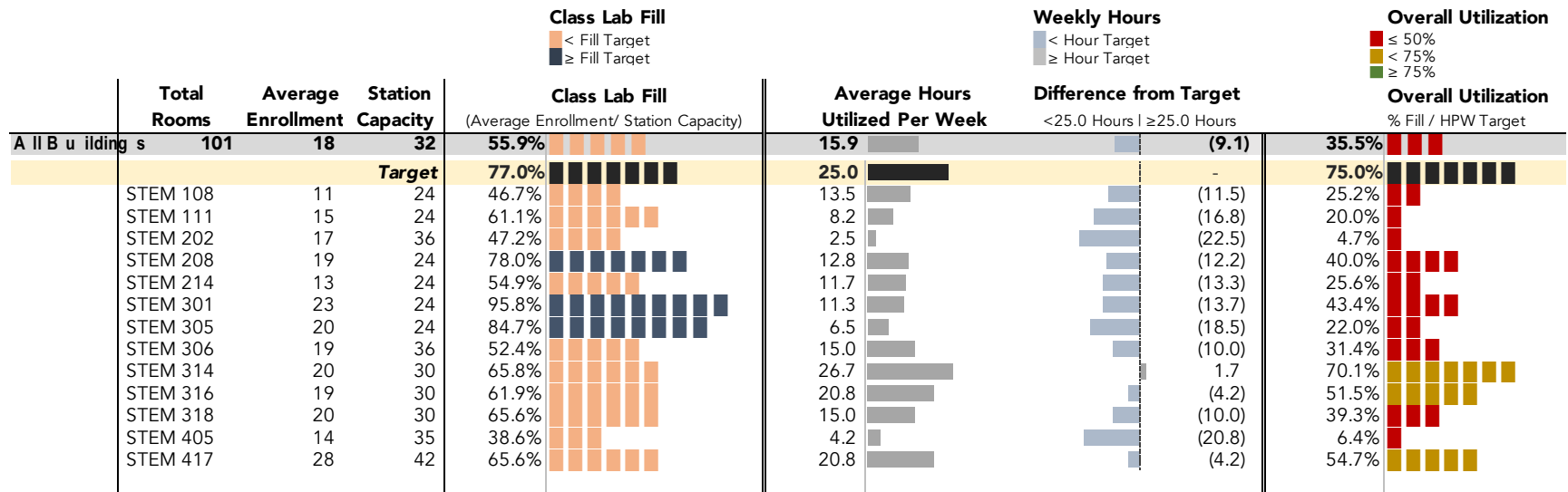


Figure 2 (cont.) SFA Class Lab Fill and Utilization, Fall 2024 - All Buildings on Campus



# **APPENDIX C**

## **INTERCOLLEGIATE ATHLETICS MASTER PLAN**



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# INTERCOLLEGIATE ATHLETICS MASTER PLAN STEPHEN F. AUSTIN STATE UNIVERSITY

December 11, 2025







# TABLE OF CONTENTS

|                         |     |
|-------------------------|-----|
| Executive Summary.....  | 4   |
| Visioning .....         | 24  |
| Background Context..... | 30  |
| Basis of Need.....      | 78  |
| Proposed Scope.....     | 114 |
| Schedule .....          | 186 |







# EXECUTIVE SUMMARY

# EXECUTIVE SUMMARY

We would like to express our sincere appreciation to all those who contributed their time, insight, and expertise to the development of this Master Plan. The thoughtful input from University leadership, athletics staff, coaches and student-athletes was invaluable in shaping a shared vision for the future of athletics on campus. Their collaboration and commitment to excellence have made this plan a true reflection of the University's dedication to its student-athletes and community.

## ACKNOWLEDGMENTS

### **MASTER PLAN COMMITTEE**

#### University Leadership

John Branch, Associate Vice President, Facilities Services and Campus Operations  
Bill Richardson, Director for Construction Services and Facility Management

#### Athletics

Michael McBroom, Director of Athletics  
Loree McCary, Deputy Athletics Director for Administration & SWA  
Jessica Dorsey, Senior Associate Athletics Director for External Affairs  
Jordan Berry, Senior Associate Athletics Director for Student-Athlete Services (FB)  
Lauren Stacy, Senior Associate Athletics Director of Internal Affairs  
Bryson Harris, Director of Marketing and Revenue Generation  
Kasey Fisette, Director of Sports Medicine  
Colby Carthel, Head Football Coach  
Jason Reese, Faculty Athletic Representative

### **CONSULTANT TEAM**

#### Freese and Nichols, Inc.

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Chris Rice, Campus Master Plan Senior Advisor  
Chris Sison, Campus Planner  
Connor Roberts, Campus Planner

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Michael Delaney, Civil Engineer

#### RDG Planning & Design

Tom Ohle, Project Manager  
Vishnu Priya Sai Ramesh, Programmer  
Blaine Perau, Design Architect  
Johnny Boyd, Strategy  
Quinn Lyons, Designer





## OVERVIEW

From fall 2024 through fall 2025, Stephen F. Austin State University (SFA) partnered with Freese and Nichols, Inc. (FNI) and RDG Planning & Design's (RDG) sports studio to develop a 15-year comprehensive Intercollegiate Athletics Master Plan. This study is designed to maximize opportunities to strengthen athletic programs, broaden offerings, and build on relationships that reflect the evolving needs of students, student-athletes, faculty, staff, and coaches. The planning efforts were done in coordination with FNI's Campus Master Plan.

The plan establishes a phased framework at five, 10, and 15 years, responding to current priorities while preparing the University for future growth. It evaluates the condition of existing facilities, develops a complete implementation strategy that anticipates future trends and departmental needs, and benchmarks SFA against peer institutions. Conceptual designs are proposed to create state-of-the-art facilities aligned with SFA's vision, positioning the University and its athletics program to remain competitive in an ever-changing athletics landscape.

Key proposed improvements outlined in this plan include a new fieldhouse, indoor practice facility, Football Stadium, Soccer Venue, and a dedicated Track and Field facility on North Campus as well as a new athletics operations building on South Campus supporting new Baseball and Softball facilities and a relocated

and expanded Tennis facility. The plan also recommends targeted renovations to the William R. Johnson Coliseum, the Lucille Norton Shelton Gymnasium, and the Health and Physical Education (HPE) Complex. These initiatives collectively aim to modernize infrastructure, consolidate operations, expand student-athlete support, and enhance recruitment, performance, and community engagement. While basketball, supported by the Loddie Naymola Basketball Performance Center, is considered an exception, many current facilities are no longer able to fully support meeting SFA's athletic goals.

The plan also considers strategic growth opportunities supporting team expansion and cultivating a culture of high performance and competitive excellence. By embedding revenue generation into the operations model, the University anticipates generating new, significant external revenue from campus and community use of new athletics facilities. Additional goals include achieving greater attendance at all events, introducing innovative ways to engage fans, boosters, and alumni, and leveraging athletics as a tool to enhance recruiting and student growth.

Importantly, the plan highlights the broader academic and multi-disciplinary impact of athletics at SFA. Currently, more than 700 students are directly or indirectly tied to athletics, yet this connection is not widely recognized across campus. The plan emphasizes telling this story, showcasing cross-disciplinary opportunities such as rotations

in athletic training (50 students), kinesiology courses, mass communications (with 15 student interns contributing through "teach and do" experiences), and the use of existing classroom resources. By doing so, athletics becomes an integrated platform for academic collaboration, student development, and University-wide engagement.

Together, these strategies provide SFA Athletics with a comprehensive and flexible roadmap, one that drives competitiveness, strengthens community identity, and ensures that facilities and programs evolve in alignment with student and institutional needs over the next 15 years. The plan proposes 410,000 net square feet of existing, renovation and new facilities.



## BUILDING & FACILITY INITIATIVES

### Academic

- A** Science Building
- B** Long-Term Building Site
- C** McKibben Building Renovation
- D** Boynton Music Expansion
- E** Art Building
- F** Facilities Services & Operations + Academic Building
- G** Agriculture Building Renovation
- H** Long-Term Military Science & Aviation Sciences Expansion
- I** Greenhouses
- J** Social Work Building Renovation

### Athletic/Recreation

- K** Tennis Venue
- L** South Operations Venue
- M** Baseball Venue
- N** Softball Venue
- O** Norton HPE Renovation & Addition
- P** Shelton Renovation & Addition
- Q** Student Recreation Center Renovation & Addition
- R** Recreation Support - Field Services Bldg.
- S** Loop Trail & Challenge Course
- T** Recreation Fields - Intramural & Competitive Sports
- U** Johnson Coliseum Renovation & Addition
- V** Fieldhouse Building
- W** Football Stadium
- X** Soccer Stadium
- Y** Indoor Practice
- Z** Track & Field + Practice

### Student Experience

- AA** Auditorium/Welcome Center
- BB** R.W. Steen Library Renovation
- CC** Student Housing A
- DD** Student Housing B
- EE** Student Housing C
- FF** Student Housing D

### Garages

- GG** Garage A
- HH** Garage B
- II** Garage C + University Police Facility

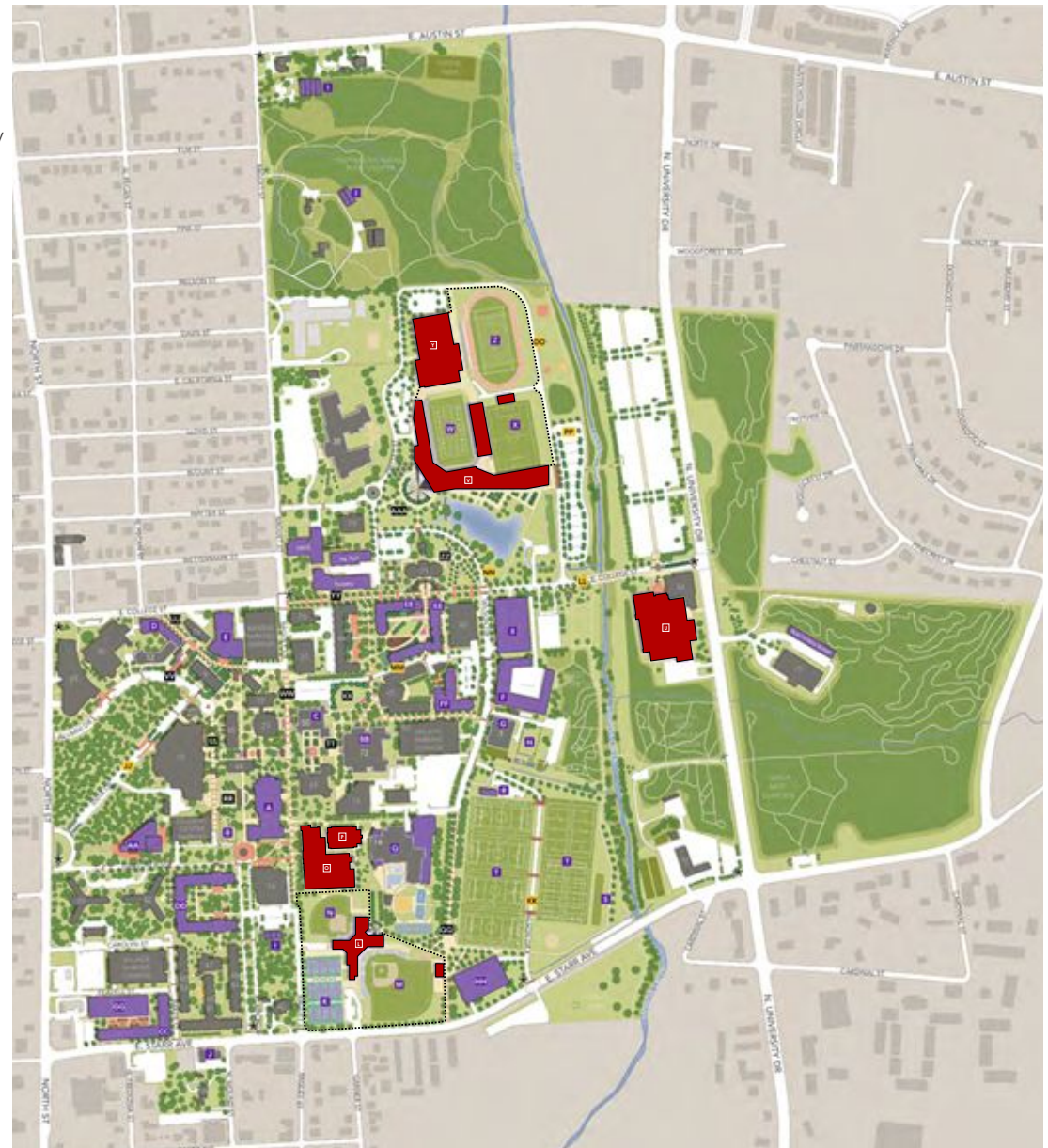
### TRANSPORTATION INITIATIVES

(areas not included in other facility initiatives)

- JJ** Vista Drive & Alumni Drive Street Modifications
- KK** Wilson Drive Realignment
- LL** College Street Modifications
- MM** McKibben/Library Access Road
- NN** North Wilson Drive Extension
- OO** Stadium Loop Drive
- PP** East Stadium Parking

### LANDSCAPE INITIATIVES

- QQ** Wilson Mall
- RR** Central Quad
- SS** Student Center Mall Enhancements
- TT** Central Mall Area
- UU** Aikman Mall
- VV** Austin Plaza
- WW** Raguet Mall Extension
- XX** Steen Open Space
- YY** College Mall
- ZZ** Steen Hall Courtyards
- AAA** Lumberjack Quad & Stadium Plaza
- ★ ★** Gateway Signage



Map 1. Proposed Athletic Scope (facilities outlined and marked in red)

Scale: N.T.S.

## VISIONING

The Intercollegiate Athletics Master Plan establishes a proactive, value-driven framework to navigate the evolving collegiate athletic landscape with focus and resilience. By empowering student-athletes and staff to thrive under pressure and fostering environments that build skills and confidence, the plan reflects the department's commitment to self-determined success. It recognizes the urgent need to modernize aging facilities, creating dynamic, high-quality spaces that not only address current limitations but also support future growth. Integrating financial sustainability into its model, the plan aims to generate significant, new annual revenue to fuel ongoing innovation and achievement.

At its core, the plan connects every aspect of the athletic experience, honoring tradition, enhancing daily interactions, and elevating both performance and engagement. By linking student-athletes, coaches, alumni, and fans through purposeful design and programming, it strengthens the bonds that define SFA's athletic community. With a vision to achieve an average attendance mark of 80% of each venue's capacity and inspire deeper involvement, the plan celebrates a culture of pride, excellence, and shared success, embodying the maximizer mindset promoted by SFA Athletics.

## OBJECTIVES

1. Replace the existing fieldhouse with a state-of-the-art athletics facility housing all core student-athlete resources, including performance, medicine, nutrition, academics, and administration.
2. Redesign the Football Stadium to create an intimate, fan-engaging venue that enhances home field advantage and supports community events.
3. Relocate the 400M track to enable future development while providing a dedicated, elevated home for Track and Field.
4. Construct an indoor turf practice facility to maximize training, practice opportunities and performance for all athletic teams, the University's marching band and recreational sports offerings.
5. Renovate Johnson Coliseum to enhance the student-athlete and fan experience with upgraded seating, amenities, accessibility, and revenue-generating features.
6. Revitalize Shelton Gym to create a new entrance, address accessibility needs and improve amenities for the volleyball team and spectators.
7. Modernize the HPE gym to improve ventilation, aesthetics, and functionality with dedicated practice space for cheer and dance.
8. Relocate the Soccer field to a more accessible, fan-friendly location outside the floodplain with appropriate amenities.
9. Expand Tennis facilities to increase court capacity and allow hosting of tournament play.
10. Return Baseball and Softball fields to campus, integrating them into the core athletic complex to unify team facilities.



## EXISTING ATHLETICS SPACE PROGRAM

SFA currently manages a diverse and decentralized athletics footprint spread across multiple facilities including Johnson Coliseum, Loddie Naymola Basketball Center, Murphy Wellness Center, Norton HPE Complex, Shelton Gym, Schlieff Tennis Complex, Sports Medicine & Academic Center, and the fieldhouse at Homer Bryce Stadium. Athletics currently occupies 180,000 net square feet.

## KEY FUNCTIONS PROVIDED

- Team offices and locker rooms across all sports.
- Academic support and student-athlete services.
- Strength and conditioning and training facilities.
- Spectator amenities including concessions, ticketing, and press boxes.
- Outdoor competition facilities for Football, Baseball, Softball, Soccer, Tennis, and Track and Field.

## CHALLENGES IDENTIFIED

- Fragmented locations across campus, leading to inefficiencies.
- Aging facilities with limited capacity for modern training, technology, and student-athlete support.
- Gaps in space for nutrition, mental health, academic programming, and consolidated strength and conditioning.



## **PROPOSED NORTH CAMPUS PROGRAM**

### **FIELDHOUSE BUILDING**

The proposed 190,000 gross square feet (GSF) building serves as a centralized hub for student-athletes, coaches, and staff, integrating athletic, academic, and administrative functions. Athletic and performance spaces include sports medicine and therapy suites with exam, hydrotherapy, recovery, and rehabilitation zones, a sports performance center with weights, cardio, and agility areas, and a training table with nutrition offices and fueling stations. Football, Soccer, and Track and Field have dedicated locker rooms, lounges, team offices, and meeting rooms, while administrative and academic support includes offices, collaboration spaces, and a hall of fame highlighting program excellence. The facility features direct connections to the stadium, Soccer Venue, integration with adjacent plazas and Ag Pond views, and landscaped outdoor spaces to foster interaction between programs and shared operations.

### **FOOTBALL STADIUM**

The stadium encompasses approximately 122,700 GSF, featuring a 76,000 SF synthetic turf field with six sports lighting poles, a scoreboard, ribbon boards, and remote filming cameras. The stadium includes a

10,440-seat U-shaped bowl in a mid-load configuration with flexible hillside seating, optimized sightlines and acoustics, alongside club, suite, and loge box seating for premium spectator experiences. Multiple entry plazas, concessions, restrooms, and ADA-accessible facilities ensure comfort and efficient circulation. Direct connectivity to the adjacent fieldhouse supports seamless team access to locker rooms and training facilities.

### **SOCCER VENUE**

At 25,700 GSF, the stadium provides a dedicated home for Soccer, featuring a full 106,000 SF competition/practice field, six light poles, a scoreboard, sound system, press box, and seating, including a 1,400-seat bowl and club/suite areas. Support amenities shared with the stadium include restrooms, a merchandise store, and visitor locker rooms located on the north side of the field. Soccer operations, including team locker rooms, meeting spaces, and other support functions, are housed in the adjacent Fieldhouse Operations Building, ensuring efficient access.

### **INDOOR PRACTICE FACILITY**

The 95,300 GSF facility provides a year-round, all-weather training environment. Designed as a shared, flexible campus resource, it features a full-size NCAA Football turf field with an 80-foot clear height for punting, long passing, and vertical drills, along with safety runoffs and multi-sport end zones. Integrated netting

and divider systems enable simultaneous use by multiple teams, with training and cardio zones positioned along the field edges for quick access during sessions. The second level includes a press box for observation and coordination, while support spaces such as restrooms, satellite training, and storage areas enhance functionality.

### **TRACK & FIELD**

The 22,900 GSF facility features a full 400-meter, eight-lane track and dedicated areas for field events. Two long jump and triple jump runways with pits and one high jump area are provided, while pole vault has two runways and boxes. Throwing events are supported with three shot put rings, two hammer/discus cages, and a javelin runway with landing area. The facility also includes sports lighting, a scoreboard, a sound/PA system, and a central field of approximately 110,000 GSF for a total of 155,000 GSF when combined with the track. Track and Field operations, including locker rooms, lounges, and support spaces are accommodated within the Fieldhouse Operations Building or Indoor Practice Facility.

### **JOHNSON COLISEUM**

The combined 114,700 GSF of renovation and addition, focuses on arena and seating bowl upgrades, including new entries, clubs, suites, box seating, drink rails, concessions, merchandise, restrooms, guest services, and



ADA improvements. An upgraded entry plaza and ADA-compliant ramp improve accessibility and the arrival experience. Golf, cheer, and dance are provided with locker rooms, satellite athletic training, game management and offices; AV and media support, and additional

spectator amenities including grab-and-go stations, restrooms, kitchen, merchandise store, and banquet hall are added.



**Figure 1.** North Campus Athletics District





Football Stadium Concourse



Soccer Field View



Football Field View





*Johnson Coliseum Suite*



*Football Stadium Entry*



*Indoor Practice Facility*





Team Auditorium



Strength & Conditioning



Fieldhouse Hall of Fame





Track & Field



Football Locker Room



Training Table

## **PROPOSED SOUTH CAMPUS PROGRAM**

### **SOUTH OPERATIONS BUILDING**

The 87,360 GSF satellite hub consolidates Baseball, Softball, and Tennis operations into a centralized facility. The southern complex includes team and visiting locker rooms, lounges, offices, meeting areas and satellite training and strength and conditioning spaces, along with venue support amenities such as club/suite areas, concessions, restrooms, and an entry plaza with decorative paving. The design accounts for foul ball territories and adjacent circulation, creating a functional, safe, and engaging environment for student-athletes and spectators.

### **BASEBALL VENUE**

The 35,500 GSF venue provides a dedicated, on-campus home for Baseball. The facility features a 130,000 SF field with a synthetic turf infield, natural grass outfield, two bullpens, backstop netting on four poles, field fencing and padding, foul poles, eight sports lighting poles, a scoreboard, sound/PA system, and a 90'x40' batter's eye. Interior batting cages with storage and supporting facilities, including dugouts, hitting and pitching areas, enhanced athlete performance and operations function out of the South Operations Building. Spectator amenities include 2,285 seats. Additional team and spectator support spaces and premium seating are also provided.

### **SOFTBALL VENUE**

At approximately 28,900 GSF, the venue provides an on-campus home for Softball. It features a 46,000 SF field with a synthetic turf infield and outfield, two bullpens, four backstop poles, field fencing and padding, foul poles, four sports lighting poles, a scoreboard, and sound/PA system. Exterior batting cages are included and shared with visitors when using the indoor facility. The venue offers 1,370 spectator seats, with additional amenities such as entry plazas, concessions and restrooms. Additional team and spectator support spaces and premium seating are housed in the South Operations Building.

### **TENNIS VENUE**

The 6,350 GSF complex will be relocated to the west of the existing courts and feature 12 lighted courts, a central scoreboard, lighting, and seating for 205 spectators along with accessible seating areas to support larger tournaments. The courts will function with the South Operations Building to provide an opportunity to expand and modernize team locker rooms and student-athlete spaces, creating a cohesive and high-performance environment that better supports athletes and competition needs. Spectator amenities and team support functions will be integrated within the facility, establishing a unified and efficient hub for both athletes and visitors during practice and competitions.

### **SHELTON RENOVATION & ADDITION**

Shelton will become a dedicated home for the volleyball program, featuring 38,800 GSF of existing space and renovation and 2,000 SF addition. It preserves the facility's legacy while introducing modern functionality through a new entry, elevator, and improved spectator circulation. Key upgrades include renovated locker rooms for players and coaches, a team lounge, film room, expanded storage, and an enhanced athletic training area with ADA upgrades. Updated seating, lighting, graphics, and AV systems elevate the arena experience, while a second-floor suite with concessions and an elevator ensures universal accessibility.

### **NORTON HPE COMPLEX**

The HPE facility renovation includes a new east entry near the existing staircase, improving access and circulation. Recreation upgrades feature an enhanced fitness center with a powerlifting zone, expanded group and yoga studios, a new spin studio, multipurpose studios, and renovated locker rooms. Athletics improvements include new locker rooms for visiting athletes and coaches who are competing in Shelton and on the south athletics field/courts. Academic upgrades focus on revitalizing kinesiology spaces. The gym and pool will also be upgraded to address acoustical issues, and gym spaces will be upgraded to better support the cheer and dance programs.





**Figure 2.** South Campus Athletics District





*Tennis Terrace*



*South Operations Building Hall of Fame*



*South Campus Athletics District*





Baseball Locker Room



South Operations Drop Off

# SCHEDULE

The Intercollegiate Athletics Master Plan establishes a comprehensive 15-year phased implementation strategy organized into three distinct timeframes: 0-5 years, 6-10 years, and 11-15 years. This deliberate planning provides critical time for the University to secure funding and all needed considerations prior to proceeding on proposed work. The

durations outline magnitude windows of time to design and construct the desired capital improvements. The periods for planning, design/production, and construction were developed and prioritized by the planning team in collaboration with University leadership and reflect current 2025 average time requirements on similar projects.

INTERCOLLEGIATE ATHLETICS MASTER PLAN IMPLEMENTATION SCHEDULE

| Facilities   | SHORT-TERM |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    | MID-TERM |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
|--|------------|----|----|----|------|----|----|----|------|----|----|----|------|----|----|----|------|----|----|----|----------|----|----|----|------|----|----|----|------|----|----|----|------|----|----|----|
|  | 2026       |    |    |    | 2027 |    |    |    | 2028 |    |    |    | 2029 |    |    |    | 2030 |    |    |    | 2031     |    |    |    | 2032 |    |    |    | 2033 |    |    |    | 2034 |    |    |    |
|  | 1Q         | 2Q | 3Q | 4Q | 1Q   | 2Q | 3Q | 4Q | 1Q   | 2Q | 3Q | 4Q | 1Q   | 2Q | 3Q | 4Q | 1Q   | 2Q | 3Q | 4Q | 1Q       | 2Q | 3Q | 4Q | 1Q   | 2Q | 3Q | 4Q | 1Q   | 2Q | 3Q | 4Q | 1Q   | 2Q | 3Q | 4Q |
| Fieldhouse   |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |          |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Baseball & Softball Parks with Operations & Locker Rooms     |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |          |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Football Stadium   |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |          |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Soccer Venue with Operations & Locker Rooms                  |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |          |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Modernize Johnson Coliseum                                   |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |          |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Track & Field Venue with Operations & Locker Rooms           |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |          |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Modernize Shelton Gym with Operations, Coaches, Locker Rooms |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |          |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Relocated Tennis Venue                                       |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |          |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Norton HPE Complex   |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |          |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Indoor Practice / Turf Facility                              |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |          |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |

Note: Projects can slide within phase window



COLOR LEGEND

#### Planning

 Design & Production

 Construction

[illegible]







# VISIONING

# VISIONING

## MISSION

The Intercollegiate Athletics Master Plan for Stephen F. Austin State University will put the Athletics Department and the institution in a position of strength to negotiate the ever-changing world of athletics. We will create options to realize sustained success no matter the path in the future. Our core building objectives will be to develop state-of-the-art facilities focused on high performance that promote recruiting and retaining exceptional student-athletes, coaches, and staff while making our operations more efficient. We will impact change to elevate and support the profile of SFA in the East Texas region and across the nation. Our role in the Nacogdoches community will be strengthened as a partner for economic growth, building and creating revenue-generating events. As leaders, we will empower students on and off the court or field to succeed on campus and in their future lives. We will leverage and maximize our technology to set us apart from our peers. The plan will drive our own achievements, create a culture of winning, and build a legacy for all Jacks!

## GOALS

1. **Tactical:** Meet and be prepared with a focused, committed approach for each turn or twist in the collegiate athletic environment. Establish the core tenets to drive value-based decisions. Echo the resilient spirit of SFA student-athletes and staff. Build up student-athletes to withstand the pressures of balancing athletics and collegiate life. Create learning environments to hone everyone's skills. The plan will reflect the strength of the department to create its own success.
2. **Force:** Now is the time to address the pressing need for enhanced facilities to support the Athletic Department's mission. Nearly all existing buildings and resources have reached their maximum age, capacity, and/or functionality. To overcome current challenges, it is essential to create new high-quality (jaw-dropping) spaces and environments that address deficiencies, provide flexible areas for future renovations, and lay the foundation for sustained success and growth. Incorporate revenue streams into the operations model to generate additional annual revenue.
3. **Link:** Each moment a student-athlete, coach, or benefactor spends on campus is an opportunity to impact their lives 365 days a year. The plan will link together the rich history of the programs, team-building opportunities, player learning moments, and internal/external operations along the paths of a user's experience in the facilities.
4. **Advancement:** Athletic departments face greater competition to recruit and retain student-athletes, coaches, and staff, and the study must take advantage of every opportunity to promote and showcase SFA. The goal is to have 80% attendance at all events. We must find new and innovative ways to engage fans, boosters and alumni.
5. **Culture:** The Athletic Department is committed to fostering a purpose-driven environment that enriches the lives of student-athletes, coaches, staff, and the broader community. By cultivating a shared vision and sense of pride, we inspire collective belief and dedication to the University's success. "We are maximizers!" Planning solutions must be designed to enhance and strengthen these vital connections, ensuring they remain a cornerstone of our culture and mission.







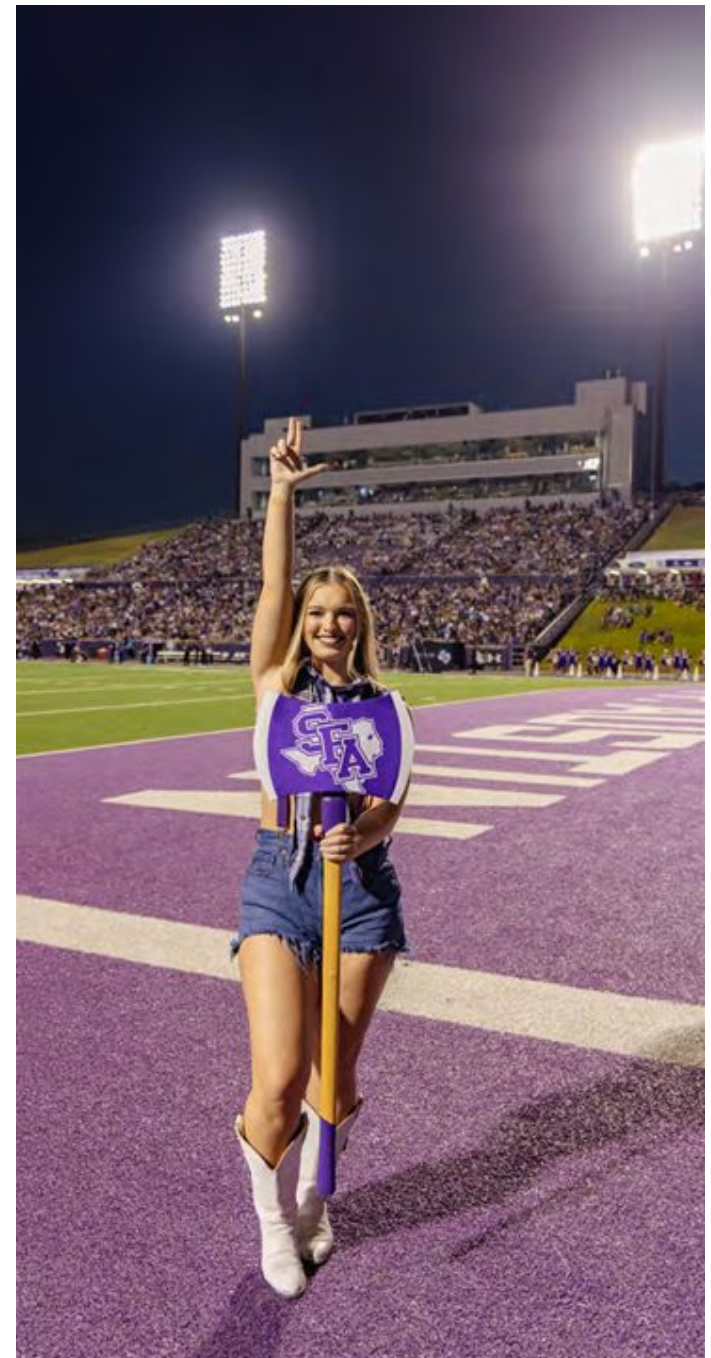


## OBJECTIVES

1. **Core Student-athlete Spaces:** Replace the current fieldhouse and aggregate several other additional athletics resources to create a state-of-the-art home for the athletic department. Space will be provided for locker rooms contingent on location of practice and performance spaces, a team meeting room, sports performance, sports medicine, a nutrition/training table, academics, coaches' offices, administration, and storage.
2. **Football Stadium:** Once the track is relocated, the stadium can be addressed to create a right-sized, intimate, and impactful Football and spectator venue. Bringing the fans closer to the field will build engagement and promote the home field advantage SFA seeks to foster. As a facility used for community games, this will support those revenue-generating opportunities.
3. **Track and Field:** Strategically relocate the existing 400M facility to set the stage for the fieldhouse and stadium projects while elevating Track and Field by creating a home for these teams.
4. **Indoor Practice Facility:** Constructing an indoor turf practice facility has the potential to impact the most student-athletes and will allow all teams to increase their sports performance and practice offerings.
5. **Johnson Coliseum:** Build on the success of the Loddie Naymola Basketball Performance Facility by renovating the Coliseum to maximize the student-athlete and spectator experience. Improvements will include upgrades to the arena and seating bowl, new entries, premium clubs and boxes, enhanced concessions and merchandise, drink rails, restrooms, guest services, and full ADA compliance, while also creating new revenue opportunities.
6. **Shelton Gym:** As the historic home of the volleyball team, the facility will be revitalized to meet spectator needs addressing ADA and accessibility challenges and increasing amenities for the team.
7. **HPE:** Modernize the existing gym to enhance ventilation and aesthetics. Provide dedicated space to support cheer and dance practices, along with additional storage for improved accessibility and functionality.



8. **Soccer:** Located within a current floodplain, without fan amenities and remotely inaccessible to fans, the current field and seating need to be relocated to a more conducive location.
9. **Tennis:** Increased court space is needed to afford the ability to host tournament play.
10. **Baseball and Softball:** Bring the two fields and support facilities back to campus to be knitted into the core athletic complex. This will create homes for teams that are currently remotely located.









# BACKGROUND CONTEXT

# BACKGROUND CONTEXT

## NACOGDOCHES, TX REGIONAL DATA

### POPULATION & DEMOGRAPHICS

Nacogdoches, the oldest town in Texas, has a population of approximately 32,250 residents (U.S. Census, 2023). When combined with the student enrollment of 11,327 at Stephen F. Austin State University (SFA), the population base often exceeds 43,000 people during the academic year. The city covers roughly 25.3 square miles, giving it a population density of about 1,270 residents per square mile. The racial composition is 53% White, 28% African American, 16% Hispanic or Latino, 2% Asian, and 1% other groups. The median age of 24.5 years reflects the strong influence of the University population, with nearly 40% of residents aged 18–24, compared to just 9% statewide.

### ECONOMY & EMPLOYMENT

SFA is the largest employer, supporting over 1,500 full-time faculty and staff positions, and indirectly sustaining thousands of service sector jobs. Median household income in Nacogdoches is approximately \$38,500, significantly lower than the Texas state median of \$72,000, which highlights both affordability and economic challenges. The unemployment rate in the area averages 5.1%, slightly above the Texas average of 4.3%. Employment sectors include education (25%), healthcare and social services (18%), retail trade (15%), and manufacturing/forestry (10%). Agriculture, forestry, and poultry processing remain regional anchors, with Nacogdoches County producing over \$100 million annually in poultry and timber products.

### GEOGRAPHY & ENVIRONMENT

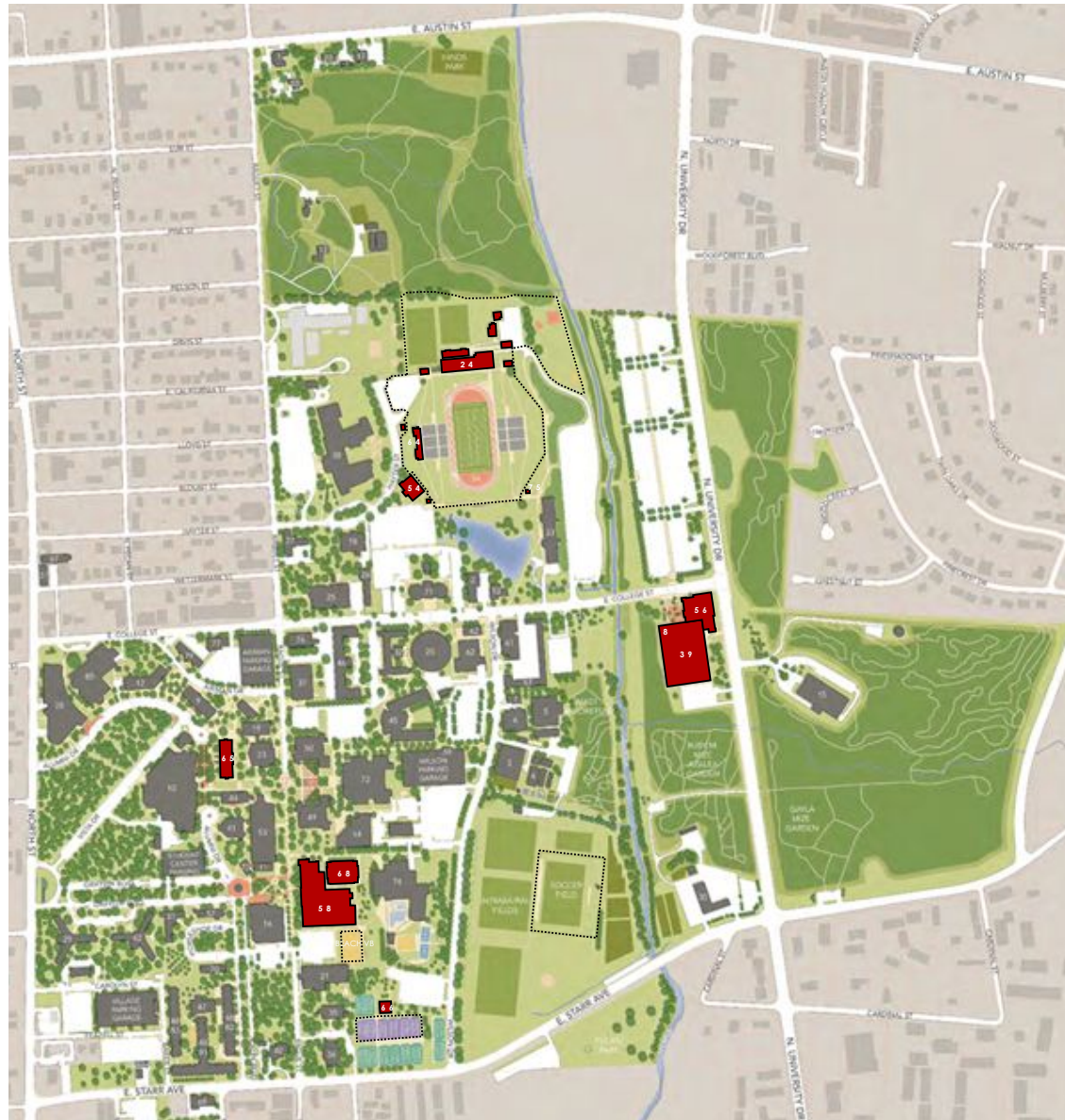
Nacogdoches sits at an elevation of 344 feet above sea level within the Piney Woods ecoregion of East Texas. The area experiences a humid subtropical climate, with average annual rainfall of 47 inches, creating lush vegetation and year-round greenery. The city is surrounded by 67,000 acres of national forest (Angelina, Davy Crockett, and Sabine), as well as Lake Nacogdoches (2,200 acres) and nearby Sam Rayburn Reservoir (114,500 acres), the largest body of water in Texas. These natural features support outdoor recreation, fishing, hiking, and water-based sports that complement SFA's Outdoor Pursuits and Environmental Sciences programs.

Nacogdoches balances its identity as a historic town with its role as a University city. Nearly one in four residents is directly affiliated with SFA, making the institution the cultural and economic centerpiece of the region. The city also maintains historic character through over 30 structures listed on the National Register of Historic Places and a downtown that attracts more than 100,000 visitors annually for festivals and cultural events. While student enrollment provides vibrancy, it also creates cyclical challenges during summer months when the population declines significantly, reducing demand for housing and retail services. This dual identity shapes both community development strategies and recreational planning.





- 1 Advancement Annex
- 2 Agricultural Mechanics Shop
- 3 Agriculture Building
- 4 Agriculture Greenhouse
- 5 Art Building
- 6 Art Studio
- 7 Art Studio Annex
- 8 Athletics Ticket Office
- 9 Austin Building
- 10 Baker Pattillo Student Center
- 11 Biology Greenhouse
- 12 Boynton Building
- 13 Brundrett Conservation Education Building
- 14 Bush Mathematical Sciences Building
- Central Stores and Receiving, Housing Operations
- 15 Cole STEM Building
- 17 Construction Management
- 18 Culinary Cafe
- 19 Dugas Liberal Arts North
- 20 Eatery on East
- 21 Education Annex
- 22 Environmental Health, Safety and Risk Management
- 23 Ferguson Building
- 24 Fieldhouse
- 25 Forestry Building
- 26 Forestry Greenhouse
- 27 Forestry Laboratories
- 28 Griffith Fine Arts Building
- 29 Griffith Hall
- 30 Grounds and Transportation
- 31 Hall 10
- 32 Hall 14
- 33 Hall 20
- 34 Homer Bryce Stadium
- 35 Human Sciences Building North
- 36 Human Sciences Building South
- 37 Human Services Building
- 38 Janice A. Pattillo Early Childhood Research Center
- 39 Johnson Coliseum
- 40 Juanita Curry Boynton House/President's House



- 41 Kennedy Auditorium
- 42 Kerr Hall
- 43 Kingham Children's Garden
- 44 Lehmann Chemistry Building
- 45 Lumberjack Landing
- 46 Lumberjack Lodge
- 47 Lumberjack Village Community Building
- 48 Lumberjack Village (Buildings 1, 2, 3 and 4)
- 49 McGee Business Building
- 50 McKibben Education Building
- 51 McKinney Fine Arts Annex
- 52 Military Science Building
- 53 Miller Science Building
- 54 Murphy Wellness Center
- 55 Music Prep House
- 56 Naymola Basketball Performance Center
- 57 North Hall
- 58 Norton HPE Complex
- 59 Parking Services
- 60 Pearman Alumni Center
- 61 Physical Plant
- 62 Pineywoods Dining Hall
- 63 The Plantery
- 64 Press Box
- 65 Rusk Building
- 66 Schlieff Tennis Complex
- 67 SFA Theatre Scene Shop
- 68 Shelton Gym
- 69 Social Work Building
- 70 South Hall
- 71 Steen Hall
- 72 Steen Library
- 73 Stone Fort Museum
- 74 Student Recreation Center
- 75 Ticket Booth
- 76 Tucker Building/Health and Wellness Hub
- 77 University Police Department
- 78 Wildlife Habitat and Silviculture Laboratory
- 79 Wisely Hall
- 80 Wright Music Building

**Map 2.** Existing Intercollegiate Athletics Facilities Map (facilities outlined and marked in red)

Scale: N.T.S.



# ATHLETICS FACILITIES & ASSETS

SFA’s athletics footprint includes but is not limited to (see Appendix C for more information about each):

- Homer Bryce Stadium and Fieldhouse (Football and track)
- Sports Medicine & Academic Center
- Jimmy W. Murphy Wellness Center
- William R. Johnson Coliseum (basketball)
- Loddie Naymola Basketball Performance Center
- Robert H. Shelton Gymnasium (volleyball) (shared with other uses)
- Lucille Norton Health & Physical Education (HPE) Complex (shared with other uses)
- Jaycees Field (Baseball) - located off campus
- SFA Softball Field - located off campus
- SFA Soccer Field
- Schlieff Tennis Complex

Recent facility investments (e.g., Loddie Naymola Center in 2021, Track and Field and turf upgrades, video boards) illustrate an institutional emphasis on improving athlete facilities and the fan experience.

SFA Athletics currently operates with aging and dispersed facilities. The fieldhouse is

not adequately supporting the north campus teams. The Soccer Venue is in a floodplain. Baseball and Softball are located off-campus. This creates gaps in training, technology, nutrition, accessibility, and spectator engagement, revenue and student-athlete success. A unified, modernized athletic infrastructure is needed to improve athletic performance, elevate the fan experience, and strengthen long-term financial sustainability. The University’s athletic teams, known as the Lumberjacks (men) and Ladyjacks (women), compete in NCAA Division I as members of various conferences, competing in the Southland Conference as of the 2024 season.

| ACADEMIC YEAR 2024-25 |               |       |
|-----------------------|---------------|-------|
| SPORT                 | PARTICIPATION |       |
|                       | Men           | Women |
| Baseball              | 55            | N/A   |
| Basketball            | 15            | 11    |
| Beach VB              | N/A           | 23    |
| Bowling               | N/A           | 11    |
| Football              | 137           | N/A   |
| Golf                  | 12            | 8     |
| Soccer                | N/A           | 27    |
| Softball              | N/A           | 26    |
| Tennis                | N/A           | 8     |
| Track-CC              | 16            | 11    |
| Track-Indoor          | 55            | 45    |
| Track-Outdoor         | 55            | 45    |
| Volleyball            | N/A           | 16    |
| TOTALS                | 345           | 231   |

# ATHLETICS PROGRAMS

## Men’s Sports Programs

- Football
- Basketball
- Baseball
- Track and Field
- Cross Country
- Golf

## Women’s Sports Programs

- Basketball
- Beach Volleyball
- Bowling
- Softball
- Soccer
- Track and Field
- Cross Country
- Tennis
- Golf
- Volleyball

## Coed/Mixed Programs

- Cheerleading
- Dance

## EXISTING ATHLETICS SPACE SUMMARY

|                                  | Johnson Coliseum | Loddie Naymola Basketball Center | Murphy Wellness Center | Norton HPE Complex | Outdoor Fields | Stadium Press Box & Ticket Booths | Rusk Building | Schlieff Tennis Complex | Shelton Gym  | Sports Medicine & Academic Center | Fieldhouse |
|----------------------------------|------------------|----------------------------------|------------------------|--------------------|----------------|-----------------------------------|---------------|-------------------------|--------------|-----------------------------------|------------|
| <b>Building Function / Space</b> |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| <b>Gross Square Footage</b>      | 93,214 SF        | 49,654 SF                        | 9,146 SF               | 133,350 SF         | N/A            | 15,949 SF                         | 42,332 SF     | 2,200 SF                | 38,820 SF    | 5,234 SF                          | 26,015 SF  |
| <b>1.00 Circulation</b>          | 22,341 SF        | 5,497 SF                         | 138 SF                 | 12,253 SF          | 0 SF           | 2,508 SF                          | 0 SF          | 0 SF                    | 3,780 SF     | 61 SF                             | 3,427 SF   |
| Circulation                      | 22,050 SF        | 4,575 SF                         | 138 SF                 | 10,709 SF          |                | 1,045 SF                          |               |                         | 3,780 SF     | 61 SF                             | 2,977 SF   |
| Vertical Circulation             | 291 SF           | 922 SF                           |                        | 1,544 SF           |                | 1,463 SF                          |               |                         | Incl'd above |                                   | 450 SF     |
| <b>2.00 Public Space</b>         | 3,146 SF         | 578 SF                           | 738 SF                 | 803 SF             | 0 SF           | 2,891 SF                          | 0 SF          | 48 SF                   | 418 SF       | 0 SF                              | 1,055 SF   |
| Lobby                            |                  | 481 SF                           | 150 SF                 |                    |                |                                   |               |                         |              |                                   | 907 SF     |
| Public Restroom(s)               | 3,146 SF         | 97 SF                            | 588 SF                 |                    |                | 2,891 SF                          |               | 48 SF                   | 418 SF       |                                   | 148 SF     |
| <b>3.00 Athletics</b>            | 65,044 SF        | 28,999 SF                        | 7,432 SF               | 8,751 SF           | 8,124 SF       | 11,149 SF                         | 5,598 SF      | 1,961 SF                | 16,940 SF    | 4,312 SF                          | 19,805 SF  |
| <b>3.01 Team Offices</b>         | 3,068 SF         | 2,933 SF                         | 0 SF                   | 0 SF               | 0 SF           | 0 SF                              | 0 SF          | 225 SF                  | 297 SF       | 68 SF                             | 5,300 SF   |
| Baseball                         |                  |                                  |                        |                    | Incl'd Below   |                                   |               |                         |              |                                   |            |
| Men's Basketball                 |                  | 1,354 SF                         |                        |                    |                |                                   |               |                         |              |                                   |            |
| Women's Basketball               |                  | 1,328 SF                         |                        |                    |                |                                   |               |                         |              |                                   |            |
| Beach Volleyball                 |                  |                                  |                        |                    |                |                                   |               |                         | 297 SF       |                                   |            |
| Bowling                          |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   | 187 SF     |
| Cheer                            | 573 SF           |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| Men's & Women's Cross Country    |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| Dance                            |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| Football                         |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   | 4,011 SF   |
| Golf                             |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| Women's Soccer                   | 1,119 SF         |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| Softball                         |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| Women's Tennis                   |                  |                                  |                        |                    |                |                                   |               | 225 SF                  |              |                                   |            |
| Men's & Women's Track & Field    |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   | 994 SF     |
| Volleyball                       | 1,376 SF         | 251 SF                           |                        |                    |                |                                   |               |                         |              |                                   |            |
| Office Restroom(s)               |                  |                                  |                        |                    |                |                                   |               |                         |              | 68 SF                             | 108 SF     |
| <b>3.02 Staff Offices</b>        | 1,879 SF         | 240 SF                           | 493 SF                 | 0 SF               | 0 SF           | 0 SF                              | 5,598 SF      | 0 SF                    | 506 SF       | 786 SF                            | 494 SF     |
| Executive Office(s)              |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| Administration                   |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| Academic                         |                  |                                  |                        |                    |                |                                   |               |                         |              | 314 SF                            |            |
| Compliance                       |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| Development & Ticketing          |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| External Engagement              |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| Facilities Operations            |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| Sports Medicine                  |                  | 240 SF                           |                        |                    |                |                                   |               |                         | 209 SF       | 472 SF                            |            |
| Sports Performance               |                  |                                  | 305 SF                 |                    |                |                                   |               |                         |              |                                   |            |
| Sports Properties                | 1,879 SF         |                                  | 188 SF                 |                    |                |                                   |               |                         | 297 SF       |                                   | 247 SF     |
| Office Restroom(s)               |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| <b>3.03 Team Locker Rooms</b>    | 3,953 SF         | 6,061 SF                         | 0 SF                   | 2,625 SF           | 5,628 SF       | 0 SF                              | 0 SF          | 1,324 SF                | 1,191 SF     | 0 SF                              | 5,484 SF   |
| Baseball Locker Room             |                  |                                  |                        |                    | 4,000 SF       |                                   |               |                         |              |                                   |            |
| Men's Basketball Locker Room     |                  | 2,947 SF                         |                        |                    |                |                                   |               |                         |              |                                   |            |
| Women's Basketball Locker Room   |                  | 3,016 SF                         |                        |                    |                |                                   |               |                         |              |                                   |            |
| Beach Volleyball Locker Room     |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| Men's Bowling Locker Room        |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |
| Women's Bowling Locker Room      |                  |                                  |                        |                    |                |                                   |               |                         |              |                                   |            |



| Building Function / Space                   | Johnson Coliseum | Loddie Naymola Basketball Center | Murphy Wellness Center | Norton HPE Complex | Outdoor Fields | Stadium Press Box & Ticket Booths | Rusk Building | Schlieff Tennis Complex | Shelton Gym   | Sports Medicine & Academic Center | Fieldhouse      |
|---|------------------|----------------------------------|------------------------|--------------------|----------------|-----------------------------------|---------------|-------------------------|---------------|-----------------------------------|-----------------|
| Gross Square Footage                        | 93,214 SF        | 49,654 SF                        | 9,146 SF               | 133,350 SF         | N/A            | 15,949 SF                         | 42,332 SF     | 2,200 SF                | 38,820 SF     | 5,234 SF                          | 26,015 SF       |
| Men's Cheer & Dance Locker Room             | 876 SF           |                                  |                        |                    |                |                                   |               |                         |               |                                   |                 |
| Women's Cheer & Dance Locker Room           | 932 SF           |                                  |                        |                    |                |                                   |               |                         |               |                                   |                 |
| Football Locker Room                        |                  |                                  |                        |                    |                |                                   |               |                         |               |                                   | 2,823 SF        |
| Men's Golf Locker Room                      |                  |                                  |                        |                    |                |                                   |               |                         |               |                                   |                 |
| Women's Golf Locker Room                    |                  |                                  |                        |                    |                |                                   |               |                         |               |                                   |                 |
| Softball Locker Room                        |                  |                                  |                        |                    | 1,628 SF       |                                   |               |                         |               |                                   |                 |
| Women's Soccer Locker Room                  | 1,645 SF         |                                  |                        |                    |                |                                   |               |                         |               |                                   |                 |
| Women's Tennis Locker Room                  |                  |                                  |                        |                    |                |                                   |               | 862 SF                  |               |                                   |                 |
| Women's T&F / CC Locker Room                |                  |                                  |                        |                    |                |                                   |               |                         |               |                                   | 1,344 SF        |
| Men's T&F / CC Locker Room                  |                  |                                  |                        |                    |                |                                   |               |                         |               |                                   | 1,317 SF        |
| Volleyball Locker Room                      |                  |                                  |                        |                    |                |                                   |               |                         | 1,191 SF      |                                   |                 |
| Team Managers Locker Room                   |                  | 98 SF                            |                        |                    |                |                                   |               |                         |               |                                   |                 |
| Visiting Team Locker Room                   | 500 SF           |                                  |                        | 2,625 SF           |                |                                   |               | 462 SF                  |               |                                   |                 |
| Officials Locker Room                       |                  |                                  |                        |                    |                |                                   |               |                         |               |                                   |                 |
| <b>3.04 Coaches &amp; Staff Locker Room</b> | <b>301 SF</b>    | <b>858 SF</b>                    | <b>194 SF</b>          | <b>0 SF</b>        | <b>0 SF</b>    | <b>0 SF</b>                       | <b>0 SF</b>   | <b>0 SF</b>             | <b>0 SF</b>   | <b>0 SF</b>                       | <b>398 SF</b>   |
| Men's Coaches Locker Room                   | 162 SF           | 858 SF                           |                        |                    |                |                                   |               |                         |               |                                   | 241 SF          |
| Women's Coaches Locker Room                 | 139 SF           |                                  |                        |                    |                |                                   |               |                         |               |                                   | 157 SF          |
| Men's Staff                                 |                  |                                  | 96 SF                  |                    |                |                                   |               |                         |               |                                   |                 |
| Women's Staff                               |                  |                                  | 98 SF                  |                    |                |                                   |               |                         |               |                                   |                 |
| <b>3.05 Student-Athlete Support</b>         | <b>373 SF</b>    | <b>489 SF</b>                    | <b>0 SF</b>            | <b>0 SF</b>        | <b>0 SF</b>    | <b>0 SF</b>                       | <b>0 SF</b>   | <b>412 SF</b>           | <b>0 SF</b>   | <b>1,053 SF</b>                   | <b>6,025 SF</b> |
| Academic Room                               | 373 SF           |                                  |                        |                    |                |                                   |               |                         |               | 1,053 SF                          |                 |
| Team / Meeting Room(s)                      |                  |                                  |                        |                    |                |                                   |               |                         |               |                                   | 3,428 SF        |
| Nutrition                                   |                  |                                  |                        |                    |                |                                   |               | 68 SF                   |               |                                   | 299 SF          |
| Athletic General Storage                    |                  |                                  |                        |                    |                |                                   |               | 184 SF                  |               |                                   | 450 SF          |
| Equipment Storage                           |                  |                                  |                        |                    |                |                                   |               |                         |               |                                   |                 |
| Laundry                                     |                  | 200 SF                           |                        |                    |                |                                   |               |                         |               |                                   | 208 SF          |
| Volleyball Storage                          |                  |                                  |                        |                    |                |                                   |               |                         |               |                                   |                 |
| Women's Basketball Storage                  |                  | 144 SF                           |                        |                    |                |                                   |               |                         |               |                                   |                 |
| Men's Basketball Storage                    |                  | 145 SF                           |                        |                    |                |                                   |               |                         |               |                                   |                 |
| Wet Therapy Pool Storage                    |                  |                                  |                        |                    |                |                                   |               |                         |               |                                   |                 |
| Football Storage                            |                  |                                  |                        |                    |                |                                   |               |                         |               |                                   | 1,640 SF        |
| Baseball Storage                            |                  |                                  |                        |                    |                |                                   |               |                         |               |                                   |                 |
| Softball Storage                            |                  |                                  |                        |                    |                |                                   |               |                         |               |                                   |                 |
| Tennis Storage                              |                  |                                  |                        |                    |                |                                   |               | 160 SF                  |               |                                   |                 |
| <b>3.06 Training / Performance</b>          | <b>0 SF</b>      | <b>6,373 SF</b>                  | <b>6,745 SF</b>        | <b>0 SF</b>        | <b>0 SF</b>    | <b>0 SF</b>                       | <b>0 SF</b>   | <b>0 SF</b>             | <b>583 SF</b> | <b>2,405 SF</b>                   | <b>0 SF</b>     |
| Strength & Conditioning                     |                  | 2,722 SF                         | 6,549 SF               |                    |                |                                   |               |                         |               |                                   |                 |
| S&C Storage                                 |                  | 64 SF                            | 196 SF                 |                    |                |                                   |               |                         |               |                                   |                 |
| Training Room                               |                  | 2,221 SF                         |                        |                    |                |                                   |               |                         | 138 SF        |                                   |                 |
| Treatment                                   |                  | 199 SF                           |                        |                    |                |                                   |               |                         | 373 SF        | 1,662 SF                          |                 |
| Drug Testing                                |                  | 76 SF                            |                        |                    |                |                                   |               |                         |               |                                   |                 |
| Hydrotherapy                                |                  | 766 SF                           |                        |                    |                |                                   |               |                         |               | 251 SF                            |                 |
| Consultation / Exam Room                    |                  | 103 SF                           |                        |                    |                |                                   |               |                         |               | 230 SF                            |                 |
| Restroom                                    |                  | 62 SF                            |                        |                    |                |                                   |               |                         |               | 40 SF                             |                 |

## EXISTING ATHLETICS SPACE SUMMARY - CONTINUED

|   | Johnson Coliseum | Loddie Naymola Basketball Center | Murphy Wellness Center | Norton HPE Complex | Outdoor Fields    | Stadium Press Box & Ticket Booths | Rusk Building    | Schlieff Tennis Complex | Shelton Gym      | Sports Medicine & Academic Center | Fieldhouse        |
|---|------------------|----------------------------------|------------------------|--------------------|-------------------|-----------------------------------|------------------|-------------------------|------------------|-----------------------------------|-------------------|
| <b>Building Function / Space</b>          |                  |                                  |                        |                    |                   |                                   |                  |                         |                  |                                   |                   |
| <b>Gross Square Footage</b>               | <b>93,214 SF</b> | <b>49,654 SF</b>                 | <b>9,146 SF</b>        | <b>133,350 SF</b>  | <b>N/A</b>        | <b>15,949 SF</b>                  | <b>42,332 SF</b> | <b>2,200 SF</b>         | <b>38,820 SF</b> | <b>5,234 SF</b>                   | <b>26,015 SF</b>  |
| Training Storage                          |                  | 160 SF                           |                        |                    |                   |                                   |                  |                         | 72 SF            | 222 SF                            |                   |
| <b>3.07 Indoor Practice Field / Court</b> | <b>2,284 SF</b>  | <b>12,045 SF</b>                 | <b>0 SF</b>            | <b>6,126 SF</b>    | <b>0 SF</b>       | <b>0 SF</b>                       | <b>0 SF</b>      | <b>0 SF</b>             | <b>0 SF</b>      | <b>0 SF</b>                       | <b>0 SF</b>       |
| Courts                                    |                  | 12,045 SF                        |                        |                    |                   |                                   |                  |                         |                  |                                   |                   |
| Golf                                      | 2,284 SF         |                                  |                        |                    |                   |                                   |                  |                         |                  |                                   |                   |
| Baseball / Softball Batting Cages         |                  |                                  |                        |                    | Incl'd Above      |                                   |                  |                         |                  |                                   |                   |
| Cheer / Dance                             |                  |                                  |                        | 6,126 SF           |                   |                                   |                  |                         |                  |                                   |                   |
| Storage                                   |                  | 317 SF                           |                        | 607 SF             |                   |                                   |                  |                         |                  |                                   |                   |
| <b>3.08 Spectator Support</b>             | <b>42,543 SF</b> | <b>0 SF</b>                      | <b>0 SF</b>            | <b>0 SF</b>        | <b>1,200 SF</b>   | <b>386 SF</b>                     | <b>0 SF</b>      | <b>0 SF</b>             | <b>3,175 SF</b>  | <b>0 SF</b>                       | <b>2,000 SF</b>   |
| Ticketing                                 | 120 SF           |                                  |                        |                    |                   | 386 SF                            |                  |                         | 283 SF           |                                   |                   |
| Seating / Bleachers                       | 41,922 SF        |                                  |                        |                    |                   |                                   |                  |                         | 2,892 SF         |                                   |                   |
| Concessions                               | 501 SF           |                                  |                        |                    | 1,200 SF          |                                   |                  |                         |                  |                                   | 2,000 SF          |
| Concessions Storage                       |                  |                                  |                        |                    |                   |                                   |                  |                         |                  |                                   |                   |
| Merchandise                               |                  |                                  |                        |                    |                   |                                   |                  |                         |                  |                                   |                   |
| <b>3.09 Venue Support</b>                 | <b>10,643 SF</b> | <b>0 SF</b>                      | <b>0 SF</b>            |                    | <b>1,296 SF</b>   | <b>10,763 SF</b>                  | <b>0 SF</b>      | <b>0 SF</b>             | <b>11,188 SF</b> | <b>0 SF</b>                       | <b>104 SF</b>     |
| Court/Field                               | 6,634 SF         |                                  |                        |                    |                   |                                   |                  |                         | 10,576 SF        |                                   | 0 SF              |
| Press Box                                 | 1,131 SF         |                                  |                        |                    | 1,296 SF          | 10,320 SF                         |                  |                         | 0 SF             |                                   |                   |
| Venue Storage                             | 2,878 SF         |                                  |                        |                    |                   | 443 SF                            |                  |                         | 612 SF           |                                   | 104 SF            |
| <b>4.00 Recreation</b>                    | <b>0 SF</b>      | <b>0 SF</b>                      | <b>0 SF</b>            | <b>24,525 SF</b>   |                   | <b>0 SF</b>                       | <b>0 SF</b>      | <b>0 SF</b>             | <b>376 SF</b>    | <b>0 SF</b>                       | <b>0 SF</b>       |
| <b>5.00 Academic</b>                      | <b>0 SF</b>      | <b>0 SF</b>                      | <b>0 SF</b>            | <b>38,758 SF</b>   |                   | <b>0 SF</b>                       | <b>0 SF</b>      | <b>0 SF</b>             | <b>3,741 SF</b>  | <b>212 SF</b>                     | <b>1,043 SF</b>   |
| <b>6.00 Utilities</b>                     | <b>1,947 SF</b>  | <b>1,161 SF</b>                  | <b>356 SF</b>          | <b>5,183 SF</b>    |                   | <b>416 SF</b>                     | <b>0 SF</b>      | <b>155 SF</b>           | <b>1,626 SF</b>  | <b>212 SF</b>                     | <b>1,043 SF</b>   |
| <b>7.00 Building Support Spaces</b>       | <b>1,719 SF</b>  | <b>140 SF</b>                    | <b>0 SF</b>            | <b>13,307 SF</b>   |                   | <b>0 SF</b>                       | <b>0 SF</b>      | <b>0 SF</b>             | <b>0 SF</b>      | <b>0 SF</b>                       | <b>0 SF</b>       |
| <b>Net Athletic Space</b>                 | <b>65,044 SF</b> | <b>28,999 SF</b>                 | <b>7,432 SF</b>        | <b>8,751 SF</b>    | <b>8,124 SF</b>   | <b>11,149 SF</b>                  | <b>5,598 SF</b>  | <b>1,961 SF</b>         | <b>16,940 SF</b> | <b>4,312 SF</b>                   | <b>19,805 SF</b>  |
| <b>Total Net Square Footage</b>           | <b>94,197 SF</b> | <b>36,375 SF</b>                 | <b>8,664 SF</b>        | <b>103,581 SF</b>  | <b>8,124 SF</b>   | <b>16,964 SF</b>                  | <b>5,598 SF</b>  | <b>2,164 SF</b>         | <b>26,881 SF</b> | <b>4,797 SF</b>                   | <b>26,373 SF</b>  |
| Building Factor - Walls etc               | -983 SF          | 13,279 SF                        | 482 SF                 | 29,770 SF          | 0 SF              | -1,015 SF                         | 36,734 SF        | 36 SF                   | 11,939 SF        | 437 SF                            | -358 SF           |
| <b>Gross Square Footage</b>               | <b>93,214 SF</b> | <b>49,654 SF</b>                 | <b>9,146 SF</b>        | <b>133,350 SF</b>  | <b>8,124 SF</b>   | <b>15,949 SF</b>                  | <b>42,332 SF</b> | <b>2,200 SF</b>         | <b>38,820 SF</b> | <b>5,234 SF</b>                   | <b>26,015 SF</b>  |
| <b>8.00 Outdoor Athletic Facilities</b>   | <b>0 SF</b>      | <b>0 SF</b>                      | <b>0 SF</b>            | <b>0 SF</b>        | <b>201,111 SF</b> | <b>0 SF</b>                       | <b>0 SF</b>      | <b>102,208 SF</b>       | <b>0 SF</b>      | <b>0 SF</b>                       | <b>309,339 SF</b> |
| <b>8.01 Venue</b>                         | <b>0 SF</b>      | <b>0 SF</b>                      | <b>0 SF</b>            | <b>0 SF</b>        | <b>189,804 SF</b> | <b>0 SF</b>                       | <b>0 SF</b>      | <b>102,208 SF</b>       | <b>0 SF</b>      | <b>0 SF</b>                       | <b>247,339 SF</b> |
| Court/Field                               |                  |                                  |                        |                    | 183,849 SF        |                                   |                  | 102,208 SF              | 0 SF             |                                   | 143,731 SF        |
| <b>8.02 Spectator Support</b>             | <b>0 SF</b>      | <b>0 SF</b>                      | <b>0 SF</b>            | <b>0 SF</b>        | <b>11,307 SF</b>  | <b>0 SF</b>                       | <b>0 SF</b>      | <b>0 SF</b>             | <b>0 SF</b>      | <b>0 SF</b>                       | <b>62,000 SF</b>  |
| Seating / Bleachers                       |                  |                                  |                        |                    | 11,307 SF         |                                   |                  |                         |                  |                                   | 62,000 SF         |
| <b>8.03 Practice Field / Court</b>        | <b>0 SF</b>      | <b>0 SF</b>                      | <b>0 SF</b>            | <b>0 SF</b>        | <b>0 SF</b>       | <b>0 SF</b>                       | <b>0 SF</b>      | <b>0 SF</b>             | <b>0 SF</b>      | <b>0 SF</b>                       | <b>122,390 SF</b> |





## FIELDHOUSE

- **Name:** Fieldhouse at Homer Bryce Stadium
- **Opened / Developed:** The original fieldhouse has been part of the stadium complex since early years; significant additions have been made over time, such as the east wing with offices and meeting rooms.
- **Location:** North end of Homer Bryce Stadium.
- **Primary Uses:** Home for Football coaching and staff offices; visitor and home dressing rooms; meeting rooms; training / preparation spaces; serves as operations support for Homer Bryce Stadium events.



*SFA Fieldhouse*



## HISTORY & DEVELOPMENT

The Fieldhouse serves as the operational facility for Football and other athletics hosted at Homer Bryce Stadium. Positioned on the north end of the stadium, it brings together locker rooms, coaching offices, meeting rooms, and team support areas.

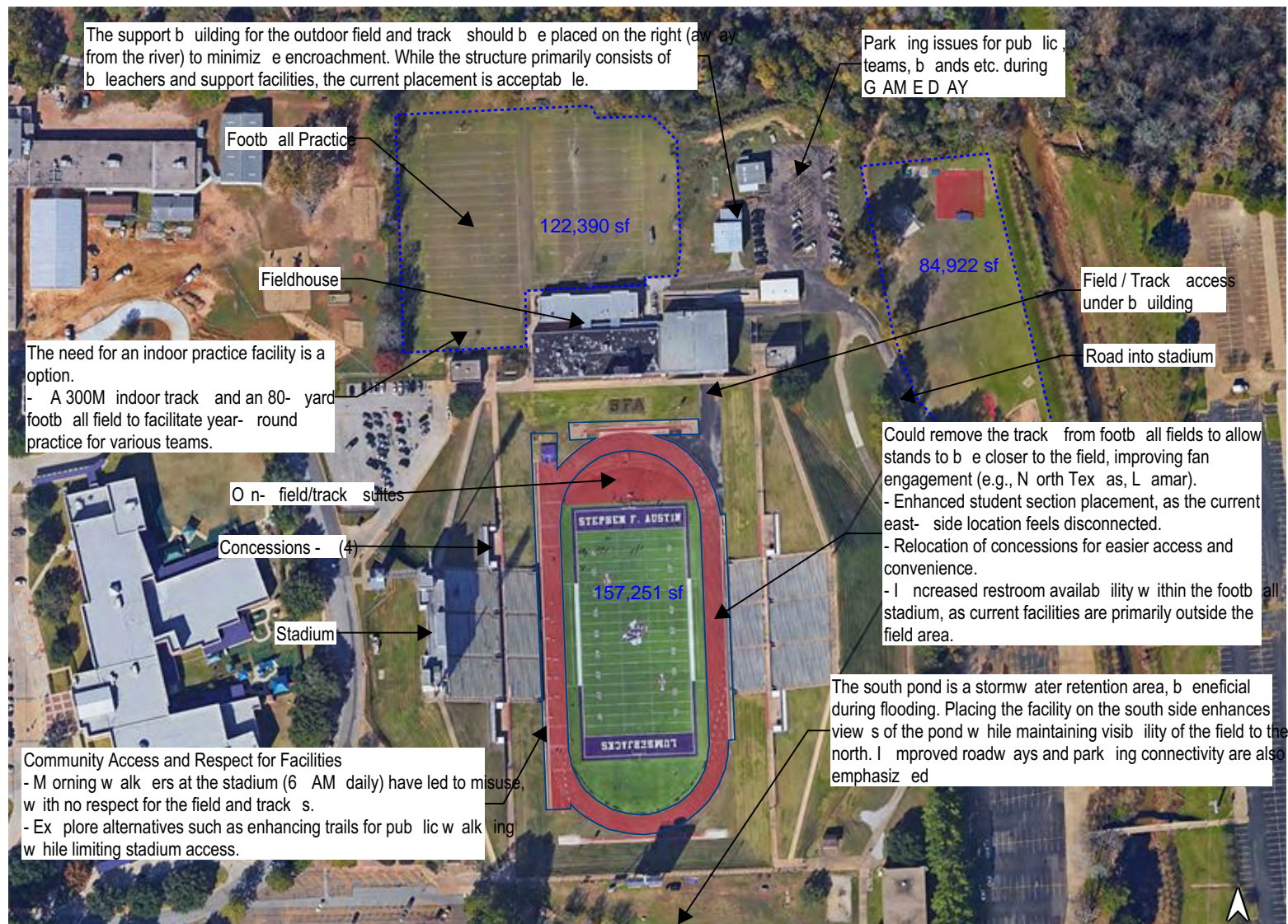
The Fieldhouse has long been a core support structure for Homer Bryce Stadium. Originally built alongside or shortly after the stadium opened in 1973, it has been expanded with increasing demands of the Football program and the broader athletic department. One addition was the east wing of the Fieldhouse, which provides a two-story structure: top floor for coaching offices and meeting rooms, and ground floor for visitor dressing rooms. This expansion provided operational capability on game days and workspace for coaching and administrative staff. The Fieldhouse also contains the Football locker room, which underwent remodeling in 2007. However, the facility is outdated and is in need of upgrades.

## RENOVATIONS

- The east wing expansion enhanced functionality by separating space for coaching, visitors, and administration.
- The locker rooms have been upgraded with finishes (e.g., carpet replaced), increase in locker count, and integration of technology (flat-screen / HD TVs) to better serve player comfort and preparation.
- Its proximity to the stadium allows transitions for teams, and it serves as a hub for many game-day and practice-day support activities.

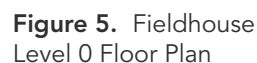
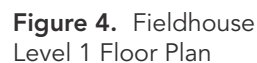
## GAPS & POTENTIAL IMPROVEMENTS

- **Fan / Visiting Team Amenities:** Visitor dressing room is present but lacks the full amenities. Locker rooms are cramped and less safe compared to peer institutions. Dedicated locker rooms for different athletic teams are needed, as multiple teams currently share spaces simultaneously.
- **Technology / Media Integration:** Media and broadcast support is limited compared to newer complexes, lacking advanced control rooms, streaming infrastructure, and other event technology upgrades.
- **Access and Scheduling:** With multiple teams and staff using the facility, effective scheduling and resource allocation (e.g., shared meeting rooms) is challenging. Staff and athletic facilities are dispersed across multiple locations. Limited collaboration between internal and external departments.
- **Athlete-Centric Design:** The fieldhouse lacks adequate training areas, gathering spaces, inspiring areas to support recruitment and retention, opportunities for cross-sport collaboration, and flexible multi-use rooms for events and meetings.



**Figure 3.** Analysis Diagram of the North Campus





## HOMER BRYCE STADIUM

- **Name:** Homer Bryce Stadium (originally “Lumberjack Stadium” when it opened).
- **Opened:** 1973
- **Capacity:** ~14,575 spectators.
- **Location:** North Campus, just north of the Ag Pond.
- **Primary Uses:** Home to SFA Lumberjacks Football; also used for Track and Field (Ladyjack and Lumberjack) events; it includes a walking/running track that is open to the public (outside of events).



Homer Bryce Stadium



## HISTORY & DEVELOPMENT

Homer Bryce Stadium is the performance venue for SFA Football. It has ties to both the University's athletic history and the wider Nacogdoches community. Over the decades, incremental but meaningful upgrades (locker rooms, fan amenities, playing surface, media facilities) have been made. Its bowl design with grass-bank seating gives flexibility for larger crowds.

Construction began and the stadium, which was initially called Lumberjack Stadium, opened in 1973 for the Lumberjacks' home Football games. The first game played was September 8, 1973, in which SFA defeated Cameron University 17–0. In 1986, the stadium was renamed to Homer Bryce Stadium in honor of Homer Bryce, a longtime supporter and alumnus who had strong ties to SFA, running track there in the 1930s and later serving on the Board of Regents from 1974–1994. Over the years, modifications added amenities (e.g., luxury suites, Touchdown Club, press box remodeling, etc.) and periodic upgrades to playing surface and track.

## RENOVATIONS & UPGRADES

- **Press Box and Premium Suites (2003):** Renovated press box on the west side; added suites and the Touchdown Club (seating / hospitality area) in the press box.
- **Video Board (2016):** A large HD video board (80'8" by 36'10")
- **Fan Amenities:** In 2019, five premium "fan box units" made from converted shipping containers were added in the north end zone. These have features like working kitchenettes, a rooftop viewing area, built-in TVs, grills, etc.
- **New Playing Surface:** AstroTurf surface installed in summer 2021. Along with that, the track surface (used for Track and Field and public walking/running) was upgraded (Rekurtan Spurtan BV track).



## GAPS & POTENTIAL IMPROVEMENTS

- **Aging Infrastructure:** Despite renovations, parts of the stadium show their age, especially in concourse and restroom areas.
- **Accessibility:** Accessibility presents a significant concern, as the absence of perimeter fencing allows unrestricted entry to the facility.
- **Limited Shade:** East Texas heat makes daytime games uncomfortable for fans with little to no shade.
- **Concession & Restroom Lines:** Fans often note long waits during peak times.
- **Fan Experience Gaps:** While the video board is modern, overall game day amenities could be more immersive compared to Football Championship Subdivision (FCS) venues. The existing track between the field and the stands limits spectator engagement and needs to be relocated.
- **Parking:** There is insufficient parking capacity and inadequate circulation space for vehicles and pedestrians.
- **Revenue Generation:** The lack of suites and club seating compared to peer institutions represents a missed opportunity for revenue generation, as many comparable programs have significantly more premium seating options.



Homer Bryce Stadium



Homer Bryce Stadium



Homer Bryce Stadium



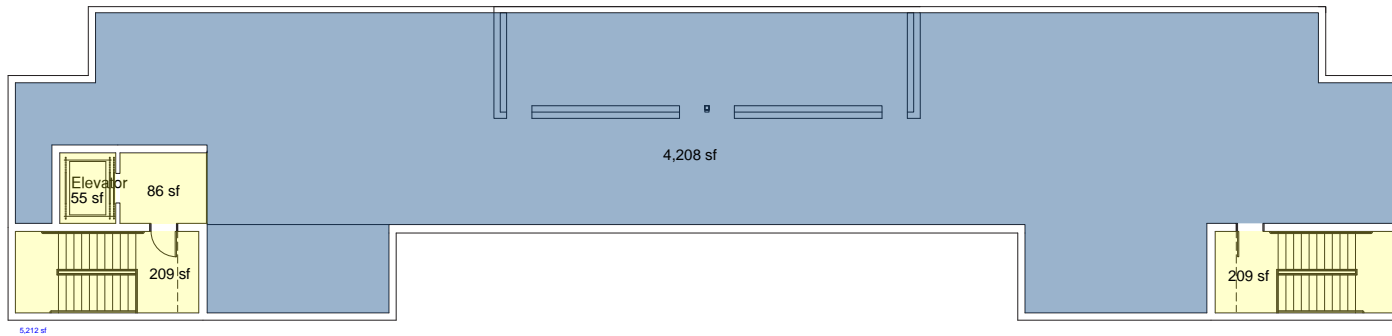


Figure 8. Press Box Level 3 Floor Plan

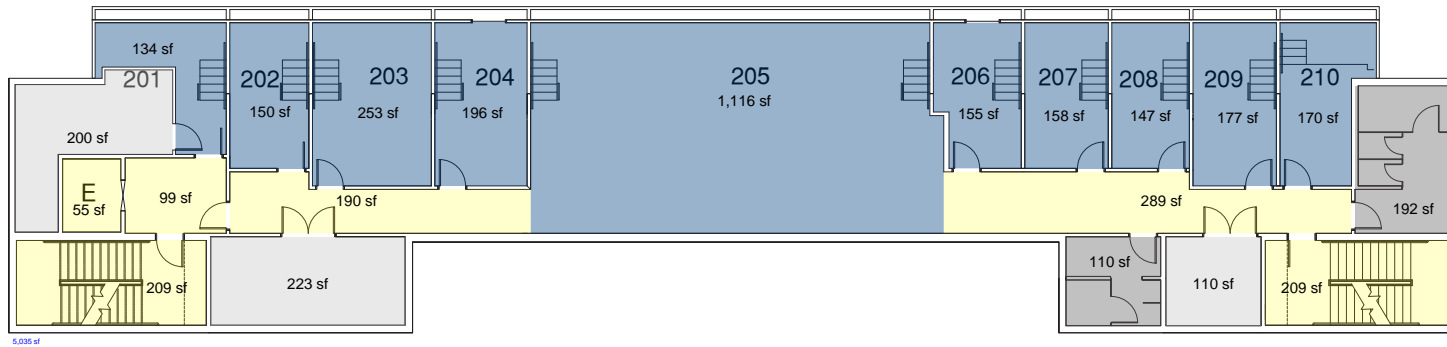


Figure 7. Press Box Level 2 Floor Plan

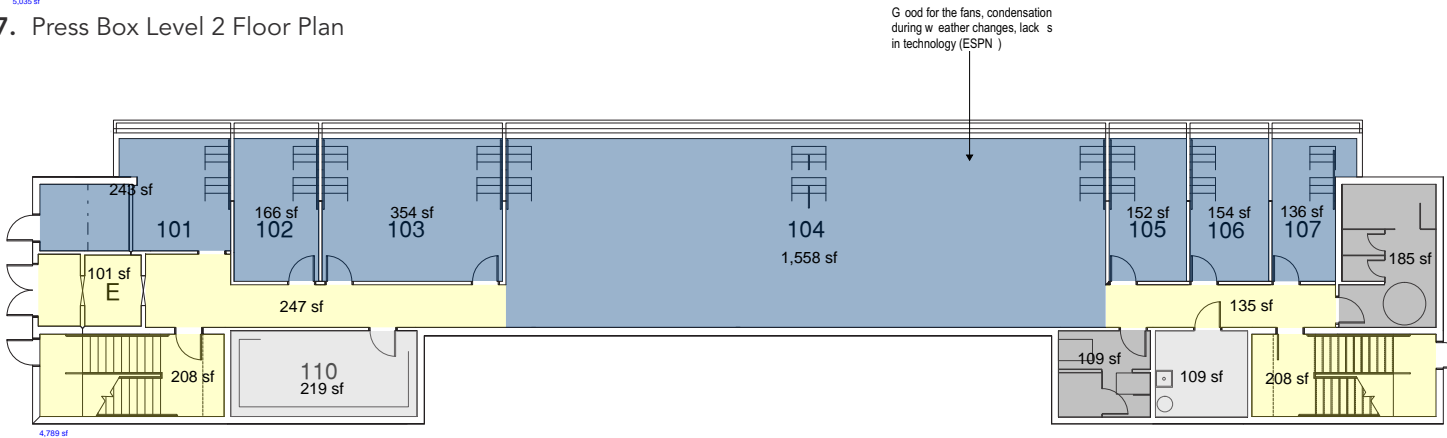


Figure 6. Press Box Level 1 Floor Plan

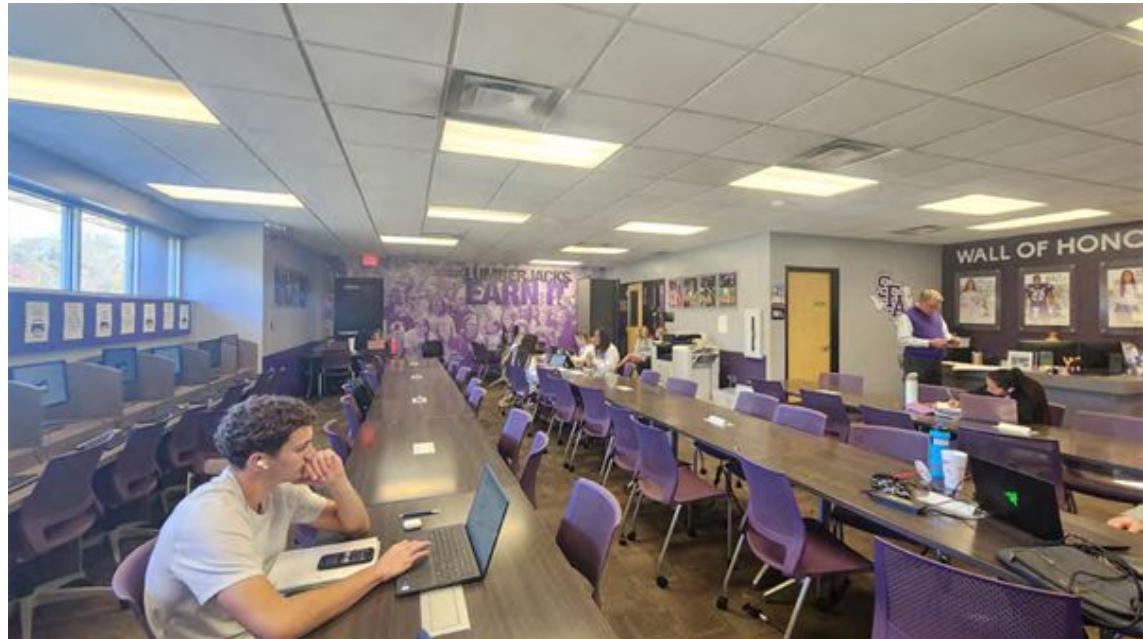
Good for the fans, condensation during weather changes, lack of technology (ESPN)

- Athletic Court/Field
- Athletic Venue Support
- Athletic/Rec Locker Room
- Athletic Team Support
- Athletic Staff Locker Room
- Athletic Training
- Gen Storage/Bldg Support
- Restrooms
- Academic/Meeting
- Academic/Mtg Support
- Offices/Administration
- Hall of Fame/Lobby
- Circulation

Scale: N.T.S.

## SPORTS MEDICINE & ACADEMIC CENTER

- **Name:** Sports Medicine & Academic Center
- **Opened/Developed:** An addition was approved in 2003 for an athletic training and academic center adjacent to the Fieldhouse.
- **Location:** On the north side of the Fieldhouse / adjacent to the stadium complex.
- **Primary Uses:** Academic advising; mentoring; tutoring; study hall; NCAA compliance; helping student-athletes balance academics and athletics; internship placement; support services for coaches and players. Primary student-athlete resource for sports medicine and training.



*Athletic Academic Center*



## HISTORY & DEVELOPMENT

In July 2003, the SFA Board of Regents approved construction of a ~5,300 square foot Athletic Training & Academic Center located on the north side of the existing Fieldhouse (on the site of the old weight room). This center supports athletic training as well as provides academic space, study hall and tutoring for student-athletes. It was designed to serve approximately 325 student-athletes daily. Over time, the academic student services operations have expanded. The services now provide advising, mentorships, tutoring, study halls, internship help, and compliance assistance. The center is staffed by dedicated advisors with sport responsibilities across several teams.

## FEATURES

- The academic center offers scheduled hours (e.g., evenings and weekends) to accommodate student-athletes.
- It includes study hall spaces and access to computers to work on academic tasks in a setting dedicated to athletes.
- Resources also include mentorship, monitoring of academic progress, NCAA eligibility assistance, and help with career/internships.

## GAPS & POTENTIAL IMPROVEMENTS

- **Physical Space and Capacity:** Space is at a premium and no longer meets the needs of staff or student-athletes. Training spaces are overcrowded and constrained, limiting effective instruction and performance. The facility is outdated and lacks adequate privacy and space for medical care and treatment. The academic center is also undersized and not appropriately equipped for study or tutoring.
- **Technology and Learning Resources:** Upgrades needed to computing technology, learning and analytics tools, and group study/wellness spaces.
- **Academic-Athlete Balance:** With heavy athletic schedules, flexibility in hours or remote resources could help.
- **Visibility and Facilities:** The academic center is somewhat behind the scenes; making the study hall or academic spaces more visible to fans or recruiting visits may strengthen appeal.
- **Holistic Health:** Co-locating the strength and conditioning facility, centralized recovery area, and athletic training spaces will significantly improve efficiency, time management, communication, overall student-athlete performance and health by providing a comprehensive support for both physical and mental well-being.

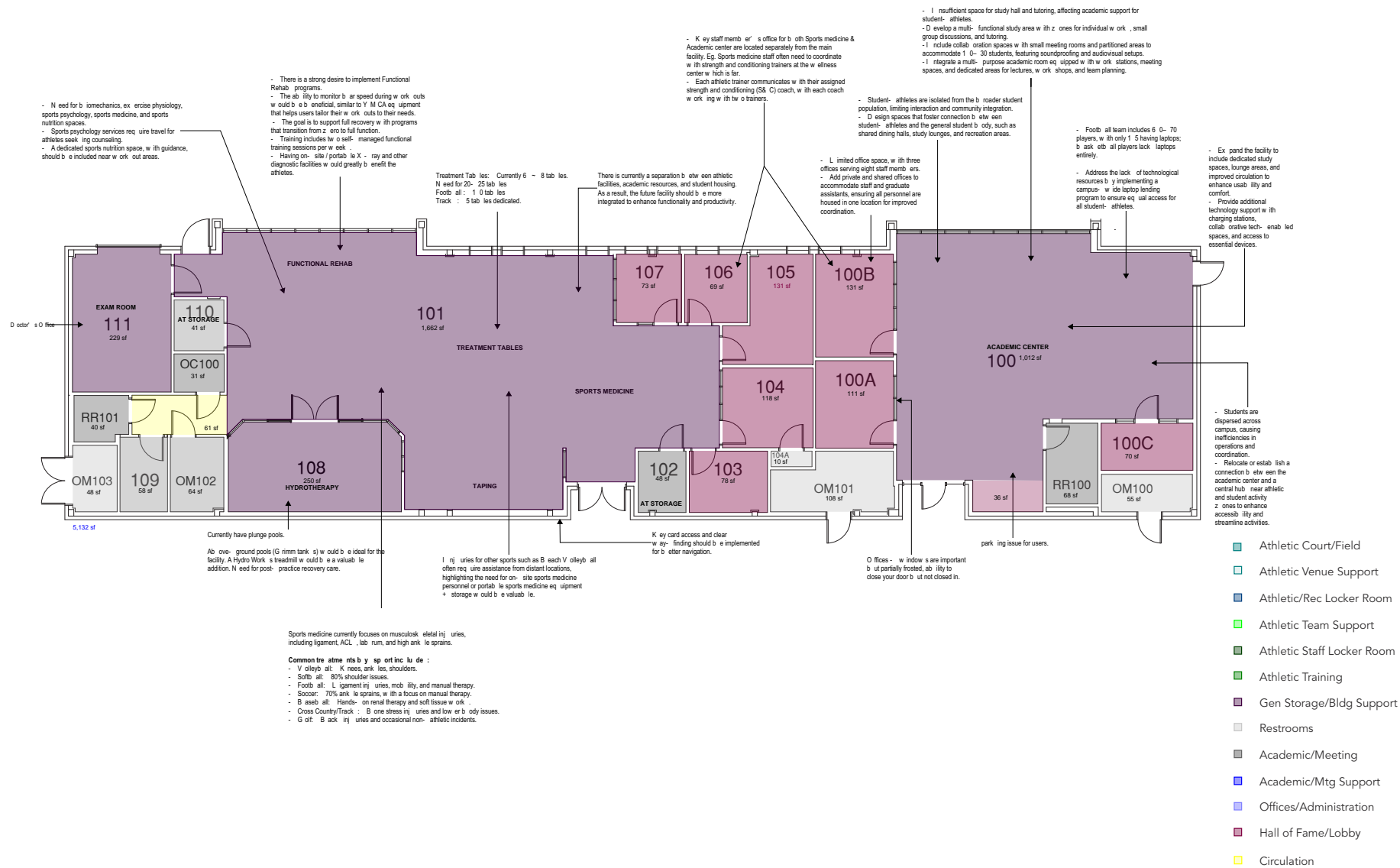


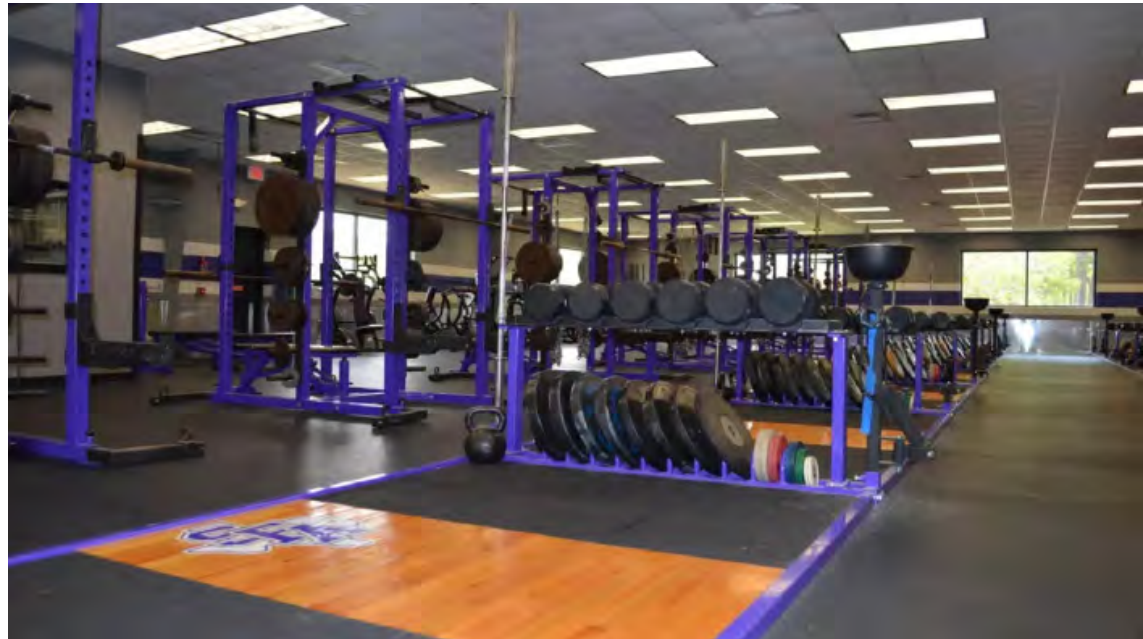
Figure 9. Sports Medicine and Academic Center Level 1 Floor Plan

Scale: N.T.S.



## JIMMY W. MURPHY WELLNESS CENTER

- **Name:** Wellness Center
- **Location:** Southwest corner of Homer Bryce Stadium.
- **Primary Uses:** Strength and conditioning; physical training; wellness; preparing athletes for competition; used by all intercollegiate athletic teams, coaches, and athletic support staff.



Wellness Center

## **HISTORY & DEVELOPMENT**

The Wellness Center is SFA's primary athletic performance infrastructure. Over time it has evolved in response to growing demands. The Wellness Center is adjacent to the Homer Bryce Stadium complex, encompassing conditioning, strength training, and support for athletic performance. It works with other support facilities (e.g., Fieldhouse, Academic Center) to help student-athletes maintain both performance and health.

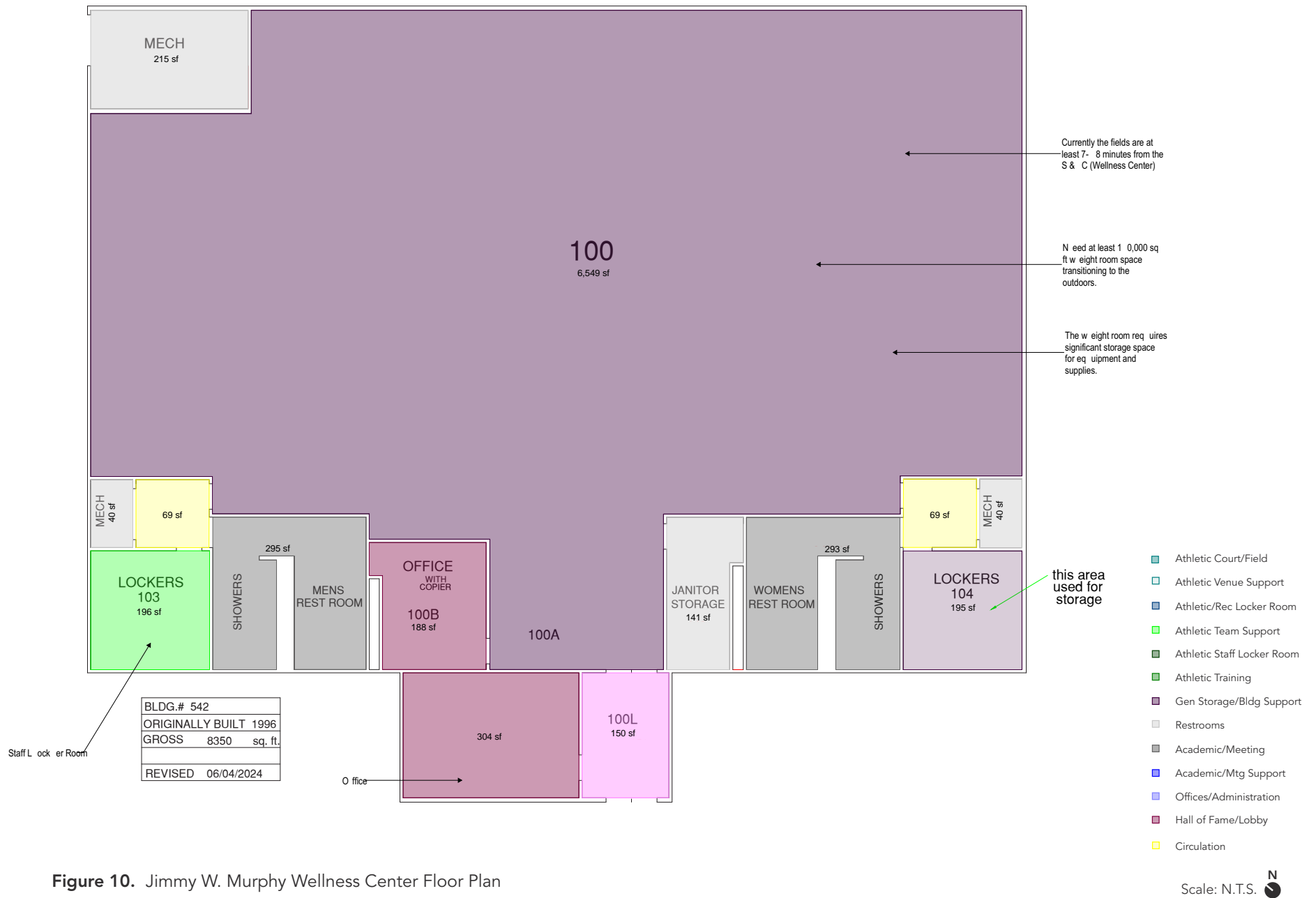
## **FEATURES**

- The Wellness Center includes strength training equipment: free weights, weight racks, and stations for Olympic lifts and core movements. It has platforms and racks to support various training modalities.
- Athlete body composition and nutrition assessment services are provided (sports nutrition counter) to support wellness and injury prevention programs.
- Dressing rooms and staff offices are part of the facility.

## **GAPS & POTENTIAL IMPROVEMENTS**

- **Updated Technology and Tracking:** Greater integration of performance tracking (motion capture, wearable sensors, analytics labs) is lacking and limited.
- **Scheduling Demand:** With many teams using it, there are conflicts and congestion during peak seasons or times of day.
- **Aesthetic and Comfort Upgrades:** Locker rooms, restrooms, common areas are not provided. Users would benefit from further modernization in finishes, cooling/heating, and athlete comfort.
- **Sustainability / Energy Efficiency:** Little publicly noted about energy use, environmental design, or efficient HVAC / lighting systems.
- **Facility Expansion:** Facility expansion potential includes developing a 10,000 square feet strength and conditioning space (compared to the current 4,000 square feet) featuring 20 racks, high ceiling clearance, overhead door access to a covered turf area/indoor facility, and additional staff. Design the strength and conditioning facility to handle up to 60 student-athletes per workout session, with three student-athletes per rack. Upgrade the training room with 24 rehab tables, 10 taping tables, two hot tubs, two cold water tubs, a washer and dryer, a portable x-ray machine with a dedicated suite, one clinical doctor's office with external garage door access, and additional staff. Co-locating the strength and conditioning facility, centralized recovery area, and athletic training space will significantly improve efficiency, time management, communication, and overall student-athlete performance and health.





**Figure 10.** Jimmy W. Murphy Wellness Center Floor Plan

## WILLIAM R. JOHNSON COLISEUM

- **Name:** Johnson Coliseum
- **Location:** East side of campus at the corner of University Drive and East College Street. Serves as a primary entrance to campus.
- **Capacity:** Approximately 7,203 for basketball events.
- **Primary Use:** Hosts men's and women's basketball games, cheer, dance and other University events (e.g., commencements, concerts, high school tournaments, etc.)



William R. Johnson Coliseum



## **HISTORY & DEVELOPMENT**

William R. Johnson Coliseum serves as the primary indoor arena for Stephen F. Austin State University athletics, hosting the Lumberjacks and Ladyjacks men's and women's basketball programs, as well as other indoor events. It accommodates approximately 7,203 spectators, making it the largest indoor athletic facility on campus. Beyond athletics, the Coliseum serves as a venue for concerts, graduations, and community events, positioning it as a hub for both University and regional gatherings. The Coliseum is known for being a tough and spirited home court ("The Sawmill"), with strong crowd presence in big games or rivalry match-ups. It plays a key role in the identity of SFA basketball, being central to game days, traditions, and alumni connections.

The Coliseum, which opened in 1974, was named in honor of William R. Johnson, a former SFA alumnus and longtime supporter of the University. Its construction reflected the institution's commitment to expanding athletics facilities during the 1970s.

## **RENOVATIONS & FEATURES**

- **Seating and Spectator Areas:** Refurbishment of bleachers and chairback seating to improve fan comfort. Enhancements to courtside and premium seating areas to support VIP and donor experiences.
- **Lighting and Sound Systems:** Installation of lighting systems to meet NCAA standards and improve visibility for players and fans. Upgraded sound systems to enhance announcements, music, and overall game day atmosphere.
- **Athletic and Support Facilities:** Renovation of Soccer and dance locker rooms, including player and coach facilities, to support NCAA Division I program standards.
- **Media and Broadcast Facilities:** Addition of press boxes and media areas to support televised events and media coverage. Upgrades to technology for live broadcasts, scoring, and replay systems.
- **General Infrastructure Improvements:** Maintenance of HVAC systems, flooring, and structural upgrades to extend the lifespan of the facility. Cosmetic upgrades to concourses, restrooms, and other public areas to improve fan experience.
- **Floor Refresh (2015):** The original wooden floor was stripped and refurbished.
- **Performance Center Addition (2021):** The Loddie Naymola Basketball Performance Center was added to the northeast corner of Johnson Coliseum, attaching practice courts, locker rooms, meeting rooms, coaches' offices, and a tunnel connecting the new facility to the Coliseum.



## **GAPS & POTENTIAL IMPROVEMENTS**

- **Accessibility and ADA Compliance:** Certain areas of the Coliseum may not fully meet current accessibility standards, with limited seating options and circulation paths for spectators with disabilities. Improvements should include updated seating, accessible circulation paths, and modernized restrooms to ensure full ADA compliance.
- **Fan Amenities:** Concession and restroom facilities are insufficient for larger crowds, and technology integration (e.g., scoreboards, audio-visual systems, and Wi-Fi) is outdated. Recommended upgrades include expanding and modernizing restrooms and food/beverage services, adding merchandise areas and fan engagement zones, installing state-of-the-art scoreboards and sound systems, and improving connectivity for fans and media.
- **Multipurpose Use:** While the Coliseum is designed for multiple functions, transitions between events such as athletic competitions, concerts, and graduations may be inefficient. Enhancements should focus on improving event logistics, including storage, staging areas, and optimizing entry/exit points to enhance crowd management.
- **Seating and Fan Experience:** To create a more engaging game day environment, seating should be reconfigured to establish intimate zones closer to the court. Additionally, premium seating, suites, or club areas could be added to enhance the fan experience and generate additional revenue.





## LODDIE NAYMOLA BASKETBALL PERFORMANCE CENTER

- **Opened:** October 2021
- **Size:** ~54,000 square feet, two stories
- **Location:** Northeast corner of the William R. Johnson Coliseum
- **Primary Use:** Hosts men's and women's basketball operations and practice.



*Loddie Naymola Basketball Performance Center*

## HISTORY & DEVELOPMENT

The Loddie is located adjacent to William R. Johnson Coliseum. Officially opened in October 2021, this facility serves as the dedicated training and practice hub for both the men's and women's basketball programs. Spanning over 54,000 square feet across two stories, the building provides athletes with top-tier resources to hone their skills and prepare for competition.

Strategically situated on the northeast corner of the existing Coliseum, the facility was designed to integrate with the arena. A notable feature of this integration is the underground tunnel that connects the practice facility directly to the Coliseum, facilitating smooth transitions for athletes on game days.

## FEATURES

- **Practice Courts:** The center one full-length practice court and two additional shoot-around courts, allowing for team practices and individual workouts.
- **Locker Rooms:** Modern men's and women's locker rooms are equipped with lockers and integrated technology, providing athletes with a comfortable and efficient space to prepare.
- **Player Lounges:** Dedicated lounges for both teams are designed to foster relaxation, team bonding, and film study, contributing to the overall well-being of the players.
- **Strength & Conditioning:** A large satellite weight room, along with cardio and functional training areas, supports the physical development of athletes.
- **Sports Medicine:** The center includes a satellite training room, hydrotherapy pools, and athletic recovery facilities to address the health and recovery needs of the players.
- **Film and Meeting Rooms:** Team film rooms, conference spaces, and strategy rooms are available for tactical discussions and game preparation.
- **Coaches' Offices:** Second-floor offices overlook the practice courts, fostering a connection between staff and players and enhancing communication.









## ROBERT H. SHELTON GYMNASIUM

- **Name:** Shelton Gym
- **Location:** Middle of campus off Raguet Street, north of HPE, across from the Student Recreation Center.
- **Opened:** 1951
- **Seating Capacity:** Approximately 1,000 spectators.
- **Primary Uses:** Home of the Ladyjacks volleyball program; also hosts intramurals (basketball, volleyball) and other campus events.



Robert H. Shelton Gymnasium



## HISTORY & DEVELOPMENT

Robert H. Shelton Gymnasium is commonly known as Shelton Gym. With a seating capacity of approximately 1,000 spectators, Shelton Gym serves as the home of the Ladyjacks volleyball program and hosts intramural basketball, volleyball, and other campus events. Its intimate size and unique design create a dynamic and intimidating game-day environment, widely recognized across campus and among visiting teams.

Over the decades, Shelton Gym has hosted a range of student athletic events, intramurals, and community functions, maintaining its relevance and historical significance on campus.

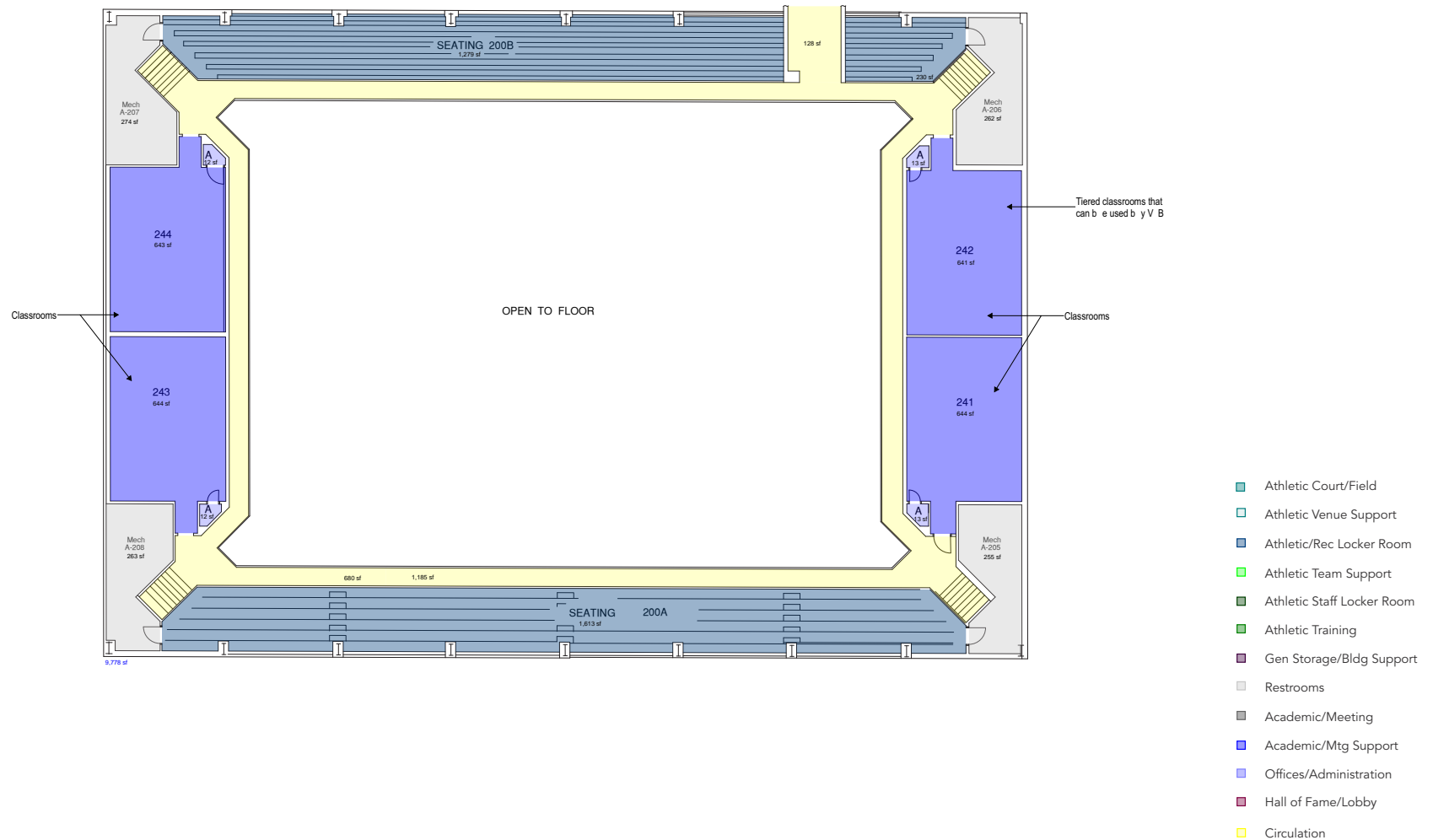
## RENOVATIONS & UPGRADES

Shelton Gym has seen a series of significant renovations and upgrades.

- As part of Stephen F. Austin's partnership with ESPN, the facility's broadcast technology was upgraded to allow all Ladyjacks home matches to be streamed nationwide on ESPN3 and the ESPN app.
- In 2019, the addition of premium courtside seating brought spectators closer to the action.
- The gym's renovated playing surface was dedicated on May 3, 2025, as the Debbie Humphreys Court, featuring a Taraflex® surface. SFA is the only school in the Southland Conference to offer it, positioning the Ladyjacks among the top collegiate programs in terms of facility quality.

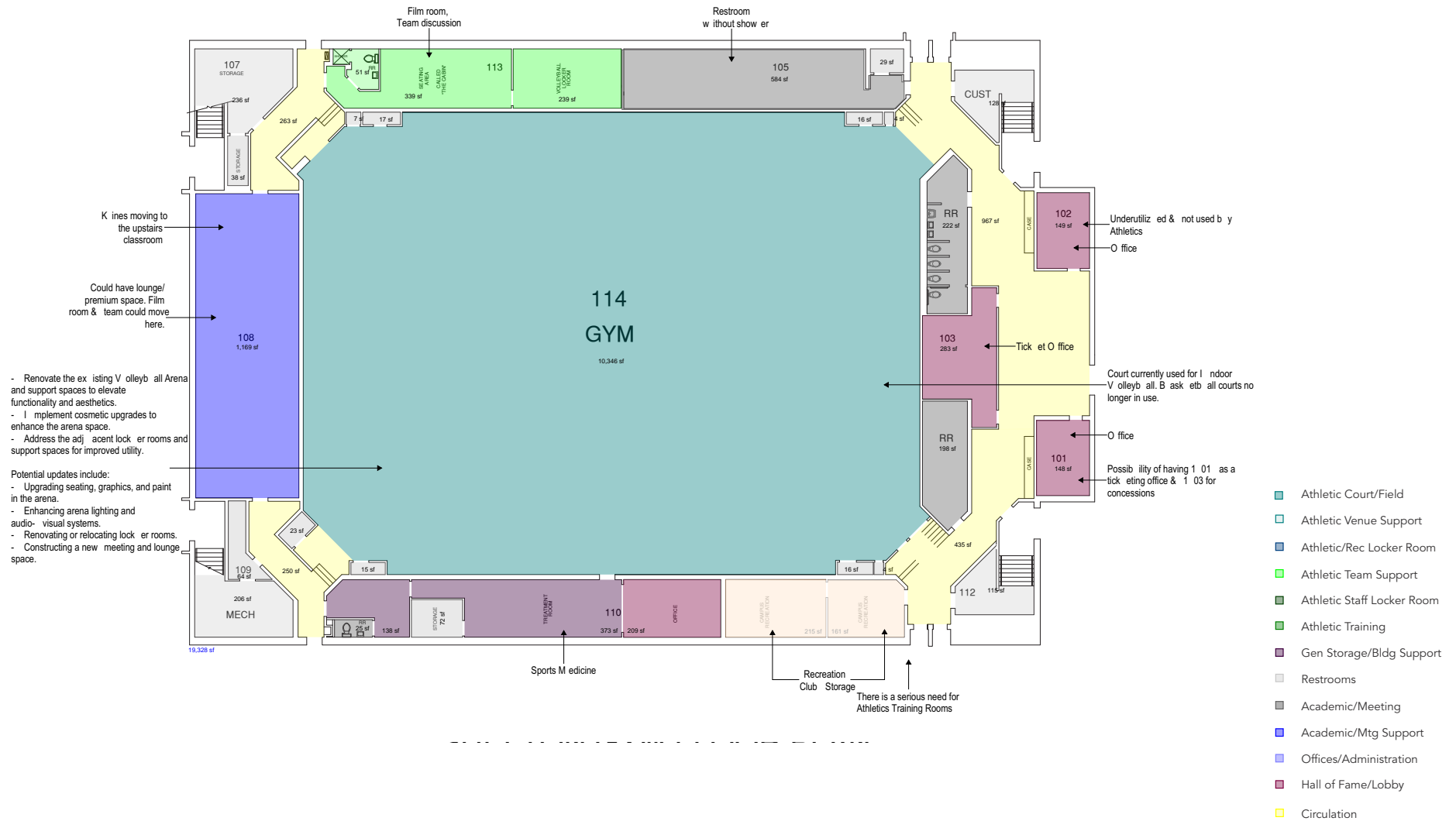
## GAPS & POTENTIAL IMPROVEMENTS

- **Accessibility:** Limited space poses challenges for ADA-compliant seating and circulation during events.
- Create a prominent entrance to the facility.
- **Athletics Program Improvement:** film and lounge, locker room, suite, training, concessions.
- **Multi-Sport Flexibility:** Primarily designed for volleyball; hosting other sports or large-scale events is constrained.
- **Technology Upgrades:** Future improvements in analytics, scoring, and audiovisual systems are needed to enhance both athlete development and fan engagement.



**Figure 15.** Shelton Gymnasium Level 0 Floor Plan

Scale: N.T.S.



**Figure 16. Shelton Gymnasium Level 1 Floor Plan**



## SOCCER FIELD

- **Name:** Stephen F. Austin Soccer Field
- **Capacity:** Approximately 1,200 spectators.
- **Location:** South campus on the east edge adjacent to the Campus Recreation Center.
- **Primary Uses:** Home of Ladyjacks Soccer program.



*Soccer Field*

## HISTORY & DEVELOPMENT

The Stephen F. Austin Soccer Field serves as the dedicated home for the Ladyjacks Soccer program, providing a central venue for collegiate Soccer on campus.

The Soccer field has evolved alongside the growth of SFA's Soccer program. In 2020, SFA Athletics implemented a series of upgrades aimed at enhancing both the athlete experience and spectator engagement, reflecting a broader strategic vision to elevate Soccer.

## RENOVATIONS & FEATURES

- In 2020, seating enhancements included grandstands, reserved chairback seating, general admission, and standing-room-only areas, with existing bleachers repositioned along the goal lines to provide optimal viewing angles. The addition of VIP-style suite seating further diversified spectator options
- Following these improvements, the field now accommodates approximately 1,200 spectators.

## GAPS & POTENTIAL IMPROVEMENTS

- **Limited Seating Capacity:** 1,200 spectator seats is small relative to peer collegiate Soccer Venues, constraining attendance for high-profile matches. Additionally, there is a lack of covered suites and premium seating.
- **Insufficient Spectator Amenities:** Limited concessions, restrooms, and press facilities affect fan comfort and event operations.
- **Lack of Weather Protection:** No shade or weather protection, leaving spectators exposed to sun and rain during matches.
- **Inadequate Lighting:** Lighting infrastructure does not meet standards for evening matches and broadcast readiness is unclear, raising questions about suitability for televised matches.
- **Flooding Issues:** Since the Soccer field is situated on the floodplain, flooding during winter or heavy rain is very common and it disrupts scheduling and playability.
- **Limited Broadcast Infrastructure:** Insufficient media and broadcast capabilities reduce visibility for televised or streamed matches.



**Figure 17.** Analysis Diagram of the South

Scale: N.T.S. N



## SCHLIEF TENNIS COMPLEX

- **Name:** Gerald and Candace Schlieff Tennis Complex
- **Opened:** 2008
- **Capacity:** Limited spectator seating.
- **Location:** On the south side of campus right off Starr Avenue, south of the Student Recreation Center.
- **Primary Uses:** Home of SFA men's and women's varsity Tennis programs, recreational play, and student intramurals.



*Schlieff Tennis Complex*

## **HISTORY & DEVELOPMENT**

The Schlieff Tennis Complex is the primary court facility for SFA Tennis, providing a dedicated home for the Ladyjacks teams while simultaneously supporting campus recreation. It is named in honor of SFA alumnus Gerald Schlieff and his wife, Candace, whose contributions helped fund its construction.

Located north of the older courts and near the Student Recreation Center, the facility combines convenience with accessibility. Its design includes a pavilion housing locker rooms and offices, offering a central base for the Tennis program and team operations. Since opening in 2008, the complex has hosted team practices, matches, and campus tournaments, contributing to the growth of SFA's Tennis programs.

## **FEATURES**

- The complex features 16 courts, 12 of which are lighted for evening play. Four courts have self-service lighting, while the remaining eight require activation by Campus Recreation staff.
- The pavilion provides essential amenities such as locker rooms, offices, and team facilities.

## **GAPS & POTENTIAL IMPROVEMENTS**

- Limited spectator seating reduces match-day atmosphere and fan engagement.
- Lack of shade or weather protection makes play and spectating challenging in Texas heat.
- Court surface maintenance schedules are unclear; more frequent resurfacing could improve play quality and reduce injury risk.
- Limited amenities for fans, including concessions, press facilities, and broadcast infrastructure.
- Lighting does not meet NCAA or broadcast standards for high-level evening matches.
- Uncontrolled public access can create scheduling conflicts; controlled access could improve facility management and generate revenue for SFA.
- Facility lacks a strong home court fan environment compared to other SFA venues.
- Tennis operations including offices, team room, and locker rooms could be improved to better support athletes and staff.

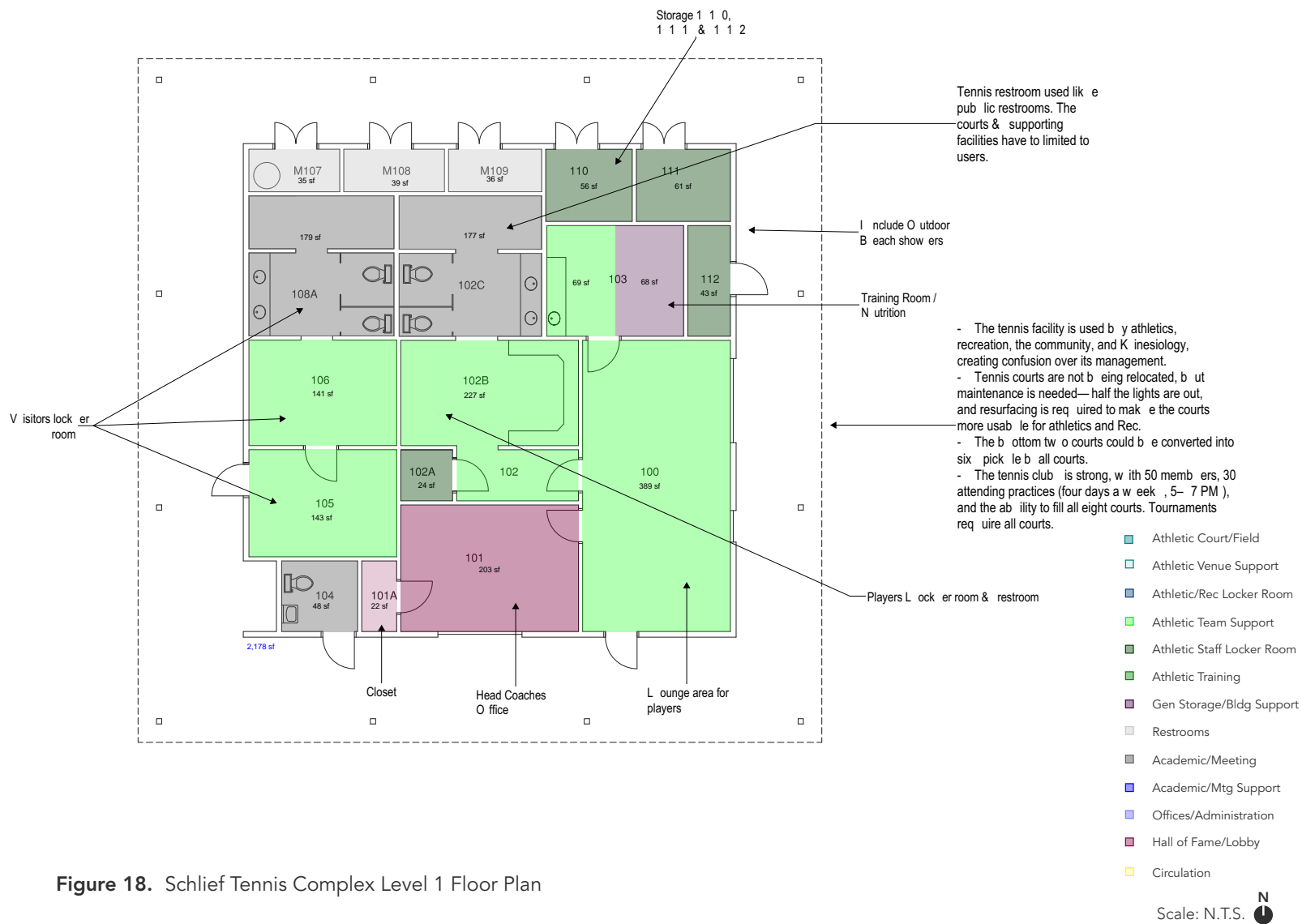
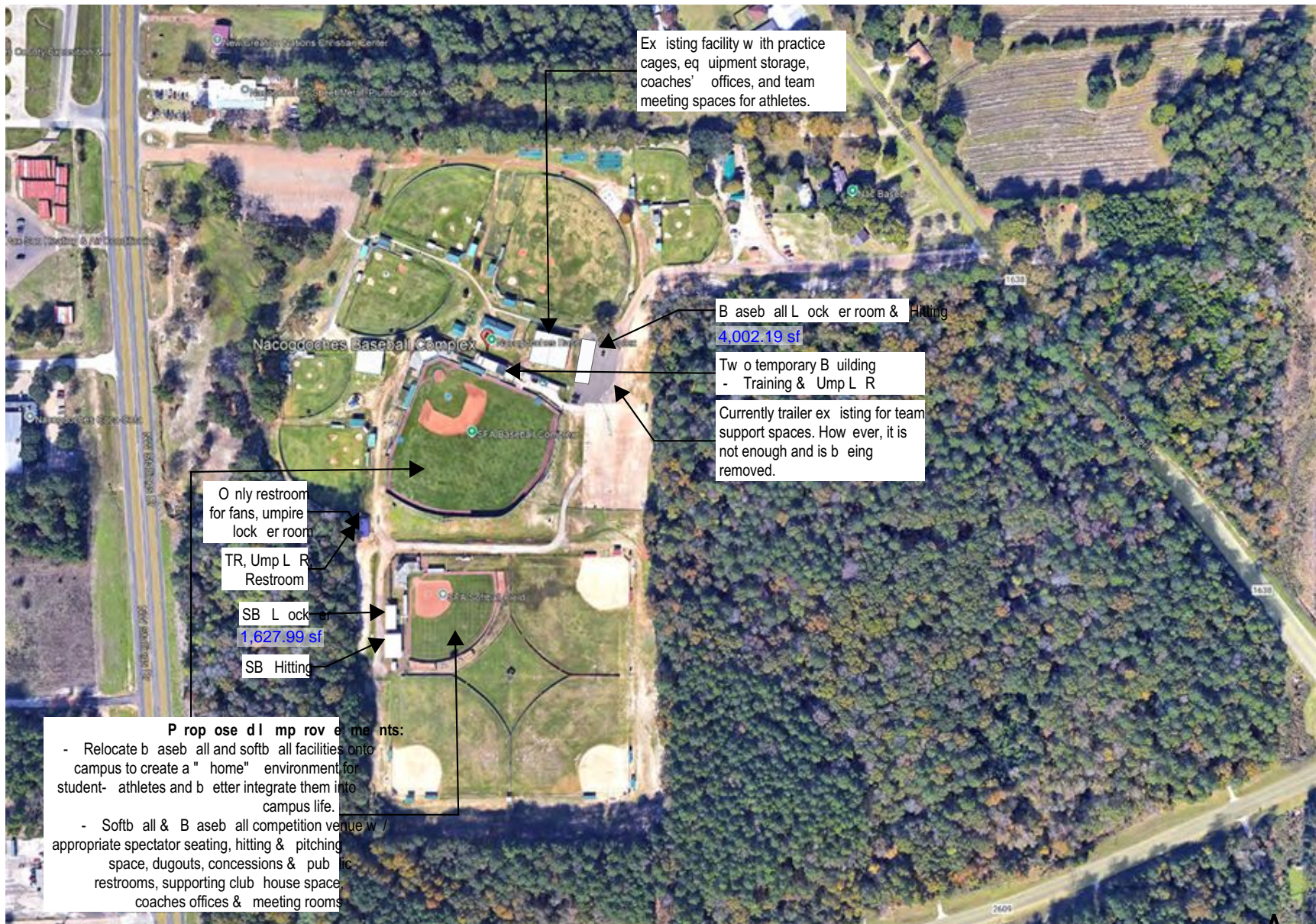


Figure 18. Schlief Tennis Complex Level 1 Floor Plan









**Figure 19.** Analysis Diagram of Off-Campus Baseball and Softball

Scale: N.T.S.

## SFA SOFTBALL FIELD

- **Name:** SFA Softball Field
- **Opened:** 2010 (renovated)
- **Capacity:** ~750 spectators
- **Surface:** Natural grass
- **Location:** Adjacent to Jaycees Field within the Pete Smith Athletic Complex, 3715 Old Tyler Road, Nacogdoches, Texas. About 3 miles northwest of the SFA campus.
- **Ownership:** City of Nacogdoches (owner) with SFA operating under a 19-year exclusive use lease starting 2010.
- **Primary Uses:** Home of the Ladyjacks Softball program, practices, conference and tournaments.



*SFA Softball Field*



## HISTORY & DEVELOPMENT

The SFA Softball Complex is the primary home for the Ladyjacks Softball program, offering a venue for practices, regular-season games, and conference tournaments. The facility provides student-athletes with a field and facilities for training and competition while also serving as a space for fans.

The Softball facility was developed to meet the growing demands of the Ladyjacks program, offering a dedicated playing field separate from Baseball operations. Over the years, it has hosted Southland Conference games and tournaments.

## FEATURES

- **Playing Surface:** Natural grass field with dugouts and bullpens for team operations.
- **Press Box:** Facilitates media coverage and game operations.
- **Lighting System:** Enables night games, extending playable hours and supporting flexible scheduling.
- **Spectator Seating:** Positioned primarily along the first- and third-base lines with a capacity of approximately 750 spectators, providing sightlines of the action.
- **Basic Athlete Amenities:** Locker rooms and training areas provide functional spaces for player preparation and recovery.
- **Tournament Capability:** Facility is suitable for hosting Southland Conference games and regional tournaments.

## GAPS & POTENTIAL IMPROVEMENTS

- **Limited Seating Capacity:** Approximately 750 spectators, insufficient for marquee games and limiting attendance potential. There is a lack of premium or VIP seating, further diminishes the fan experience and associated revenue opportunities.
- **Off-Campus Location:** Approximately 3 miles northwest of campus creates transportation challenges for athletes traveling between the field and campus operations.
- **Minimal Fan Amenities:** Limited concessions, shaded seating, and lack of restrooms compromise comfort and event operations.
- **Inadequate Broadcast Infrastructure:** Limited broadcast and streaming infrastructure reduces visibility for televised or streamed matches.
- **Outdated Athlete Facilities:** Lack of locker rooms, team rooms, sports medicine areas, umpire rooms and training spaces. The facility currently does not meet standards for a Division I Softball program.
- **Insufficient Lighting:** Lighting quality does not meet NCAA or broadcast standards for evening games.

## JAYCEES FIELD / SFA BASEBALL STADIUM

- **Name:** Jaycees Field / SFA Baseball Stadium
- **Opened:** The Baseball program was reinstated in 2006; a major renovation occurred in 2009.
- **Capacity:** ~1,000 spectators
- **Surface:** Natural grass
- **Location:** Adjacent to SFA Softball field within the Pete Smith Athletic Complex, 3715 Old Tyler Road, about 3 miles northwest of the SFA campus.
- **Primary Uses:** Home of the Lumberjacks Baseball program, practices, and regional Baseball tournaments.



*Jaycees Field / SFA Baseball Stadium*

## HISTORY & DEVELOPMENT

The SFA Baseball Facility, commonly known as Jaycees Field, serves as the home of Stephen F. Austin State University's Lumberjacks Baseball program. Located roughly 3 miles from the main campus, the venue is modest in scale. It provides a functional atmosphere for players and fans.

The facility was needed to provide the team with a home field. In 2009, a comprehensive renovation was conducted to bring Jaycees Field up to collegiate standards, enabling SFA to host home games. The refurbished field officially opened for SFA's 2009 home opener, marking a new era for Lumberjack Baseball.

Jaycees Field has a seating capacity of about 1,000, which aligns with attendance volumes typical for mid-level Division I collegiate Baseball programs. The design includes a mix of bleachers and chairback seats, with shaded coverage over select premium areas. While seating is compact and close to the action, creating a strong sense of proximity and intimacy for spectators, some bleachers lack back support, and shade coverage is limited.

## RENOVATIONS & FEATURES

### **2009 Renovations:**

- Installed 740 bleacher seats, including 140 chairback seats.
- Constructed a new press box with improved functionality.
- Added an awning over the premium seating and press box areas for shade and weather protection.

### **2017 Enhancements:**

- Built a covered deck area along the left-field line, offering a premium fan space.
- Introduced "Dugout Club" seating, featuring built-in grills for an enhanced fan experience.
- Created the "Left Field Lunatics" section, a steel deck behind the left-field fence that became a popular informal viewing zone, especially among students.
- Upgraded locker rooms, team room, and coaching offices, providing improved athlete and staff facilities adjacent to the left field dugout.

### **2024 Renovations:**

- Features an indoor hitting facility addition and the removal of the aging modular locker room in 2024.

## GAPS & POTENTIAL IMPROVEMENTS

- **Limited Premium Hospitality:** No luxury boxes or high-end hospitality areas beyond the Dugout Club and premium deck.
- **Seating Comfort and Shade:** Many bleachers remain uncovered, and chairback seating is basic plastic, limiting spectator comfort in Texas weather.
- **Remote Location:** Being ~3 miles off campus diminishes walkability and may hinder student attendance and game-day energy.
- **Parking and Wayfinding:** Parking is free, but signage is minimal, and approaches to the facility can confuse first time visitors.
- **Digital Infrastructure:** Lacks a large video board, replay screens, or advanced broadcast infrastructure, limiting game-day presentation and exposure.
- **Maintenance and Sustainability:** As a natural grass field, it requires significant upkeep, and weather stresses can affect surface quality over the season.







# BASIS OF NEED

# BASIS OF NEED

## INTERCOLLEGIATE ATHLETICS MASTER PLAN PRIORITIES

Through a series of planning workshops, stakeholder interviews, and program assessments, the team worked to identify needs and opportunities across all sports. The comprehensive programming process allowed the team to analyze existing conditions, benchmark peer institutions, trends and understand how facilities align with the mission, goals and objective. The resulting priorities reflect a shared vision to enhance the student-athlete experience, improve competitive success, and strengthen the University's overall athletic profile.

| Priority | Project Name   | 0-5 Years | 5-10 Years | 10-15 Years |
|----------|--|-----------|------------|-------------|
| 1.       | Fieldhouse   | X         |            |             |
| 2.       | Baseball and Softball Parks with Operations and Locker Rooms | X         |            |             |
| 3.       | Football Stadium   | X         |            |             |
| 4.       | Soccer Venue with Operations and Locker Rooms                | X         |            |             |
| 5.       | Modernize Johnson Coliseum                                   |           | X          |             |
| 6.       | Track and Field Venue with Operations and Locker Rooms       |           | X          |             |
| 7.       | Modernize Shelton Gym with Operations, Coaches, Locker Rooms |           | X          |             |
| 8.       | Relocated or Updated Tennis Venue                            |           | X          |             |
| 9.       | Norton HPE Complex   |           | X          |             |
| 10.      | Indoor Practice / Turf Facility                              |           |            | X           |

**Figure 20.** Intercollegiate Athletics Master Plan Priorities and Timeline





## **PRIORITY 1: FIELDHOUSE**

### **0-5 YEAR TIMELINE**

Create a student-athlete, coach and staff hub inclusive of sports medicine, sport performance, coaching offices, administration, academic, nutrition, various sized meeting spaces (8 – 200 persons), hall of fame, locker rooms relative to proximity of competition venue.

- Holistic locker room improvements – Football, Track and Field and others to be determined. Includes locker areas, lounge, and wet areas.
- Bigger sports medicine facility as part of a larger facility – all sports. Includes Taping and treatment tables, expanded rehab space, new hydro space with plunge and therapy tub, trainers' offices, examination rooms, and storage.
- Upgraded Academics – all sports. Includes more technology and diverse work areas, tutor rooms, group study rooms, flex space, natural light and views to outside.
- A refreshed/strategic approach to nutrition – all sports. Include: grab & go nutrition and hydration stations, student-athlete dining space, food service & support space, consulting space, teaching kitchen, and offices.
- Modernized Strength and Conditioning – all sports, less Basketball. Include large multipurpose turf zone, racks and weight equipment, strength and conditioning, staff offices, meeting space, consultation space, fitness ramp and stair, cardio zone, medicine ball wall, grab & go nutrition, and hydration.
- Office and meeting space – staff, Football, Track and Field and others. Single offices and meeting space for the department and teams (all sports).

### **LOCATION**

- South side of North Campus – preferred location. The facility would have an immediate impact. This is a prominent location with adjacency to the stadium and campus and a closer location for users. It allows the existing Fieldhouse to remain while being renovated. It comes with the added cost of the Track and Field relocation and additional earthwork cost to make the facility fit into the surroundings.
- North – existing location. This would require temporary facilities while it is being constructed. It has a good connection to additional land for future facilities/expansion, which could make it easier to create a complex.
- West – could have a similar impact as the south location. It could be constructed as a combined fieldhouse and stadium. It would require temporary stadium facilities while being renovated and require the most significant financial investment. It does not require the Track and Field to move as an initial part of the project.

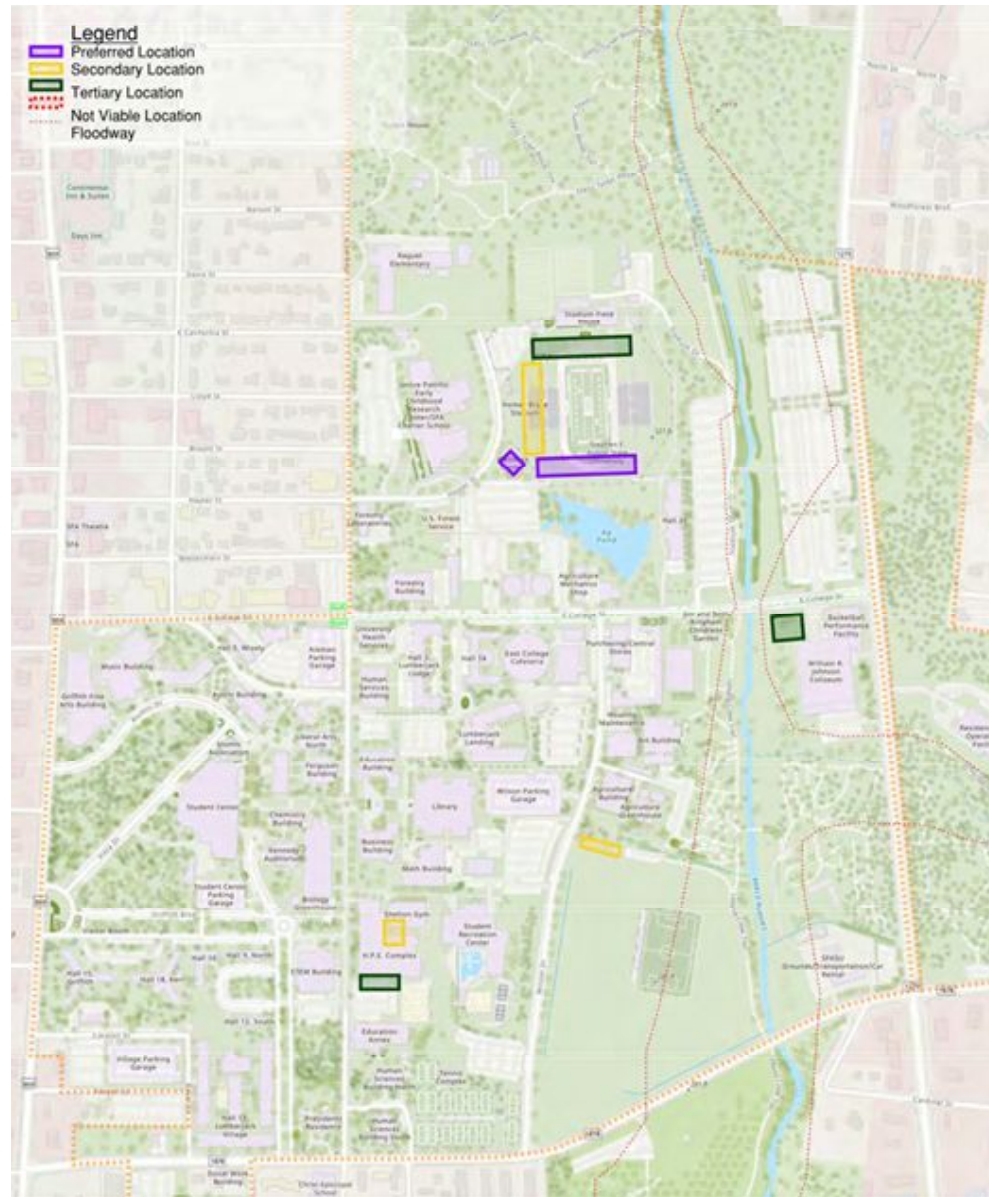
### **ADDITIONAL CONSIDERATIONS**

- Loddie – If the planning efforts upgrade the Coliseum, we could add more to this fantastic resource with an addition and renovation of back locker rooms along with user/building support.
- Soccer – Need all the spectator amenities, creating a dual-purpose locker room.
- Wellness Center – Good bones and available space. It is in a prominent location. It could be renovated for one of the following: academics, administrative staff/operations, and/or sports science.

### **PRELIMINARY PROGRAM**

To be determined based on location.

- 150,000 to 200,000 gross square feet



Scale: N.T.S. 



## **PRIORITY 2: BASEBALL & SOFTBALL PARKS WITH OPERATIONS & LOCKER ROOMS**

### ***0-5 YEAR TIMELINE***

Move Softball and Baseball back on to campus and provide a home for each that is integrated into the fabric of campus. It should include competition venues with appropriate spectator seating, hitting and pitching space, dugouts, concessions and public restrooms, supporting clubhouse space, coach's offices and meeting rooms.

### ***LOCATION***

- South Campus – preferred location. Immediate impact and elevation of both teams. It creates a key node for the south edge of campus. Fields will need to straddle Wilson Drive. Both fields could rotate based on preferred sun angles and foul ball landing zones. The site will require the relocation of the existing Tennis courts and pickleball courts. Parking should be considered if spectators need to cross East Starr Avenue.
- North – the majority of the land is in the current floodway and will face significant permitting challenges. An additional site is shown to move the facilities further north. Portions of the property north of the parking lots are not owned by SFA.

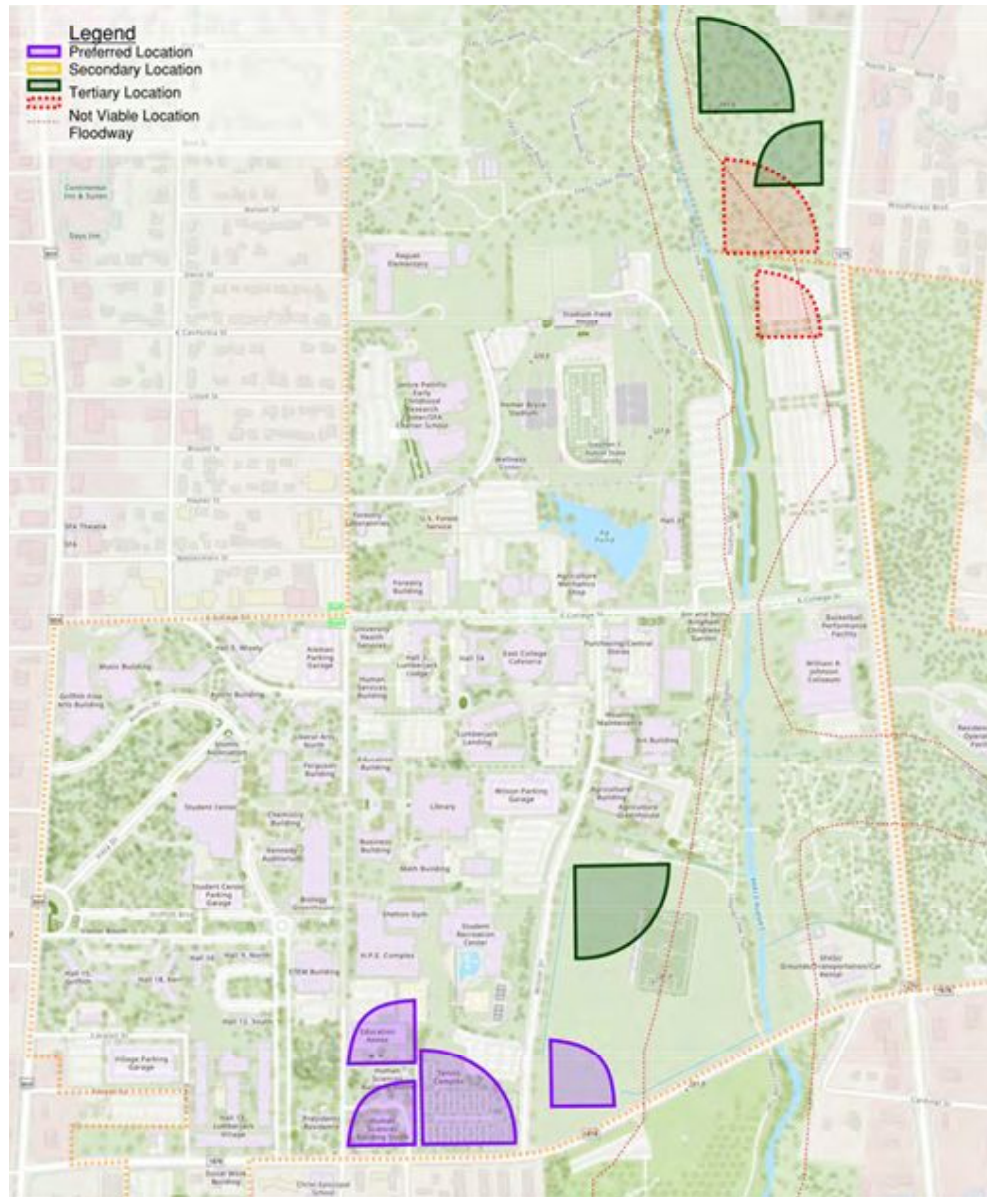
### ***ADDITIONAL CONSIDERATIONS***

- South Operations Facility – With the aggregation of Athletics venues and facilities in the south half of campus there would be a need to develop an operations location for those teams. The program will vary depending on the selected teams and functions but likely 35,000 to 70,000 SF.
- Foul ball territory should be considered with adjacent space.
- Batting cages and Clubhouse Facilities.
- Field orientation can vary.


### ***PRELIMINARY PROGRAM***

To be determined based on location:

- Baseball: 54,000 gross square feet; 2,500 seats
- Softball: 38,000 gross square feet; 1,500 seats



Map 4. Priority 2. Baseball and Softball Test Fit Options

Scale: N.T.S. 

## **PRIORITY 3: FOOTBALL STADIUM**

### ***0-5 YEAR TIMELINE***

The current stadium has significant challenges related to ADA accessibility as well as general circulation. The elevation change has provided a unique bowl enclosure, but also has created significant grade and circulation challenges. Additionally, the track and Football combined model is less desirable and keeps spectators farther removed from the action while impacting the game day experience for student-athletes. Homer Bryce Stadium has a capacity of 14,000 seats and an average 3,000 – 4,000 spectator attendance, with about 30% student seating. Upgrades could increase both numbers and provide students with a special atmosphere and dedicated services. This would include concessions, public restrooms, east and west bowl, press box and suites, loge seating, club area, ticketing and circulation and miscellaneous support spaces. The stadium has a significant revenue potential.

### ***LOCATION***

- Homer Bryce Stadium – planning did not explore alternate locations. All tertiary locations were deemed not desirable. The field would slide west to absorb the track space approximately 34' + and the east stands would shift approximately 68'. The existing concourse level is 18' above the field.

## **PRIORITY 4: SOCCER VENUE WITH OPERATIONS & LOCKER ROOMS**

### ***0-5 YEAR TIMELINE***

The existing Soccer field location is far removed from convenient circulation and is in a floodway and floodplain which means the competition/practice field is too often unusable due to moisture issues on the natural surface. Soccer student-athletes are disconnected from their support space and travel from the locker room to practice/competition venue by car. This disconnect is also present for spectators who must park and walk farther than desired. Includes concessions, public restrooms, spectator seating, team locker and meeting space, team lounge, satellite training, visitor locker room, storage, adjacent parking and general circulation.

### ***LOCATION***

- South – multiple options. The northern option is the preferred option since it is closer to parking leaving the most space available for other fields. Both options take advantage of the proximity to Wilson Drive.
- North – multiple options. The field could sit on the current parking lot but would have the same challenges as the existing location and the seating would need to move to the east, which is less conducive for spectators.

### ***ADDITIONAL CONSIDERATIONS***

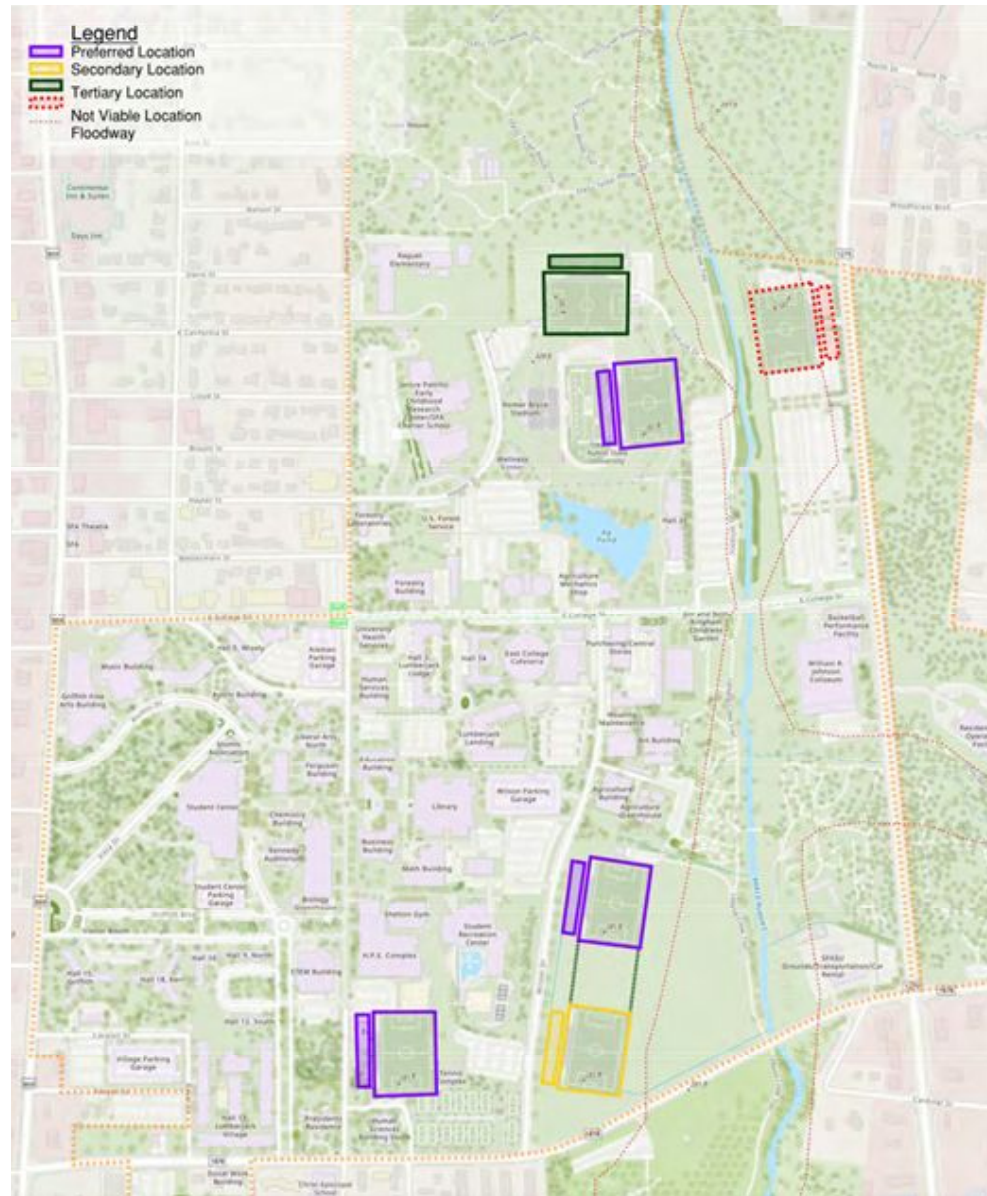
- Seating, concessions and the press box functions could be shared with other adjacent venues.

### ***PRELIMINARY PROGRAM***

To be determined based on location.

- 80,000 to 120,000 gross square feet
- 8,000 to 14,000 seats





**Map 5.** Priority 4. Soccer Venue Test Fit Options

Scale: N.T.S. 

## **PRIORITY 5: MODERNIZE JOHNSON COLISEUM**

### **5-10 YEAR TIMELINE**

Built on the impact the Loddie Naymola Basketball Performance Facility has had for SFA, the Coliseum work can be completed. The work would focus on the renovation of the arena and seating bowl to maximize the student-athlete and spectator experience. There is a good opportunity to take advantage of potential revenue streams. It includes new entries, clubs, boxes, seating upgrades, drink rails, food and beverage, concessions, merchandise, restrooms, guest services, ADA upgrades.

- See also the fieldhouse program where portions of that facility could be added to this facility, including academics, staff offices, hall of fame or team locker room space.

### **LOCATION**

- Johnson Coliseum – planning did not explore alternate locations. All tertiary locations were deemed not to be desirable.

### **PRELIMINARY PROGRAM**

To be determined based on location:

- Existing: 93,000 gross square feet
- Addition: 15,000 to 30,000 gross square feet
- Seats: 7,200 existing seats

## **PRIORITY 6: TRACK & FIELD VENUE WITH OPERATIONS & LOCKER ROOMS**

### **5-10 YEAR TIMELINE**

As the fieldhouse and stadium are re-imagined, a new home for Track and Field will be proposed and designed to specifically meet their needs. Running track oval and straight-away, field events, clubhouse with locker rooms and operations spaces, spectator seating, amenities and sitework will be included.

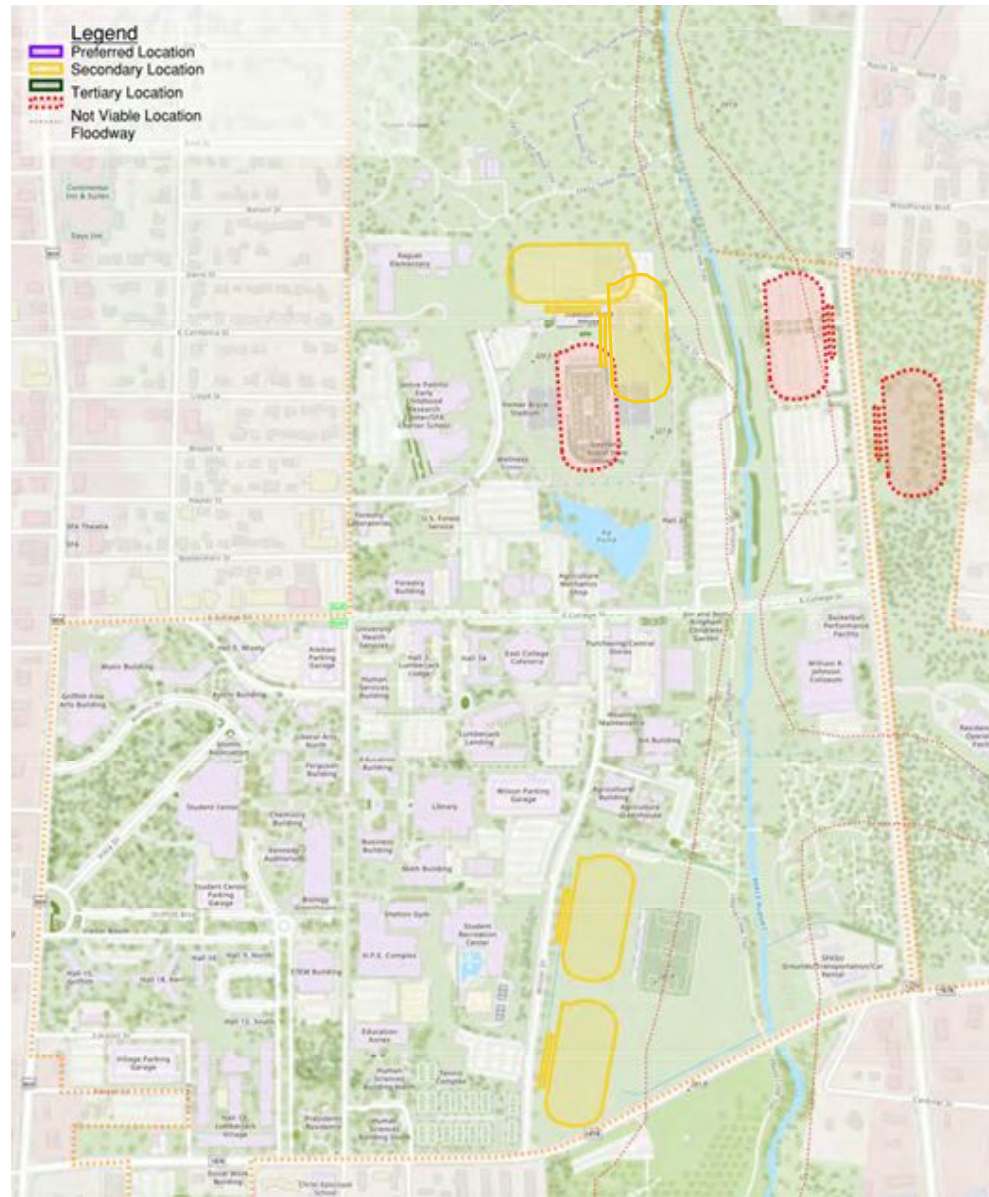
### **LOCATION**

- With the overall size of the track complex there are limited locations that would be viable.
- North – across Lanana Creek. The proposed site will take over two parking lots for the track. The site is partially in the floodway. The track surface and infield will need to be able to be fully submerged without delaminating or causing damage.
- North – existing practice fields. There is an additional track of land where the existing Football practice fields are located. This not desirable as natural grass fields are needed for surface variation. It could be feasible to use the infield for Football practice during the summer months if the track can be protected for egress. The orientation of the track would need to run east/west, which is not preferred based on wind and sun angles.
- Existing location – This is not seen as desirable as the stadium and fieldhouse take priority on this site.
- South – The track could fit just to the west of the existing Soccer complex though the scale of the track will overtake additional fields and the Soccer field would take priority on this location.

### **PRELIMINARY PROGRAM**

To be determined based on location.

- 15,000 to 20,000 gross square feet; 1,000 seats



Map 6. Priority 6. Track & Field Venue Test Fit Options

Scale: N.T.S. 



## **PRIORITY 7: MODERNIZE SHELTON GYM**

### **5-10 YEAR TIMELINE**

Shelton is a unique and desirable performance venue space and paired with HPE could be renovated to maximize the impact for student-athletes and spectators. With renovations, ADA upgrades, and minimal cosmetic modifications, it could take the arena space to the next level. It includes team film room, team locker rooms, coach's locker rooms, training, concessions, storage and ADA upgrades.

### **LOCATION**

- Shelton Gymnasium – planning did not explore alternate locations. All tertiary locations were deemed not to be desirable.
- HPE – planning did not explore alternate locations. All tertiary locations were deemed not to be desirable.

### **ADDITIONAL CONSIDERATIONS**

- Parking and access are a challenge for users. There is an adjacent parking resource for faculty and staff.
- HPE can serve to answer some of the programmatic needs for Shelton like the visitors' locker rooms.
- The South Operations, Baseball & Softball Fields, Bowling Lanes, Beach Volleyball and Tennis Complex can have an impact on the final timeline and location.

### **PRELIMINARY PROGRAM**

To be determined, based on location

- Existing: 39,000 gross square feet
- Addition: 0 to 50,000 gross square feet
- Seats: 1,000 existing seats

## **PRIORITY 8: RELOCATED OR UPDATED TENNIS VENUE**

### **5-10 YEAR TIMELINE**

The current Tennis courts operate well as a practice and competition facility and locker room. Additional courts are needed to host larger competitions. If the courts are relocated, the team locker room and operations could be upgraded. Includes additional courts, spectator amenities and scope to be determined with selection of the location.

### **LOCATION**

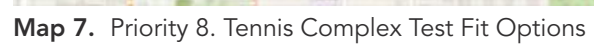
- Tennis Courts – Existing courts are in a good location.
- South – A new modern Tennis venue could be created on available land to the west of the existing complex to open up a larger track of land and find adjacencies for the team and operations.

### **ADDITIONAL CONSIDERATIONS**

- Parking and access are a challenge for users. There is an adjacent parking resource for faculty and staff.
- The Tennis courts could be located on top of a parking garage to maximize available land.
- Other programmatic elements could be located on top of a garage less natural grass fields.
- Campus Recreation has eight available Tennis courts immediately adjacent to the existing courts.
- The Fieldhouse, South Operations, Baseball & Softball Fields, Bowling Lanes, Shelton Gym, HPE and Beach Volleyball impact the final timeline and location.

### **PRELIMINARY PROGRAM** (To be determined based on location)

- Existing: 2,200 gross square feet | New: 4,000 to 10,000 gross square feet; 275 seats



BASIS OF NEED | 91

## **PRIORITY 10: INDOOR PRACTICE/TURF FACILITY**

### **10-15 YEAR TIMELINE**

Construct an indoor turf practice facility as a standalone facility or part of larger facility. Currently there is not an available indoor turf on campus. This type of space can help the entire department deal with the challenges of weather events and training continuity. Specifically in this East Texas region, precipitation, heat and sun exposure can greatly reduce the time available to train. The facility would potentially serve all teams as well as foster tailgates or other large-scale events. It includes a turf field, entry, lockers, restrooms, satellite training and storage.

### **LOCATION**

The indoor facility could be part of the overall stadium project in multiple locations or off-campus as part of a public/private partnership. On campus options include the following:

- North – on the existing practice fields running east / west. The facility could create the north bookend to mirror the potential south fieldhouse facility. The orientation limits the north / south field space
- North – on the existing practice fields running north / south. The facility could create the north bookend to mirror the potential south fieldhouse facility. The orientation allows the north / south orientation for the practice field.
- North – on the east side of the stadium. The facility could create the eastern horizon for the stadium complex and find shared operations.
- North – across Lanana Creek. The site is not viable in the floodway.
- South Campus – on the existing intramural fields. The site is not seen as desirable given the other potential locations.

### **ADDITIONAL CONSIDERATIONS**

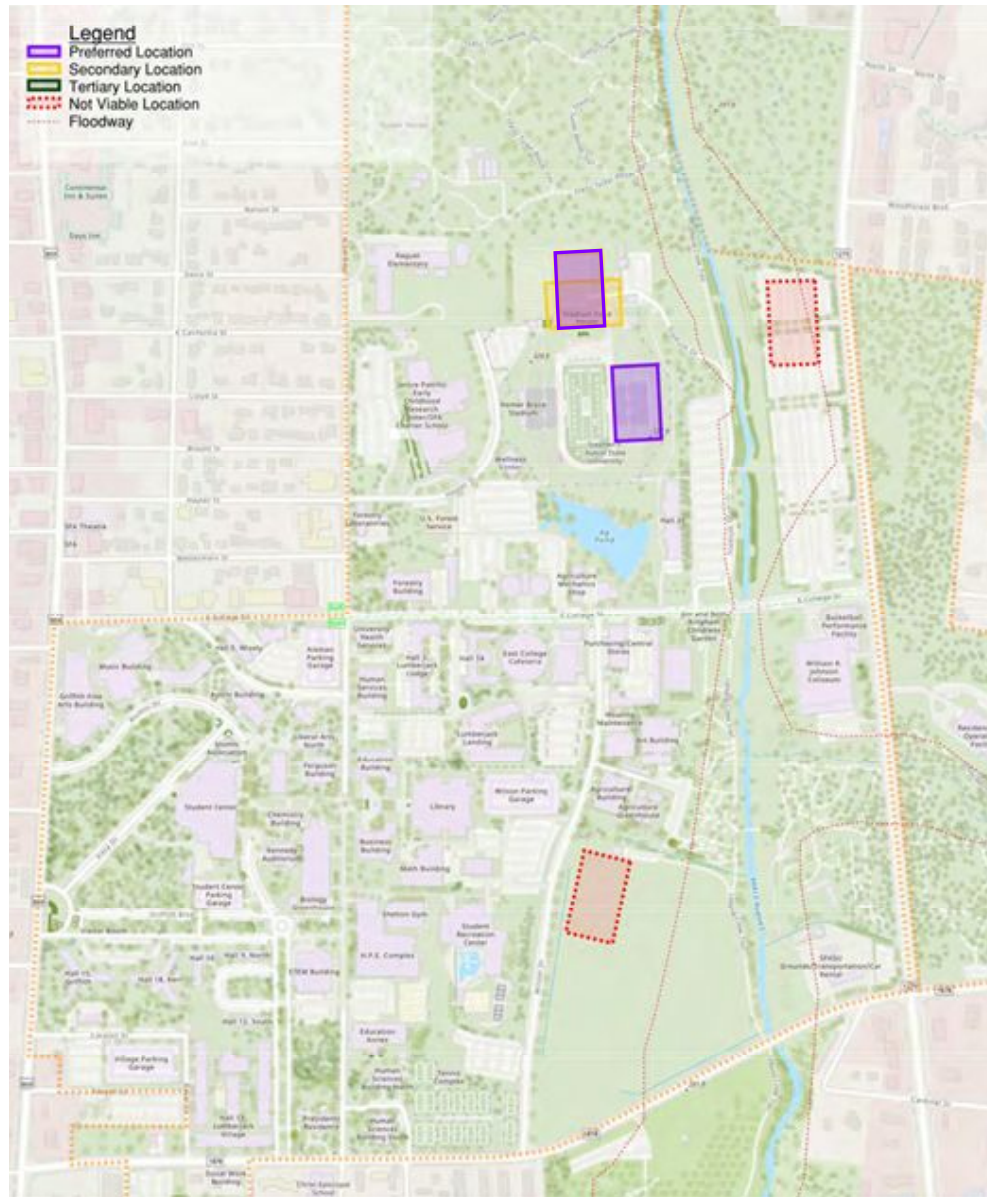
- Parking and access are a challenge for users. A ring road around the north linking with the lot would alleviate access problems.
- The fieldhouse, stadium and Track and Field facilities can have an impact on the final timeline and location.

### **PRELIMINARY PROGRAM**


To be determined based on location.

- 90,000 to 120,000 gross square feet





**Map 8.** Priority 10. Indoor Practice Test Fit Options

Scale: N.T.S. 

## PEER BENCHMARKING ANALYSIS

Peer benchmarking provides a critical framework for understanding how an institution's athletic facilities and programs compare to those of its competitive and aspirational peers. By examining factors such as facility quality, program offerings, and resource allocation, the benchmarking process helps identify both strengths and gaps relative to institutions of similar profile and ambition. This analysis ensures that future investments are strategically aligned to elevate the University's competitive position and support its long-term athletic goals.

|  | Universities                          | # of Women's Teams | # of Men's Teams | # of COED Teams | # of Women S-As | # of Men S-As | # of COED | Total # of Unique S-As | FB Stadium Seating | Competition Field | Stadium Suites |
|--|---------------------------------------|--------------------|------------------|-----------------|-----------------|---------------|-----------|------------------------|--------------------|-------------------|----------------|
| COMPARATIVE PEERS - SOUTHLAND CONFERENCE | Houston Christian University          | 8                  | 7                |                 | 142             | 226           |           | 368                    | 5,000              | Synthetic         | 0              |
|  | University of the Incarnate Word      | 12                 | 10               | 1               | 203             | 297           | 22        | 522                    | 6,000              | Synthetic         | 6              |
|  | Lamar University                      | 8                  | 7                |                 | 165             | 248           |           | 413                    | 16,000             | Synthetic         | 7              |
|  | McNeese State                         | 8                  | 5                |                 | 162             | 204           |           | 366                    | 17,410             | Synthetic         | 25             |
|  | University of New Orleans             | 6                  | 6                |                 | 68              | 100           |           | 168                    | NFB                | NFB               | NFB            |
|  | Nicholls State                        | 8                  | 7                |                 | 161             | 232           |           | 393                    | 10,500             | Synthetic         | 1 - Pres.      |
|  | Northwestern State University         | 7                  | 5                |                 | 124             | 206           |           | 330                    | 16,000             | Synthetic         | 0              |
|  | Stephen F. Austin State University    | 10                 | 6                | 2               | 241             | 231           | 345       | 576 + 60               | 14,575             | Synthetic         | 7; 200 cap.    |
|  | Southeastern Louisiana                | 8                  | 6                | 2               | 157             | 218           | 44        | 419                    | 7,400              | Synthetic         | 6              |
|  | Texas A&M University – Commerce       | 7                  | 5                |                 | 131             | 207           |           | 338                    | 11,582             | Synthetic         | 4              |
|  | Texas A&M University – Corpus Christi | 9                  | 5                |                 | 131             | 108           |           | 239                    | NFB                | NFB               | NFB            |
| ASPIRATIONAL & EXPLORATORY PEERS         | University of Texas Rio Grande Valley | 8                  | 8                |                 | 155             | 217           |           | 372                    | 12,000             | Synthetic         | 39             |
|  |                                       |                    |                  |                 |                 |               |           |                        |                    |                   |                |
|  | Tarleton State University             | 9                  | 6                |                 | 172             | 206           |           | 378                    | 24,000             | Synthetic         | 7              |
|  | University of South Dakota            | 10                 | 6                |                 | 230             | 230           |           | 460                    | 9,100              | Synthetic         | 10             |
|  | University of Montana                 | 8                  | 5                |                 | 167             | 183           |           | 350                    | 25,217             | Synthetic         | 46             |
|  | University of North Dakota            | 8                  | 7                |                 | 188             | 213           |           | 401                    | 12,283             | Synthetic         | 18             |
|  | Montana State University              | 8                  | 7                |                 | 165             | 219           |           | 384                    | 20,767             | Synthetic         | 38             |
|  | Sam Houston State                     | 9                  | 6                |                 | 158             | 241           |           | 399                    | 14,000             | Synthetic         | 12             |
|  | Abilene Christian University          | 8                  | 7                |                 | 134             | 214           |           | 348                    | 12,000             | Synthetic         | 10             |
|  | Texas State                           | 8                  | 6                |                 | 139             | 225           |           | 364                    | 28,000             | Synthetic         | 15             |
|  | North Dakota State                    | 7                  | 7                |                 | 171             | 228           |           | 399                    | 19,000             | Synthetic         | 16             |
|  | North Texas                           | 8                  | 5                |                 | 167             | 189           |           | 356                    | 30,100             | Synthetic         | 21             |
|  | South Dakota State                    | 9                  | 8                |                 | 249             | 314           |           | 563                    | 19,340             | Synthetic         | 29             |
|  |                                       |                    |                  |                 |                 |               |           |                        |                    |                   |                |

| Stadium Club Seating | Indoor Turf | Outdoor Practice Field     | Football Locker Room     | Soccer - Outdoor Field       | Soccer - Seating Capacity | Track & Field Outdoor        | Indoor Track   | Basketball Arena Capacity |              |
|----------------------|-------------|----------------------------|--------------------------|------------------------------|---------------------------|------------------------------|----------------|---------------------------|--------------|
| 0                    | No          | Stadium                    | Yes - Sharp Gym          | 2 - Natural                  | 500                       | 9 lane - synthetic           | 200 M          | 1,000                     | No           |
| 0                    | No          |                            | Yes - 2008               | 2 - Natural                  | 6,000                     | 8 lane - synthetic           | No             | 2,000                     | No           |
| 75                   | No          |                            | Yes - 2010               | 1 - Natural                  | 500                       | 8 lane - synthetic           | No             | 10,080                    | 2 clubs - 21 |
| 110                  | No          | 3 fields                   | Yes - 2023 (116 Lockers) | 1 - Natural                  | 500                       | 8 lane - synthetic           | No             | 4,242                     | 8 suites     |
| NFB                  | No          | NFB                        | N/A                      | N/A                          | N/A                       | 8 lane - synthetic (62)      | No             | 8,785                     |              |
| 30                   | Yes         | Covered Syn. & 1 Open Syn. | New - 2021               | Synthetic                    | 1,000                     | 8 lane - synthetic (15)      | No             | 3,800                     |              |
| 240                  | No          | 1.5 - Natural Grass        | Reno - 2021              | 1 - Natural                  | 250                       | 8 lane - synthetic           | No             | 3,400                     | No           |
| 90                   | No          | 1.5 - Natural Grass        | 2,810 sf                 | 1 - Natural                  | 1,200                     | 8 lane - synthetic (25) (55) | No             | 7,200                     |              |
| 112                  | No          | 2 - Natural Grass          | Planned                  | 1 - Natural                  | 250                       | 8 lane synthetic             | No             | 7,500                     | No           |
| 0                    | No          | No                         | New - 2020               | 1 - Natural                  | 500                       | 8 lane - synthetic           | No             | 3,055                     | No           |
| NFB                  | No          | NFB                        | N/A                      | 1 - Synthetic                | 1,000 + suites            | 8 lane - synthetic           | No             | 8,000                     | 10 suites    |
| 180                  | No          | 2 fields - 1 Syn & 1 Nat   | Planned                  | 1 - Natural                  | 1,250                     | 8 lane - synthetic           | No             | 2,700                     | No           |
|                      |             |                            |                          |                              |                           |                              |                |                           |              |
| Unknown              | No          | 1 - Synthetic              | 16,000 SF - New          | Synthetic (2022)             | Unknown                   | 8 lane - synthetic           | No             | 8,000                     |              |
| 400                  | Yes         | 1 Synthetic - 2020         | New - 2020               | 1 Syn & 1 Nat - 2019         | 800                       | 9 lane - synthetic           | 8 lane - 200 M | 6,000                     | 200 person   |
| 500                  | Yes (29)    | 1 - Natural                | 7,100 sf - 2017          | 1 - Natural -2019            | 1,000                     | 10 lane - synthetic          | Yes            | 7,000                     | No           |
| 1,560 sf/ 104        | Yes (50)    | Synthetic -2024            | New - 2024               | 1 - Natural -2020            | 250                       | Practice Indoors             | 8 lane - 300 M | 3,300                     | 200 person   |
| 500                  | Yes (28)    | 1 - Natural                | New - 2021               | No Soccer                    | 0                         | 8 lane - synthetic           | 6 lane - 300 M | 6,772                     |              |
| 225                  | No          | 0                          | New - 2021               | 1 - Synthetic                | 2,100                     | 9 lane - synthetic           | 200 M          | 6,100                     | 100 person   |
| 500 (event)          | No          | 1 Syn- 70 y; 1 Nat 70 y    | New - 2017               | No Soccer                    | 1,000                     | 8 lane - synthetic           | No             | 3,600                     |              |
| 450                  | No          | 1 - Natural Grass          | Planning                 | 1 - Natural                  | 500                       | 8 lane - synthetic           | No             | 7,200                     | 100 person   |
| 0                    | Yes (34)    | 1 - Synthetic              | New - 2020               | 1 - Synthetic                | 2,600                     | 8 lane - synthetic           | 8 lane - 200 M | 5,460                     | Club: Seati  |
| 750                  | Yes         | 1 - Nat Grass; 1 Synthetic | New - 2018               | 1 - Natural - Sand Base (52) | 1,500                     | 8 lane - synthetic           | No             | 10,500                    |              |
| 600                  | Yes         | 0                          | Built - 2010             | 1 - Natural                  | 1,000                     | 8 lane - synthetic           | 8 lane - 300 M | 5,000                     | 12 suites    |



## PEER BENCHMARKING ANALYSIS - CONTINUED

|  | Universities                          | Basketball Suites     | Basketball Practice Facility | Volleyball | Beach Volleyball | Football Only Weight Room/Performance | Hockey Weight Room Only |
|--|---------------------------------------|-----------------------|------------------------------|------------|------------------|---------------------------------------|-------------------------|
| COMPARATIVE PEERS - SOUTHLAND CONFERENCE | Houston Christian University          | No                    | Competition Gym              | 1,000      | N/A              | No                                    | N/A                     |
|  | University of the Incarnate Word      | No                    | Competition Gym              | 2,000      | N/A              | No                                    | N/A                     |
|  | Lamar University                      | 2 clubs - 203 people  | 2 courts                     | 500        | N/A              | Yes                                   | N/A                     |
|  | McNeese State                         | 8 suites              | 142,000 SF - New 2018        | 500        | 9 courts         | No                                    | N/A                     |
|  | University of New Orleans             | No                    | Multiple                     | 1,760      | 5 Courts         | N/A                                   | N/A                     |
|  | Nicholls State                        | No                    | 0                            | 3,800      | 12 Courts        | New - 2021                            | N/A                     |
|  | Northwestern State University         | No                    | 3 courts                     | 3,400      | N/A              | No                                    | N/A                     |
|  | Stephen F. Austin State University    | No                    | 54,000 sf; 1.5 courts        | 1,000      | 4 - New          | No                                    | N/A                     |
|  | Southeastern Louisiana                | No                    | # of Courts Unknown          | 7,500      | 3 Courts         | No                                    | N/A                     |
|  | Texas A&M University – Commerce       | No                    | 5 courts                     | 3,055      | 4 courts         | No                                    | N/A                     |
|  | Texas A&M University – Corpus Christi | 10 suites             | 1 Court at The Fieldhouse    | 1,200      | 3 Courts         | N/A                                   | N/A                     |
| ASPIRATIONAL & EXPLORATORY PEERS         | University of Texas Rio Grande Valley | No                    | New - 2024                   | 2,700      | N/A              |                                       | N/A                     |
|  |                                       |                       |                              |            |                  |                                       |                         |
|  | Tarleton State University             | 1,500 person club     | 1 court (old gym)            | 750        | N/A              | Yes; 1,500 sf (New)                   | N/A                     |
|  | University of South Dakota            | 200 person club       | 2 practice courts            | 6,000      | N/A              | No                                    | N/A                     |
|  | University of Montana                 | No                    | 3 courts                     | 7,000      | N/A              | No                                    | N/A                     |
|  | University of North Dakota            | 200 person club       | # of Courts Unknown          | 3,300      | N/A              | No                                    | New 12,500 SF           |
|  | Montana State University              | No                    | # of Courts Unknown          | 1,900      | N/A              | No                                    | N/A                     |
|  | Sam Houston State                     | 100 person club       | # of Courts Unknown          | 6,100      | N/A              | No                                    | N/A                     |
|  | Abilene Christian University          | 130 person club       | 1 court                      | 3,600      | N/A              | Yes                                   | N/A                     |
|  | Texas State                           | 100 person club       | # of Courts Unknown          | 7,200      | N/A              | Yes; 8,000 sf                         | N/A                     |
|  | North Dakota State                    | Club: Seating Unknown | 2 courts                     | 1,206      | N/A              | 12,000 sf Nodak                       | N/A                     |
|  | North Texas                           | No                    | # of Courts Unknown          | 450        | N/A              | No                                    | N/A                     |
|  | South Dakota State                    | 12 suites             | 2 new courts                 | 5,000      | N/A              | No                                    | N/A                     |
|  |                                       |                       |                              |            |                  |                                       |                         |

| Shared Performance/Weight Room                            | Strength & Conditioning/<br>Performance<br>FTEs | Sports Medicine                       | Treatment & Taping Tables | Plunge Pools | Underwater Tread Mills | Indoor Golf Practice Facility |
|---|---|---------------------------------------|---------------------------|--------------|------------------------|-------------------------------|
| Yes; W Rm at the FB Stadium                               |   | Training - 2                          |                           |              |                        | No                            |
| Yes   |   | Yes - 3                               |                           |              |                        | Yes - 2015                    |
| Yes; 8,000 sf weight room                                 | Yes   | Yes - 2 N/A 5                         | Yes - 2                   |              |                        | No                            |
| Yes, Reno 2024; 8,000 sf, 20 racks                        |   | Yes - 2,600 sf                        |                           |              |                        | No                            |
| Yes - 2,600 sf - 2019                                     | N/A   | Yes N/A                               | Yes                       |              |                        | Yes                           |
| Phase 2   |   | Phase 2                               |                           |              |                        | Yes                           |
| Yes   |   | Yes                                   |                           |              |                        | Yes                           |
| Yes; 2 W Rms - 7,120 sf                                   | No  | Yes; 6,797 sf N/A 4                   | 12 Yes; 6,797 sf          | 2            | 1                      | Yes                           |
| Yes - 6,000 sf - Nutrition                                | No  | Yes N/A                               | Yes                       |              |                        | No                            |
| Combined; 14 Racks  |   | Yes                                   |                           |              |                        | Yes; 2,000 sf                 |
| The Fieldhouse  |   | Yes - 2022                            | 4                         |              |                        | No                            |
| 45,000 Perf. and S&C - New                                | 4   | Yes N/A 4                             | Yes                       |              |                        | Yes                           |
|   |   |                                       |                           |              |                        |                               |
| Yes. Reno 2015. 16 racks; 2-3 S-A rack                    | 6   | Yes                                   |                           |              |                        | No                            |
| 7,500 sf - 12 - 2 sided racks. 2-3 S-A/rack               | No  | Yes N/A 4                             | Yes                       |              |                        | No                            |
| 51,000 sf - 2017; 19,500 sf W Rm; 20 racks; 60 yards turf | 3   | Yes - 7,200 sf, Reno. 2019            |                           |              |                        | Yes                           |
| 4 Weight Rooms;   | 3   | Yes; 4 facilities, 5,500 sf; new 2024 | 35 (9 taping)             | 2 cold       | 2                      | No                            |
| Yes - New 2021; 10,000 sf, 12 racks                       | 5   | Yes - 2021                            |                           |              |                        | Yes                           |
| Yes; 11,000 sf; 12 Racks                                  | 4   | Yes - 2021; 2,750 sf                  | 16 (6 taping)             | 2            | 0                      | Yes                           |
| 5 Rms, 8,000 sf   | Yes   | Yes N/A 5                             | Yes                       |              |                        | Yes                           |
| Planning. 8,000 sf  | 6   | Planning. 3,000 sf                    |                           |              |                        | Yes                           |
| 7,500 sf; Sanford Health Athletic Complex                 | 4   | 3 Sport Med Spaces + Contract         |                           |              |                        | Yes                           |
| Yes. Planned new 20,000 sf; 16 - 2 sided racks            | 7   | Yes                                   |                           |              |                        | Yes                           |
| Yes - 2 W Rms - 9,300 sf                                  | No  | New N/A 3                             | New                       |              |                        | Yes                           |

2

1

## PEER BENCHMARKING ANALYSIS - CONTINUED

|  | Universities                          | Wrestling      | Baseball Field      | Baseball Seating Capacity | Softball Field  | Softball Seating Capacity | Academic Center   | Academic FTEs |
|--|---------------------------------------|----------------|---------------------|---------------------------|-----------------|---------------------------|-------------------|---------------|
| COMPARATIVE PEERS - SOUTHLAND CONFERENCE | Houston Christian University          | No             | Natural Grass       | 500                       | Natural Grass   | 300                       |                   |               |
|  | University of the Incarnate Word      | No             | Natural Grass       | 1,000                     | Natural Grass   | 250                       |                   |               |
|  | Lamar University                      | No             | Natural Grass       | 3,500                     | Natural Grass   | 500                       |                   |               |
|  | McNeese State                         | No             | Synthetic - All     | 2,000                     | Synthetic - All | 1,200                     |                   |               |
|  | University of New Orleans             | No             | Natural Grass       | 2,705                     | N/A             | N/A                       |                   |               |
|  | Nicholls State                        | No - 2         | Synthetic - Infield | 3,200                     | Synthetic - All | 500                       |                   |               |
|  | Northwestern State University         | No             | Synthetic - Infield | 1,200                     | Synthetic - All | 1,000                     |                   |               |
|  | Stephen F. Austin State University    | No             | Natural Grass       | 740 + Left Club           | Natural Grass   | 750                       | 10 comp/ 1,367 sf | 5             |
|  | Southeastern Louisiana                | No             | Synthetic - Infield | 2,500                     | Synthetic - All | 500                       |                   |               |
|  | Texas A&M University – Commerce       | No             | NBB                 | NBB                       | Synthetic - All | 800                       |                   |               |
|  | Texas A&M University – Corpus Christi | No             | Natural Grass       | 500                       | Natural Grass   | 250                       |                   |               |
| ASPIRATIONAL & EXPLORATORY PEERS         | University of Texas Rio Grande Valley | No             | Natural Grass       | 5,000                     | N/A             | N/A                       |                   |               |
|  |                                       |                |                     |                           |                 |                           |                   |               |
|  | Tarleton State University             | Yes; 10,000 sf | Synthetic - All     | 1,000                     | Synthetic - All | 750                       |                   |               |
|  | University of South Dakota            | Yes            | N/A                 | N/A                       | N/A             | N/A                       |                   |               |
|  | University of Montana                 | No             | N/A                 | N/A                       | Synthetic - All | 638                       |                   |               |
|  | University of North Dakota            | No             | N/A                 | N/A                       | Synthetic - All | 500                       |                   |               |
|  | Montana State University              | No             | N/A                 | N/A                       | N/A             | N/A                       |                   |               |
|  | Sam Houston State                     | No             | Synthetic - All     | 1,163                     | Natural         | 400                       |                   |               |
|  | Abilene Christian University          | No             | Synthetic - All     | 4,000                     | Synthetic - All | 1,000                     |                   |               |
|  | Texas State                           | No             | Synthetic - All     | 2,500                     | Synthetic - All | 1,000                     |                   |               |
|  | North Dakota State                    | Yes            | Natural Grass       | 4,419                     | Synthetic - All | 735                       |                   |               |
|  | North Texas                           | No             | N/A                 | N/A                       | Natural         | 450                       |                   |               |
|  | South Dakota State                    | Yes - New      | Natural Grass       | 600                       | Synthetic - All | 1,000                     |                   |               |







## PLAN OPTIONS

Developing plan options is an essential step in translating vision, identified needs and priorities into actionable, physical solutions. Through an iterative design process, multiple combinations of facility locations, layouts, and program relationships were explored to evaluate their functional, operational, and aesthetic impacts. This approach allowed the planning team and stakeholders to compare alternatives, refine ideas, and ultimately arrive at a balanced solution that best supports SFA's athletic vision and long-term growth.

### OPTION A



*North Campus NW Aerial View - Option A*



*North Campus SE Aerial View - Option A*



*South Campus SW Aerial View - Option A*



*South Campus NE Aerial View - Option A*





North Campus Plan - Option A



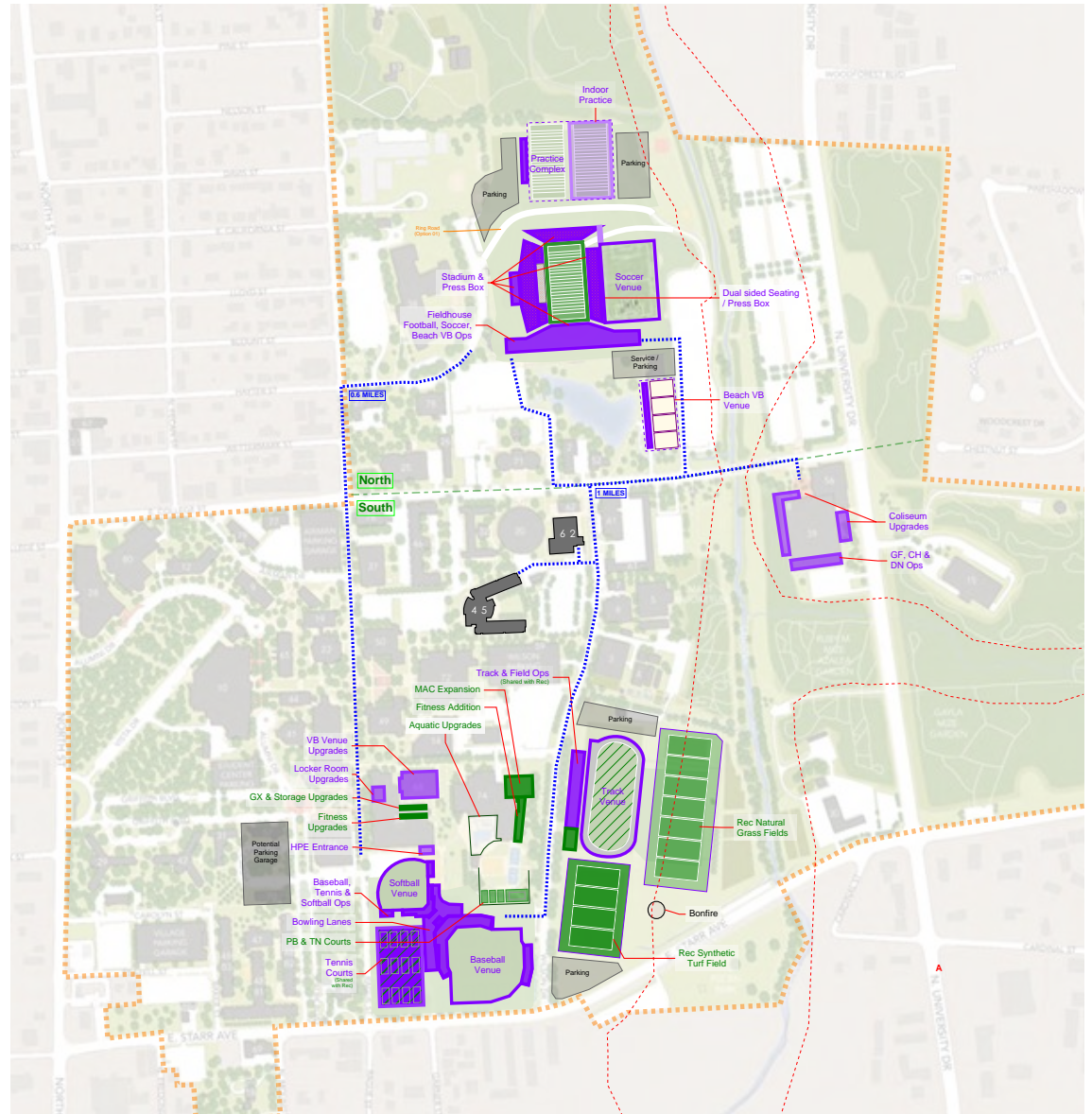
South Campus Plan - Option A

#### Athletic Legend - Timeline

- 0-5 Year
- 5-10 Year
- 10-15 Year

#### Recreation Legend - Timeline

- 0-5 Year
- 5-10 Year
- 10-15 Year



Map 9. Athletics Master Plan Option A

Scale: N.T.S.



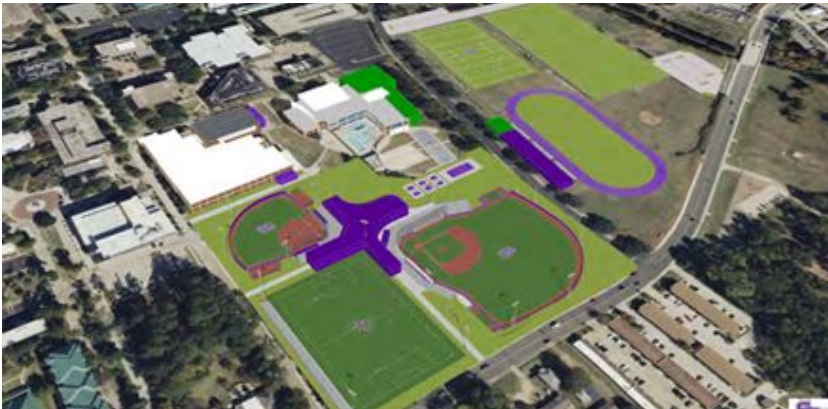
## OPTION B



*North Campus NW Aerial View - Option B*



*North Campus SE Aerial View - Option B*



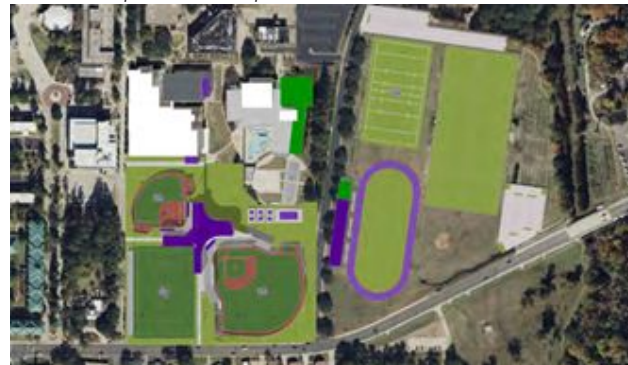
*South Campus SW Aerial View - Option B*



*South Campus NE Aerial View - Option B*



North Campus Plan - Option B



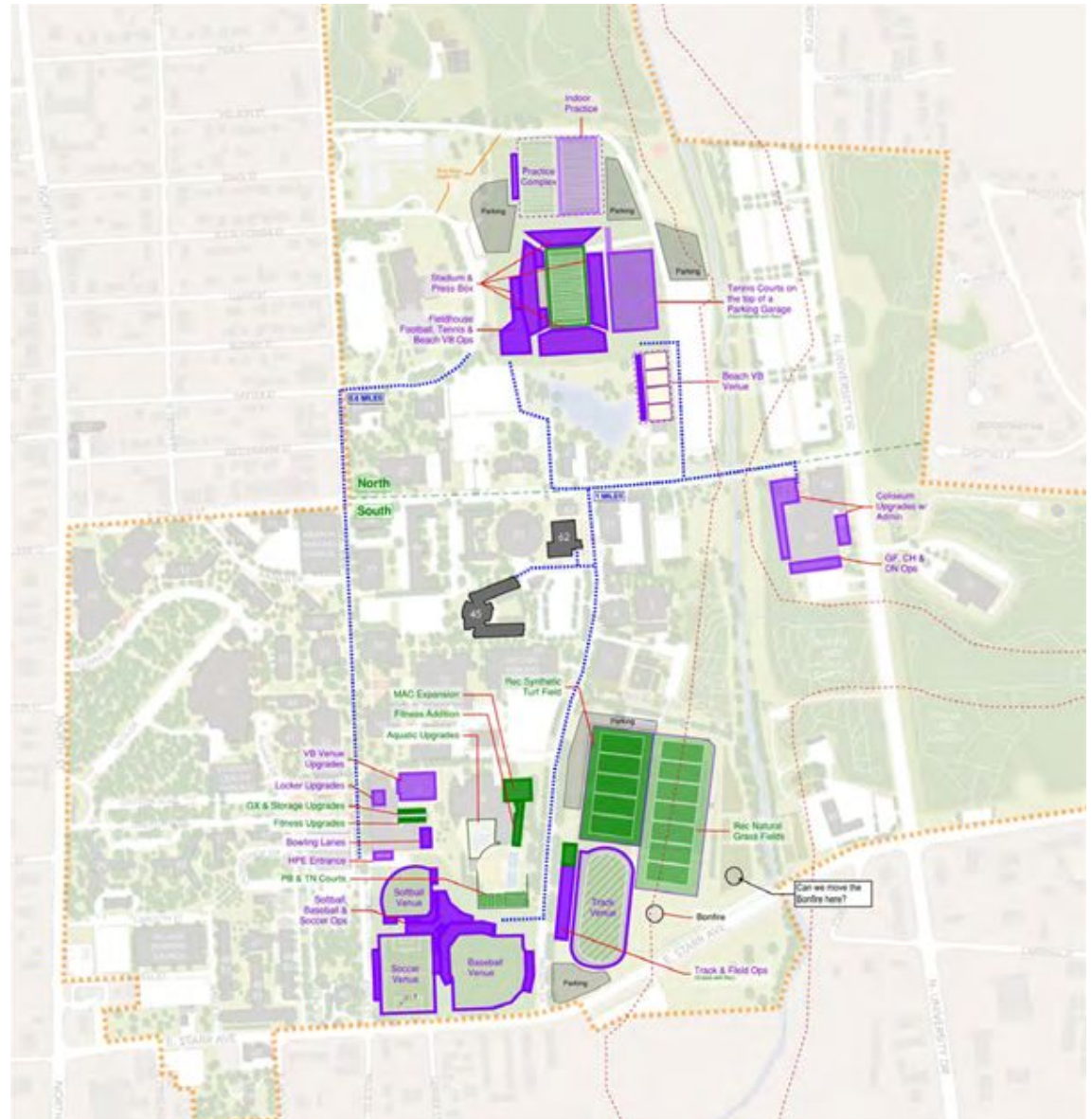
South Campus Plan - Option B

#### Athletic Legend - Timeline

- 0-5 Year
- 5-10 Year
- 10-15 Year

#### Recreation Legend - Timeline

- 0-5 Year
- 5-10 Year
- 10-15 Year



Map 10. Athletics Master Plan Option B

Scale: N.T.S.



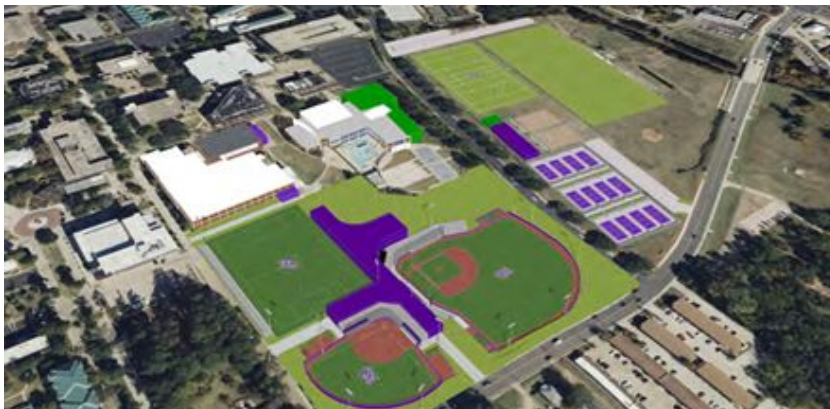
## OPTION C



*North Campus NW Aerial View - Option C*



*North Campus SE Aerial View - Option C*



*South Campus SW Aerial View - Option C*

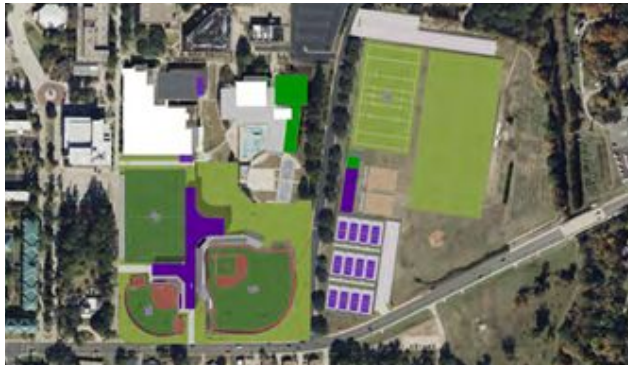


*South Campus NE Aerial View - Option C*





North Campus Plan - Option C



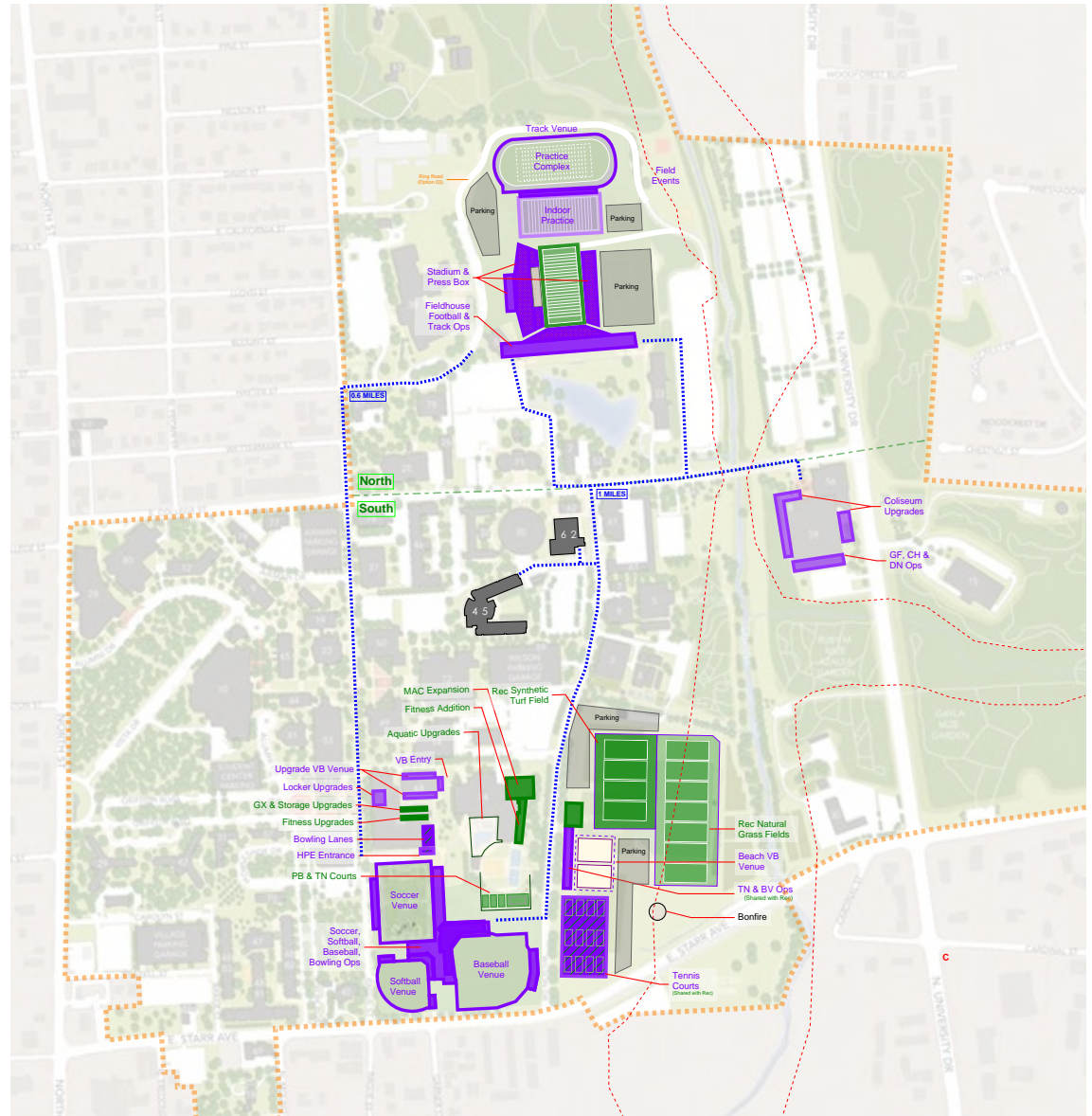
South Campus Plan - Option C

#### Athletic Legend - Timeline

- 0-5 Year
- 5-10 Year
- 10-15 Year

#### Recreation Legend - Timeline

- 0-5 Year
- 5-10 Year
- 10-15 Year



Map 11. Athletics Master Plan Option C

Scale: N.T.S.

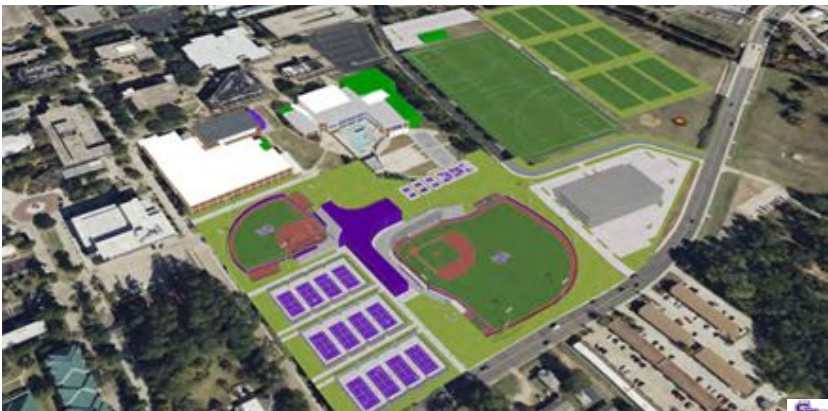
## OPTION D



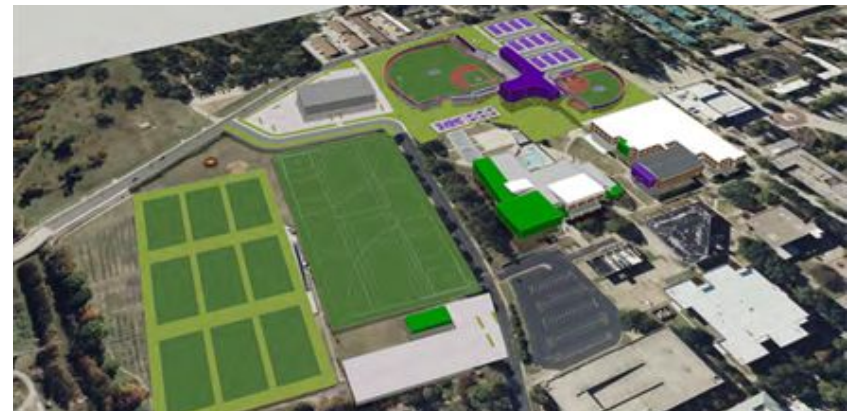
North Campus NW Aerial View - Option D



North Campus SE Aerial View - Option D



South Campus SW Aerial View - Option D





South Campus NE Aerial View - Option D







## Athletic Legend - Timeline


0-5 Year 

5-10 Year 

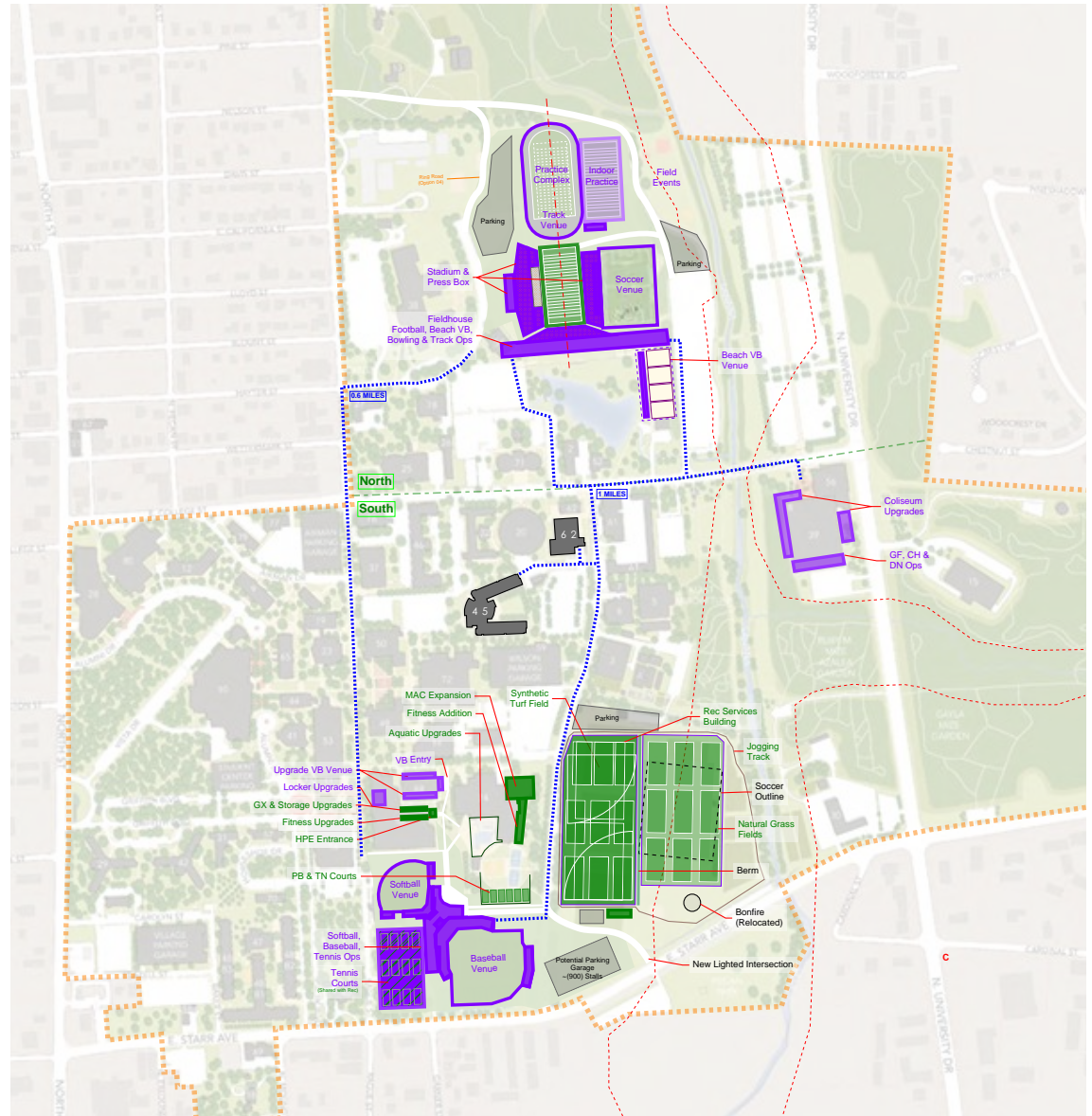
10-15 Year 

### Recreation Legend - Timeline

0-5 Year 

5-10 Year 

10-15 Year ☐



**Map 12.** Athletics Master Plan Option D

Scale: N.T.S. 





## OPTION EVALUATION MATRIX

The planning team, in collaboration with University stakeholders, developed conceptual options that were systematically evaluated against established criteria in the form of a matrix. That review tool included the visioning, programmatic needs and how well each option served the broader student body, faculty, and staff.

Athletic facilities must be renovated and expanded or replaced to maximize the existing spaces as well as address the need for overall student-athlete success. Each option was assessed using a strength-to-challenge rating system where strengths scored the highest points and challenges scored lower point values. The evaluation assessed critical factors such as the replacement of the fieldhouse, integration with stadium improvements, spectator entry and circulation patterns, administrative staff, revenue models and operational efficiency, and provision for future programming.

The matrix also assessed conflicts with campus attributes such as floodway limitations affecting field placement, topography impacting accessibility and construction costs, and adjacencies to future development opportunities that could limit athletic facility utilization and student engagement. Option D distinguished itself by prominently positioning

athletics operations across North and South Campus, returning Softball and Baseball facilities to campus, strategically locating the stadium, fieldhouse, Soccer Venue, and indoor practice facility, optimizing athlete and coach experiences, creating revenue streams through premium seating and upgraded spectator amenities, enhancing recruitment through consolidated state-of-the-art facilities, and establishing cohesive North and South Campus athletics districts with exceptional connectivity.

The configuration successfully addresses floodway constraints, relocates Wilson Drive to optimize functionality, create efficient team and spectator circulation, and provides flexible phasing with strong return on investment. This option positions SFA Athletics for sustained competitive success while supporting the diverse needs of all athletic programs from Football and basketball to Baseball, Softball, Soccer, Tennis, and Track and Field.

## OPTION EVALUATION MATRIX

| Category                        | Sub Category / Item             | Athletic and Recreation Site Plan Options - Strength (3) / Challenge (1) |            |           |            |           |            |           |            |
|---------------------------------|---------------------------------|--|------------|-----------|------------|-----------|------------|-----------|------------|
|                                 |                                 | Option A   |            | Option B  |            | Option C  |            | Option D  |            |
|                                 |                                 | Athletics  | Recreation | Athletics | Recreation | Athletics | Recreation | Athletics | Recreation |
| Vision / Goals / Objectives     | Showcase Athletics              | 2  |            | 3         |            | 2         |            | 3         |            |
|                                 | Showcase Recreation             |  | 2          |           | 2          |           | 2          |           | 3          |
|                                 | Revenue Generation              | 3  |            | 2         |            | 2         |            | 3         |            |
|                                 | Enhance Recruitment & Retention | 2  | 1          | 3         | 2          | 1         | 2          | 3         | 3          |
|                                 | Enhance Membership              |  | 2          |           | 2          |           | 2          |           | 2          |
|                                 | Enhance Program Culture         | 2  | 2          | 3         | 2          | 2         | 2          | 3         | 3          |
|                                 | Planning Goals                  | 2  | 2          | 2         | 2          | 2         | 2          | 3         | 3          |
|                                 | Planning Objectives             | 2  | 1          | 2         | 2          | 2         | 2          | 2         | 3          |
| Impact on Campus Infrastructure | General Parking                 | 2  | 2          | 3         | 2          | 1         | 3          | 3         | 3          |
|                                 | Student Pedestrian Flow         | 2  | 2          | 2         | 2          | 2         | 2          | 3         | 3          |
|                                 | Emergency/Life Safety           | 2  | 2          | 2         | 2          | 2         | 2          | 2         | 2          |
| Access                          | Student-Athletes                | 2  |            | 2         |            | 3         |            | 3         |            |
|                                 | Students                        | 2  | 2          | 2         | 2          | 2         | 2          | 3         | 3          |
|                                 | Staff                           | 2  | 2          | 3         | 2          | 2         | 2          | 2         | 2          |
|                                 | Spectators                      | 2  | 2          | 3         | 2          | 1         | 3          | 3         | 3          |
|                                 | Outside Rental                  | 3  | 2          | 1         | 2          | 2         | 2          | 2         | 2          |
|                                 | Community Membership            |  | 2          |           | 2          |           | 2          |           | 2          |
| Stadium Connection Nodes        | Stadium Spectator Entry         | 2  |            | 3         |            | 2         |            | 3         |            |
|                                 | Ticketing                       |  |            |           |            |           |            |           |            |
|                                 | ADA/ Elevator                   |  |            |           |            |           |            |           |            |
|                                 | Stadium VIP Entry               |  |            |           |            |           |            |           |            |
|                                 | VIP Ticketing                   |  |            |           |            |           |            |           |            |
|                                 | VIP ADA/ Elevator               |  |            |           |            |           |            |           |            |
|                                 | Stadium Team Entry              |  |            |           |            |           |            |           |            |
|                                 | Home - Team Practice            |  |            |           |            |           |            |           |            |
|                                 | Home - Team Competition         |  |            |           |            |           |            |           |            |
|                                 | Visitor - Team Competition      |  |            |           |            |           |            |           |            |
|                                 | Band Entry                      | 2  |            | 2         |            | 2         |            | 2         |            |
|                                 | Maintenance Entry               | 2  |            | 2         |            | 2         |            | 2         |            |
|                                 | Emergency/Life Safety Entry     | 2  |            | 2         |            | 2         |            | 2         |            |
|                                 | Fieldhouse                      | 2  |            | 1         |            | 2         |            | 2         |            |

## OPTION EVALUATION MATRIX - CONTINUED

| Category                               | Sub Category / Item                | Athletic and Recreation Site Plan Options - Strength (3) / Challenge (1) |            |           |            |           |            |           |            |
|--|------------------------------------|--|------------|-----------|------------|-----------|------------|-----------|------------|
|  |                                    | Option A   |            | Option B  |            | Option C  |            | Option D  |            |
|  |                                    | Athletics  | Recreation | Athletics | Recreation | Athletics | Recreation | Athletics | Recreation |
| Fieldhouse Connection Nodes            | Student-Athlete: Housing Proximity | 2  |            | 2         |            | 2         |            | 2         |            |
|  | Student-Athlete: Parking Proximity | 1  |            | 3         |            | 3         |            | 2         |            |
|  | Performance Center Proximity       | 2  |            | 2         |            | 2         |            | 2         |            |
|  | Training/Recovery Center Proximity | 2  |            | 2         |            | 2         |            | 2         |            |
|  | Strength & Conditioning Proximity  | 2  |            | 2         |            | 2         |            | 2         |            |
|  | Academic Center Proximity          | 2  |            | 2         |            | 2         |            | 2         |            |
| South Athletic Campus Connection Nodes | Spectator Entry                    |  |            |           |            |           |            |           |            |
|  | Parking                            | 2  |            | 1         |            | 1         |            | 3         |            |
|  | Ticketing                          |  |            |           |            |           |            |           |            |
|  | ADA/Ramps                          |  |            |           |            |           |            |           |            |
|  | VIP Entry                          |  |            |           |            |           |            |           |            |
|  | Parking                            |  |            |           |            |           |            |           |            |
|  | VIP Ticketing                      |  |            |           |            |           |            |           |            |
|  | VIP ADA                            |  |            |           |            |           |            |           |            |
|  | Team Entry                         |  |            |           |            |           |            |           |            |
|  | Home - Practice                    |  |            |           |            |           |            |           |            |
|  | Home - Competition                 |  |            |           |            |           |            |           |            |
|  | Visitor - Competition              |  |            |           |            |           |            |           |            |
|  | Stadium Rentals                    |  |            |           |            |           |            |           |            |
|  | Maintenance Entry                  |  |            |           |            |           |            |           |            |
|  | Emergency Entry                    |  |            |           |            |           |            |           |            |
|  | North Athletic Campus Fieldhouse   |  |            |           |            |           |            |           |            |
|  | Wilson Drive Crossing              | 2  |            | 2         |            | 2         |            | 3         |            |



## OPTION EVALUATION MATRIX - CONTINUED

| Category  | Sub Category / Item              | Athletic and Recreation Site Plan Options - Strength (3) / Challenge (1) |            |           |            |           |            |           |            |
|---|----------------------------------|--|------------|-----------|------------|-----------|------------|-----------|------------|
|   |                                  | Option A   |            | Option B  |            | Option C  |            | Option D  |            |
|   |                                  | Athletics  | Recreation | Athletics | Recreation | Athletics | Recreation | Athletics | Recreation |
| South Athletic Campus<br>Connection Nodes                           | Spectator Entry                  |  |            |           |            |           |            |           |            |
|   | Parking                          | 2  |            | 1         |            | 1         |            | 3         |            |
|   | Ticketing                        |  |            |           |            |           |            |           |            |
|   | ADA/Ramps                        |  |            |           |            |           |            |           |            |
|   | VIP Entry                        |  |            |           |            |           |            |           |            |
|   | Parking                          |  |            |           |            |           |            |           |            |
|   | VIP Ticketing                    |  |            |           |            |           |            |           |            |
|   | VIP ADA                          |  |            |           |            |           |            |           |            |
|   | Team Entry                       |  |            |           |            |           |            |           |            |
|   | Home - Practice                  |  |            |           |            |           |            |           |            |
|   | Home - Competition               |  |            |           |            |           |            |           |            |
|   | Visitor - Competition            |  |            |           |            |           |            |           |            |
|   | Stadium Rentals                  |  |            |           |            |           |            |           |            |
|   | Maintenance Entry                |  |            |           |            |           |            |           |            |
|   | Emergency Entry                  |  |            |           |            |           |            |           |            |
|   | North Athletic Campus Fieldhouse |  |            |           |            |           |            |           |            |
|   | Wilson Drive Crossing            | 2  |            | 2         |            | 2         |            | 3         |            |
| Loddie Naymola Basketball<br>Performance Center<br>Connection Nodes | Spectator Entry                  |  |            |           |            |           |            |           |            |
|   | Ticketing                        | 2  |            | 2         |            | 2         |            | 2         |            |
|   | ADA                              | 2  |            | 2         |            | 2         |            | 2         |            |
|   | VIP Entry                        |  |            |           |            |           |            |           |            |
|   | Ticketing                        | 2  |            | 2         |            | 2         |            | 2         |            |
|   | Team Entry                       |  |            |           |            |           |            |           |            |
|   | Home - Practice                  |  |            |           |            |           |            |           |            |
|   | Home - Competition               |  |            |           |            |           |            |           |            |
|   | Visitor - Competition            |  |            |           |            |           |            |           |            |
|   | D/C & Golf Access                | 1  |            | 1         |            | 1         |            | 1         |            |
|   | D/C & Golf Parking               | 1  |            | 1         |            | 1         |            | 1         |            |
|   | Arena Rentals                    |  |            |           |            |           |            |           |            |
|   | State                            |  |            |           |            |           |            |           |            |
|   | Shows                            | 1  |            | 1         |            | 1         |            | 1         |            |
|   | Administrative Staff Entry       |  |            |           |            |           |            |           |            |
|   | Staff Parking                    | 2  |            | 2         |            | 2         |            | 2         |            |
|   | Visitor - Access                 | 2  |            | 2         |            | 2         |            | 2         |            |
|   | Visitor - Parking                | 2  |            | 2         |            | 2         |            | 2         |            |

## OPTION EVALUATION MATRIX - CONTINUED

| Category                          | Sub Category / Item        | Athletic and Recreation Site Plan Options - Strength (3) / Challenge (1) |            |           |            |           |            |           |            |
|-----------------------------------|----------------------------|--|------------|-----------|------------|-----------|------------|-----------|------------|
|                                   |                            | Option A   |            | Option B  |            | Option C  |            | Option D  |            |
|                                   |                            | Athletics  | Recreation | Athletics | Recreation | Athletics | Recreation | Athletics | Recreation |
| SRC + HPE + IM/Comp Sports Fields | Student Entry              |  |            |           |            |           |            |           |            |
|                                   | Lobby                      |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Passive Rec                |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Wellness                   |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Fitness & Weights          |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Group Studios              |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Courts / Gymnasia / MAC's  |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Climbing / Bouldering      |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Outdoor Pursuits           |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | IM / Comp Sports Fields    |  | 1          |           | 2          |           | 2          |           | 3          |
|                                   | Tennis / Pickle Ball       |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Aquatics                   |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Administrative Staff Entry |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | <b>Sub-Total</b>           |  | <b>70</b>  |           | <b>26</b>  |           | <b>67</b>  |           | <b>30</b>  |
|                                   | <b>Sub-Total</b>           |  |            |           | <b>74</b>  |           | <b>28</b>  |           | <b>82</b>  |
| Conflicts                         | Campus Attributes          |  |            |           |            |           |            |           |            |
|                                   | LaNana Creek Floodway      | NO   | YES        | NO        | YES        | NO        | YES        | NO        | YES        |
|                                   | Ag Pond                    | YES  | NO         | YES       | NO         | YES       | NO         | YES       | NO         |
|                                   | Wilson Drive               | YES  | YES        | YES       | YES        | YES       | YES        | NO        | YES        |
|                                   | Topography                 | YES  | NO         | YES       | NO         | YES       | NO         | YES       | NO         |
|                                   | Janice Pattillo ECRC       | YES  | NO         | YES       | NO         | YES       | NO         | YES       | NO         |
|                                   | Raguet Elementary          | YES  | NO         | YES       | NO         | YES       | NO         | YES       | NO         |
|                                   | President's Residence      | NO   | NO         | NO        | NO         | YES       | NO         | NO        | NO         |
|                                   | Utilities                  |  |            |           |            |           |            |           |            |
|                                   | Water                      |  |            |           |            |           |            |           |            |
|                                   | Sanitary                   |  |            |           |            |           |            |           |            |
|                                   | Storm                      |  |            |           |            |           |            |           |            |
|                                   | Gas                        |  |            |           |            |           |            |           |            |
|                                   | Electric                   |  |            |           |            |           |            |           |            |
|                                   | Communications             |  |            |           |            |           |            |           |            |
|                                   | Lighting                   |  |            |           |            |           |            |           |            |
|                                   | Future Development         |  |            |           |            |           |            |           |            |
|                                   | Housing                    | YES  | NO         | NO        | NO         | NO        | NO         | NO        | NO         |
|                                   | Parking                    |  |            |           |            |           |            |           |            |
|                                   | Rugby                      |  | NO         |           | NO         |           | NO         |           | NO         |

## OPTION EVALUATION MATRIX - CONTINUED

| Category    | Sub Category / Item | Athletic and Recreation Site Plan Options - Strength (3) / Challenge (1) |            |           |            |           |            |           |            |
|-------------|---------------------|--|------------|-----------|------------|-----------|------------|-----------|------------|
|             |                     | Option A   |            | Option B  |            | Option C  |            | Option D  |            |
|             |                     | Athletics  | Recreation | Athletics | Recreation | Athletics | Recreation | Athletics | Recreation |
| Big Picture | Phasing             | 2  | 2          | 1         | 2          | 3         | 2          | 3         | 2          |
|             | Investment          | 2  | 2          | 1         | 2          | 3         | 2          | 2         | 3          |
|             | ROI                 |  |            |           |            |           |            |           |            |
|             | Sub- Total          | 4  | 4          | 2         | 4          | 6         | 4          | 5         | 5          |
|             | Grand Total         | 74   | 30         | 76        | 32         | 73        | 34         | 87        | 42         |

3











# PROPOSED SCOPE

# PROPOSED SCOPE

## ATHLETICS PROJECT SCOPE SUMMARY

The Stephen F. Austin State University Intercollegiate Athletics Master Plan encompasses a comprehensive transformation of athletics facilities across multiple campus locations. The scope includes demolition, renovation, new construction, and site improvements spanning both North Campus and South Campus athletics districts. The proposed scope encompasses 410,000 net square feet. The plan addresses critical infrastructure needs for football, basketball, volleyball, soccer, Track and Field, Baseball, Softball, Tennis, cheer, and dance programs. Major initiatives include construction of a 190,500 GSF Fieldhouse serving as the central hub for student-athlete resources; a redesigned Football Stadium with 10,440-seat capacity; new Baseball and Softball Venues returning these programs to campus; a 87,360 GSF South Operations Building consolidating support spaces; and modernization of existing facilities including Johnson Coliseum, Shelton Gymnasium, and Norton HPE Complex. The 95,260 GSF Indoor Practice Facility addresses year-round training needs while Track and Field receives a dedicated 400-meter facility. Site work includes field development, lighting, scoreboards, utilities, plazas, parking, and landscape improvements to create cohesive

athletics districts.

The project also incorporates substantial renovations to address accessibility, safety, and functional deficiencies in existing facilities. Johnson Coliseum undergoes a major transformation adding 21,440 GSF of new space and renovating existing facility to enhance spectator amenities with premium seating, clubs, suites, improved concessions, restrooms, and ADA-compliant access. Shelton Gymnasium receives focused improvements for the volleyball program including new entry, elevator, updated locker rooms, team spaces, and enhanced arena systems. Norton HPE Complex renovations support both athletics and campus recreation with improved fitness areas, new locker rooms for visiting teams, and dedicated practice space for cheer and dance programs. Each facility incorporates modern sports medicine, strength and conditioning, nutrition, academic support, and team meeting spaces to comprehensively support student-athlete development and performance.

The phased implementation strategy prioritizes projects based on programmatic urgency, operational efficiency, and competitive impact. Early phases focus on consolidating

fragmented operations and addressing critical infrastructure deficiencies with the Fieldhouse, stadium, and South Campus facilities. Mid-term projects expand capacity and modernize secondary venues including the Track and Field, Shelton Gym, and Tennis. Long-term initiatives complete the vision with the Indoor Practice Facility providing weather independent training capabilities. All construction is planned to maintain continuous athletics operations with careful sequencing, temporary accommodations, and strategic early bid packages for demolition, site preparation, and utilities.



## BUILDING & FACILITY INITIATIVES

### Academic

- A** Science Building
- B** Long-Term Building Site
- C** McKibben Building Renovation
- D** Boynton Music Expansion
- E** Art Building
- F** Facilities Services & Operations + Academic Building
- G** Agriculture Building Renovation
- H** Long-Term Military Science & Aviation Sciences Expansion
- I** Greenhouses
- J** Social Work Building Renovation

### Athletic/Recreation

- K** Tennis Venue
- L** South Operations Venue
- M** Baseball Venue
- N** Softball Venue
- O** Norton HPE Renovation & Addition
- P** Shelton Renovation & Addition
- Q** Student Recreation Center Renovation & Addition
- R** Recreation Support - Field Services Bldg.
- S** Loop Trail & Challenge Course
- T** Recreation Fields - Intramural & Competitive Sports
- U** Johnson Coliseum Renovation & Addition
- V** Fieldhouse Building
- W** Football Stadium
- X** Soccer Stadium
- Y** Indoor Practice
- Z** Track & Field + Practice

### Student Experience

- AA** Auditorium/Welcome Center
- BB** R.W. Steen Library Renovation
- CC** Student Housing A
- DD** Student Housing B
- EE** Student Housing C
- FF** Student Housing D

### Garages

- GG** Garage A
- HH** Garage B
- II** Garage C + University Police Facility

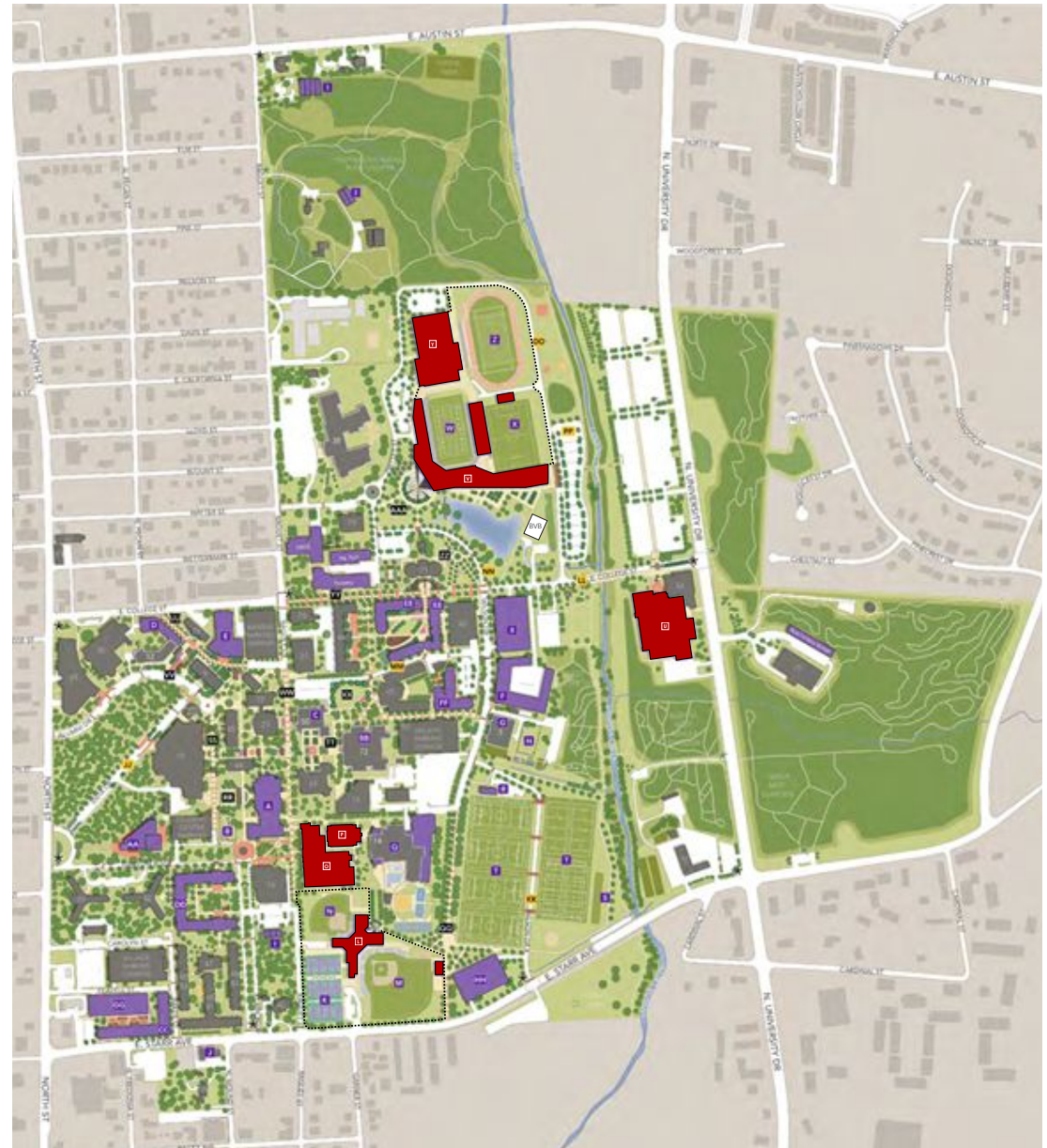
## TRANSPORTATION INITIATIVES

(areas not included in other facility initiatives)

- JJ** Vista Drive & Alumni Drive Street Modifications
- KK** Wilson Drive Realignment
- LL** College Street Modifications
- MM** McKibben/Library Access Road
- NN** North Wilson Drive Extension
- OO** Stadium Loop Drive
- PP** East Stadium Parking

## LANDSCAPE INITIATIVES

- QQ** Wilson Mall
- RR** Central Quad
- SS** Student Center Mall Enhancements
- TT** Central Mall Area
- UU** Aikman Mall
- VV** Austin Plaza
- WW** Raguet Mall Extension
- XX** Steen Open Space
- YY** College Mall
- ZZ** Steen Hall Courtyards
- AAA** Lumberjack Quad & Stadium Plaza
- \* \*** Gateway Signage



Map 13. Proposed Athletic Scope (facilities outlined and marked in red)

Scale: N.T.S. 

# NORTH CAMPUS ATHLETICS SCOPE

## FIELDHOUSE BUILDING

**Size:** 190,000 GSF

**Height:** Four Stories

The Fieldhouse serves as the north Athletics Hub and primary operations center for student-athletes, coaches, and staff. This facility anchors the athletics district and creates strong connections with adjacent venues through the stadium walkway and shared amenities.

### Athletic and Performance Spaces

- Sports medicine and therapy suites: exam rooms, hydrotherapy, recovery, and rehab zones.
- Sports performance center: weight training, cardio, and agility spaces with direct access to outdoor fields.
- Training table and nutrition center: team dining area, nutrition offices, and fueling stations.

### Football, Soccer and Track and Field Operational Facilities

- Locker rooms and lounges for football, soccer, and Track and Field.
- Team offices and meeting rooms for coaching and support staff.

### Administrative and Academic Support

- Offices for athletic administration, coaching staff, and academic support services.
- Meeting and collaboration spaces for staff and student-athletes.
- Hall of fame and heritage area highlighting athletic excellence and program history.

### Connectivity and Shared Features

- Direct walkway connection to the stadium, creating a unified game day and training environment.
- Integration with the LJ Quad, adjacent plazas, and the Ag Pond views to enhance campus connection and outdoor engagement.
- Shared spaces and amenities to encourage interaction between different sports programs.

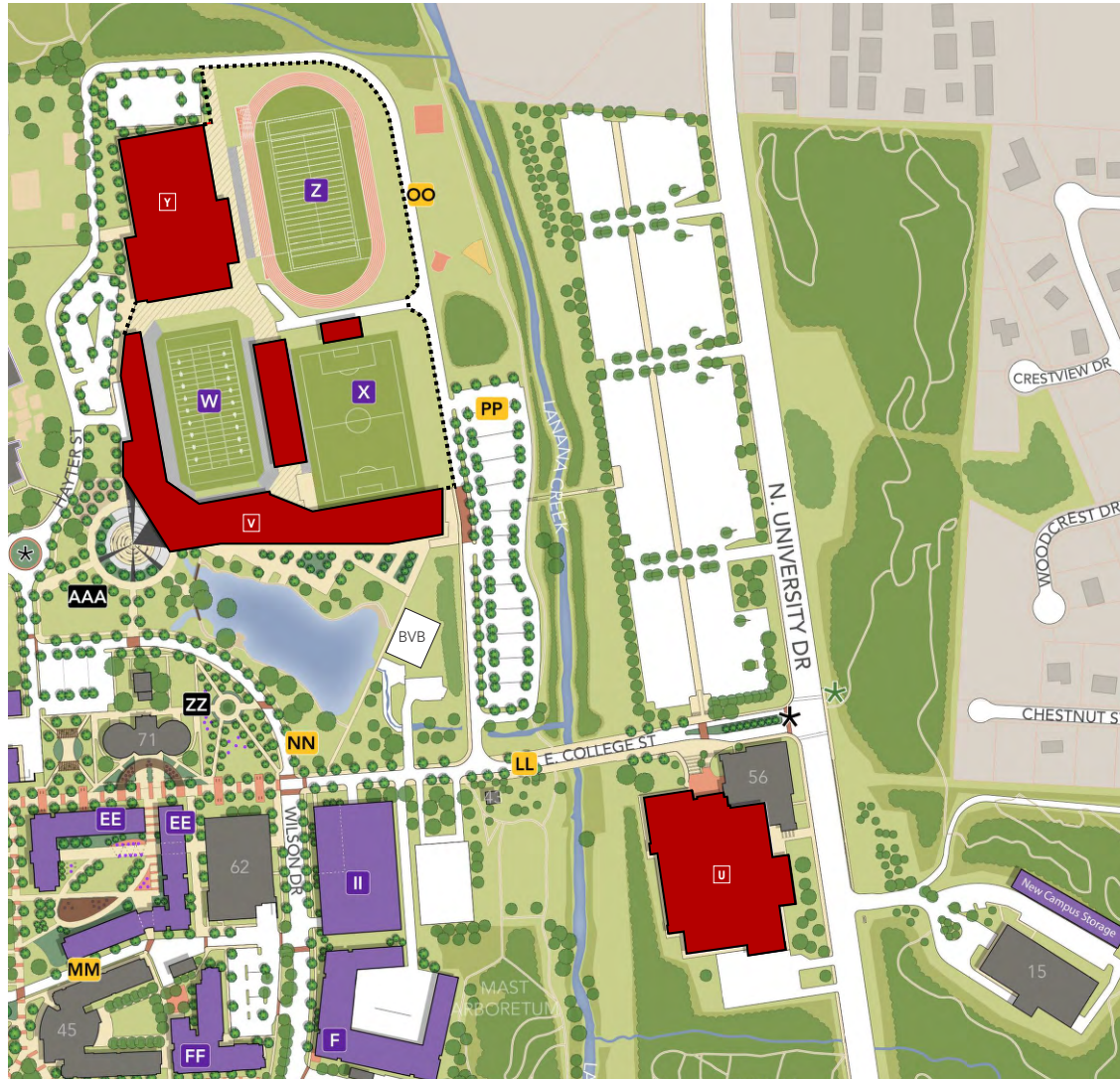
### Exterior and Site Design

- Architectural emphasis on transparency, showcasing athlete activity and pride.
- Landscaped plazas for team gatherings, events, and public engagement.
- Orientation maximizing views toward the Ag Pond and natural daylight into training and common areas.



**Map 14.** North Campus Athletics District





## BUILDING & FACILITY INITIATIVES

### Academic

- A** Science Building
- B** Long-Term Building Site
- C** McKibben Building Renovation
- D** Boynton Music Expansion
- E** Art Building
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- K** Tennis Venue
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- U** Johnson Coliseum Renovation & Addition
- V** Fieldhouse Building
- W** Football Stadium
- X** Soccer Stadium
- Y** Indoor Practice
- Z** Track & Field + Practice

### Student Experience

- AA** Auditorium/Welcome Center
- BB** R.W. Steen Library Renovation
- CC** Student Housing A
- DD** Student Housing B
- EE** Student Housing C
- FF** Student Housing D

### Garages

- GG** Garage A
- HH** Garage B
- II** Garage C + University Police Facility

## TRANSPORTATION INITIATIVES

(areas not included in other facility initiatives)

- JJ** Vista Drive & Alumni Drive Street Modifications
- KK** Wilson Drive Realignment
- LL** College Street Modifications
- MM** McKibben/Library Access Road
- NN** North Wilson Drive Extension
- OO** Stadium Loop Drive
- PP** East Stadium Parking

## LANDSCAPE INITIATIVES

- QQ** Wilson Mall
- RR** Central Quad
- SS** Student Center Mall Enhancements
- TT** Central Mall Area
- UU** Aikman Mall
- VV** Austin Plaza
- WW** Raguet Mall Extension
- XX** Steen Open Space
- YY** College Mall
- ZZ** Steen Hall Courtyards
- AAA** Lumberjack Quad & Stadium Plaza
- \* \*** Gateway Signage



## FIELDHOUSE PROGRAM

| Building Function / Space                | Unit | Area   | Extension         | Comments                          |
|--|------|--------|-------------------|-----------------------------------|
| <b>1.00 Circulation</b>                  |      | w/GSF  |                   |                                   |
| <b>2.00 Public Space</b>                 |      |        | <b>6,470 SF</b>   |                                   |
| Lobby                                    | 1    | 2,000  | 2,000 SF          |                                   |
| Personal Care - Lactation / Medical Room | 1    | 100    | 100 SF            |                                   |
| Hall of Fame                             | 1    | 3,000  | 3,000 SF          |                                   |
| Public Restroom(s)                       |      |        |                   |                                   |
| Mens                                     | 2    | 225 SF | 450 SF            | Distributed thru-out the building |
| Womens                                   | 2    | 300 SF | 600 SF            | Distributed thru-out the building |
| Single Occupancy                         | 4    | 80 SF  | 320 SF            | Distributed thru-out the building |
| <b>3.00 Athletics</b>                    |      |        | <b>126,454 SF</b> |                                   |
| <b>3.01 Team Offices</b>                 |      |        | <b>9,190 SF</b>   |                                   |
| <b>Football</b>                          |      |        |                   |                                   |
| Lobby                                    | 1    | 200    | 200 SF            |                                   |
| Receptionist - Admin Assist              | 2    | 100    | 200 SF            |                                   |
| Head Coach                               | 1    | 350    | 350 SF            |                                   |
| Head Coach Restroom                      | 1    | 150    | 150 SF            |                                   |
| Associate Head Coach                     | 1    | 250    | 250 SF            |                                   |
| Coordinators                             | 3    | 200    | 600 SF            |                                   |
| Assistant Coach(es)                      | 12   | 150    | 1,800 SF          |                                   |
| Ops Director                             | 1    | 150    | 150 SF            |                                   |
| Quality Control                          | 3    | 100    | 300 SF            |                                   |
| Recruitment Office                       | 1    | 150    | 150 SF            |                                   |
| Graduate Assistants                      | 1    | 250    | 250 SF            |                                   |
| Video                                    | 1    | 150    | 150 SF            |                                   |
| Conference                               | 1    | 420    | 420 SF            |                                   |
| Workroom                                 | 1    | 200    | 200 SF            |                                   |
| Suite Storage                            | 1    | 100    | 100 SF            |                                   |
| Suite Restroom                           | 2    | 80     | 160 SF            |                                   |
| <b>Womens Soccer</b>                     |      |        |                   |                                   |
| Lobby                                    | 1    | 150    | 150 SF            |                                   |
| Head Coach                               | 1    | 200    | 200 SF            |                                   |
| Assistant Coaches                        | 3    | 150    | 450 SF            |                                   |
| Suite Storage / Workroom                 | 1    | 150    | 150 SF            |                                   |
| <b>Track &amp; Field</b>                 |      |        |                   |                                   |
| Lobby                                    | 1    | 200    | 200 SF            |                                   |
| Head Coach                               | 1    | 200    | 200 SF            |                                   |
| Assistant Coach(es)                      | 4    | 150    | 600 SF            |                                   |
| Suite Storage                            | 1    | 100    | 100 SF            |                                   |
| <b>Meeting Rooms - Shared</b>            |      |        |                   |                                   |
| Medium Meeting Room                      | 1    | 600    | 600 SF            |                                   |
| Small Meeting Room                       | 1    | 240    | 240 SF            |                                   |
| Huddle Room                              | 1    | 80     | 80 SF             |                                   |
| Work - Shared                            | 1    | 200    | 200 SF            |                                   |
| Break Room - Shared                      | 1    | 200    | 200 SF            |                                   |
| General Office Storage                   | 1    | 150    | 150 SF            |                                   |
| <b>Office Restroom(s)</b>                |      |        |                   |                                   |
| Single Occupancy                         | 3    | 80     | 240 SF            |                                   |
| <b>3.02 Staff Offices</b>                |      |        | <b>11,314 SF</b>  |                                   |
| <b>Administration</b>                    |      |        |                   |                                   |
| Lobby & Reception                        | 1    | 200    | 200 SF            |                                   |
| Admin Assistant                          | 3    | 100    | 300 SF            |                                   |

| Building Function / Space          | Unit | Area  | Extension | Comments                            |
|------------------------------------|------|-------|-----------|-------------------------------------|
| Athletic Insurance Coordinator     | 1    | 150   | 150 SF    |                                     |
| <b>Executive Office(s)</b>         |      |       |           |                                     |
| Director of Athletics              | 1    | 350   | 350 SF    |                                     |
| AD Restroom                        | 1    | 150   | 150 SF    |                                     |
| Deputy AD for Admin & SWA          | 1    | 200   | 200 SF    |                                     |
| Sr Assoc AD for Ext Affairs        | 1    | 150   | 150 SF    |                                     |
| Sr Assoc AD for S-A Services (FB)  | 1    | 150   | 150 SF    |                                     |
| Sr Assoc AD of Int Affairs         | 1    | 150   | 150 SF    |                                     |
| Assoc AD for Strat Comm (FB, MBB)  | 1    | 150   | 150 SF    |                                     |
| Assist AD for Compliance           | 1    | 150   | 150 SF    |                                     |
| <b>Administration</b>              |      |       |           |                                     |
| Receptionist Admin Assistant       | 3    | 100   | 300 SF    |                                     |
| Athletic Insurance Coordinator     | 1    | 150   | 150 SF    |                                     |
| <b>Academic</b>                    |      |       |           | Likely located with Academic Center |
| Athletic Advisor                   | 4    | 150   | 600 SF    |                                     |
| Graduate Assistant                 | 1    | 64    | 64 SF     |                                     |
| <b>Compliance</b>                  |      |       |           |                                     |
| Entry / Lobby                      | 1    | 150   | 150 SF    |                                     |
| Director of Comp & Risk            | 1    | 150   | 150 SF    |                                     |
| Assist of Comp                     | 2    | 100   | 200 SF    |                                     |
| <b>Development &amp; Ticketing</b> |      |       |           |                                     |
| Dir of Development & Ticketing     | 1    | 150   | 150 SF    |                                     |
| Ticket Sales Manager               | 1    | 100   | 100 SF    |                                     |
| <b>External Engagement</b>         |      |       |           |                                     |
| Dir of Social Media & Digital      | 1    | 100   | 100 SF    |                                     |
| Dir of Creative Video              | 1    | 100   | 100 SF    |                                     |
| GA for Marketing                   | 1    | 100   | 100 SF    |                                     |
| <b>Facilities Operations</b>       |      |       |           |                                     |
| Dir of Game and Event Ops          | 1    | 150   | 150 SF    |                                     |
| GA for Operations                  | 1    | 100   | 100 SF    |                                     |
| <b>Sports Medicine</b>             |      |       |           | Likely located with Sports Medicine |
| Dir of Sports Medicine             | 1    | 200   | 200 SF    |                                     |
| Sr Assoc Athletic Trainer          | 1    | 150   | 150 SF    |                                     |
| Assoc Athletic Trainer             | 1    | 150   | 150 SF    |                                     |
| Assist Athletic Trainer(s)         | 7    | 100   | 700 SF    |                                     |
| Dir of Mental Health               | 1    | 150   | 150 SF    |                                     |
| Graduate ATC Prog Director         | 1    | 100   | 100 SF    |                                     |
| Graduate ATC Prog Clinic Coor      | 1    | 100   | 100 SF    |                                     |
| Graduate ATC Prog Assist           | 1    | 100   | 100 SF    |                                     |
| <b>Sports Performance</b>          |      |       |           | Likely located with S&C             |
| Dir of Sports Performance          | 1    | 200   | 200 SF    |                                     |
| S&C Coach                          | 1    | 150   | 150 SF    |                                     |
| Assist Dir of SP                   | 2    | 100   | 200 SF    |                                     |
| GA for SP                          | 3    | 100   | 300 SF    |                                     |
| <b>Strategic Communications</b>    |      |       |           |                                     |
| Assist Dir for Strat Comm          | 1    | 150   | 150 SF    |                                     |
| GA for Strat Comm                  | 2    | 100   | 200 SF    |                                     |
| <b>Sports Properties</b>           |      |       |           |                                     |
| General Manager                    | 1    | 150   | 150 SF    |                                     |
| <b>Meeting Rooms</b>               |      |       |           |                                     |
| Conference Room                    | 1    | 1,000 | 1,000 SF  |                                     |

| Building Function / Space                                  | Unit | Area | Extension        | Comments                             |
|--|------|------|------------------|--------------------------------------|
| Medium Meeting Room  | 2    | 600  | 1,200 SF         |                                      |
| Small Meeting Room   | 2    | 240  | 480 SF           |                                      |
| Huddle Room  | 2    | 80   | 160 SF           |                                      |
| Workroom[s] - Shared & Distributed (TBD)                   | 2    | 200  | 400 SF           |                                      |
| Break Room[s] - Shared & Distributed (TBD)                 | 2    | 150  | 300 SF           |                                      |
| General Office Storage                                     | 1    | 100  | 100 SF           |                                      |
| <b>Office Restroom(s)</b>                                  |      |      |                  |                                      |
| Single Occupancy   | 2    | 80   | 160 SF           |                                      |
| <b>3.03 Team Locker Rooms</b>                              |      |      | <b>20,210 SF</b> |                                      |
| <b>Football Locker Room</b>                                |      |      |                  | <b>10,100 SF</b>                     |
| Locker Area  | 105  | 50   | 5,250 SF         |                                      |
| Wet Area   | 105  | 20   | 2,100 SF         |                                      |
| Lounge   | 105  | 20   | 2,100 SF         |                                      |
| Hydrotherapy   | 1    | 450  | 450 SF           |                                      |
| Hydrotherapy Machine Room                                  |      |      |                  |                                      |
| Misc - Nap, Barbershop, (TBD)                              | 1    | 200  | 200 SF           |                                      |
| <b>Womens Soccer Locker Room</b>                           |      |      |                  | <b>1,680 SF</b>                      |
| Locker Area  | 28   | 30   | 840 SF           |                                      |
| Wet Area   | 28   | 10   | 280 SF           |                                      |
| Lounge   | 28   | 20   | 560 SF           |                                      |
| <b>Mens Track Locker Room</b>                              |      |      |                  | <b>2,025 SF</b>                      |
| Locker Area  | 45   | 20   | 900 SF           |                                      |
| Wet Area   | 45   | 15   | 675 SF           |                                      |
| Lounge   | 45   | 10   | 450 SF           |                                      |
| <b>Womens Track Locker Room</b>                            |      |      |                  | <b>2,025 SF</b>                      |
| Locker Area  | 45   | 20   | 900 SF           |                                      |
| Wet Area   | 45   | 15   | 675 SF           |                                      |
| Lounge   | 45   | 10   | 450 SF           |                                      |
| <b>Team Managers Locker Room</b>                           |      |      |                  | <b>680 SF</b>                        |
| Locker Area - Open Shared                                  | 12   | 15   | 180 SF           |                                      |
| Single Occupancy - Wet Area                                | 5    | 100  | 500 SF           |                                      |
| <b>Visiting Team Locker Room</b>                           |      |      |                  | <b>2,100 SF</b>                      |
| Locker & Wet Room - Football                               | 60   | 25   | 1,500 SF         |                                      |
| Locker & Wet Room - Soccer                                 | 30   | 20   | 600 SF           |                                      |
| Locker & Wet Room - T&F                                    | -    | 20   | 0 SF             | Shared with Football                 |
| <b>Visiting Coaches Locker Room - FB, SC, TF &amp; BVB</b> |      |      |                  | <b>800 SF</b>                        |
| Locker Area - Open Shared                                  | 15   | 20   | 300 SF           |                                      |
| Single Occupancy - Wet Area                                | 5    | 100  | 500 SF           |                                      |
| <b>Officials Locker Room</b>                               |      |      |                  | <b>800 SF</b>                        |
| Locker Area - Open Shared                                  | 8    | 20   | 160 SF           |                                      |
| Single Occupancy - Wet Area                                | 4    | 100  | 400 SF           |                                      |
| Lounge   | 8    | 30   | 240 SF           |                                      |
| <b>3.04 Coaches &amp; Staff Locker Room</b>                |      |      | <b>5,650 SF</b>  |                                      |
| <b>Mens Coaches Locker Room</b>                            |      |      |                  |                                      |
| Locker Room  | 35   | 20   | 700 SF           |                                      |
| Wet Area   | 35   | 10   | 350 SF           |                                      |
| Single Occupancy   | 2    | 100  | 200 SF           | Distributed for flex'g / M&W Cch Shi |
| Lounge   | 35   | 20   | 700 SF           |                                      |
| <b>Womens Coaches Locker Room</b>                          |      |      |                  |                                      |
| Locker Room  | 20   | 20   | 400 SF           |                                      |
| Wet Area   | 20   | 10   | 200 SF           |                                      |

| Building Function / Space              | Unit | Area  | Extension        | Comments                             |
|--|------|-------|------------------|--------------------------------------|
| Single Occupancy                       | 2    | 100   | 200 SF           | Distributed for flex'g / M&W Cch Shi |
| Lounge                                 | 20   | 20    | 400 SF           |                                      |
| <b>Mens Staff</b>                      |      |       |                  |                                      |
| Locker Room                            | 25   | 20    | 500 SF           |                                      |
| Wet Area                               | 25   | 10    | 250 SF           |                                      |
| Lounge                                 | 25   | 20    | 500 SF           |                                      |
| <b>Womens Staff</b>                    |      |       |                  |                                      |
| Locker Room                            | 25   | 20    | 500 SF           |                                      |
| Wet Area                               | 25   | 10    | 250 SF           |                                      |
| Lounge                                 | 25   | 20    | 500 SF           |                                      |
| <b>3.05 Student-Athlete Support</b>    |      |       | <b>43,645 SF</b> |                                      |
| <b>Academic Center</b>                 |      |       |                  | <b>4,080 SF</b>                      |
| Entry / Check-in                       | 1    | 200   | 200 SF           |                                      |
| Learning Center - Study Hall           | 1    | 900   | 900 SF           |                                      |
| Learning Center - Study Carrels        | 40   | 25    | 1,000 SF         |                                      |
| Small Tutor Room                       | 4    | 20    | 80 SF            | 2-3 Occupants                        |
| Large Tutor Room                       | 4    | 30    | 120 SF           | 4-5 Occupants                        |
| Computer lab                           | 1    | 900   | 900 SF           |                                      |
| Video Production / Technology Lab      | 1    | 400   | 400 SF           |                                      |
| Vid Prod / Tech Lab Storage            | 1    | 50    | 50 SF            |                                      |
| Technical Support                      | 1    | 80    | 80 SF            |                                      |
| Student Resource Room                  | 1    | 100   | 100 SF           |                                      |
| Staff Workroom                         | 1    | 150   | 150 SF           |                                      |
| Storage                                | 1    | 100   | 100 SF           |                                      |
| <b>Leadership Center</b>               |      |       |                  | <b>1,300 SF</b>                      |
| Entry                                  | 1    | 150   | 150 SF           |                                      |
| Interview Rooms                        | 2    | 100   | 200 SF           |                                      |
| Career & Graduate Resource Room        | 1    | 400   | 400 SF           |                                      |
| Corporate Support Office               | 1    | 150   | 150 SF           |                                      |
| Conference Room                        | 16   | 25    | 400 SF           |                                      |
| <b>Team Meeting &amp; Film Room(s)</b> |      |       |                  |                                      |
| Football Meeting Rooms                 |      |       |                  |                                      |
| Team Meeting Room (Shared)             | 105  | 30    | 3,150 SF         | Tiered                               |
| Group Meeting Room                     |      |       |                  |                                      |
| Offensive Meeting                      | 1    | 1,200 | 1,200 SF         |                                      |
| O-Line Room                            | 1    | 575   | 575 SF           |                                      |
| Quarterbacks Room                      | 1    | 420   | 420 SF           |                                      |
| Running Backs Room                     | 1    | 420   | 420 SF           |                                      |
| Receivers Room                         | 1    | 420   | 420 SF           |                                      |
| Tight Ends Room                        | 1    | 420   | 420 SF           |                                      |
| Defensive Meeting                      | 1    | 1,200 | 1,200 SF         |                                      |
| Defensive Line Room                    | 1    | 575   | 575 SF           |                                      |
| Linebackers Room                       | 1    | 420   | 420 SF           |                                      |
| Defensive Backs Room                   | 1    | 575   | 575 SF           |                                      |
| Special Teams Meeting                  | 1    | 420   | 420 SF           |                                      |
| Soccer Meeting Room                    | 28   | 25    | 700 SF           |                                      |
| Beach Volleyball Meeting Room          | -    | 25    | 0 SF             | Shared with others                   |
| Track & Field Meeting Room             | 45   | 25    | 1,125 SF         |                                      |
| <b>Training Table / Nutrition</b>      |      |       |                  | <b>16,755 SF</b>                     |
| Training Table                         |      |       |                  |                                      |
| Training Table Entry                   | 1    | 200   | 200 SF           |                                      |

## FIELDHOUSE PROGRAM - CONTINUED

| Building Function / Space                   | Unit | Area   | Extension        | Comments                        |
|---|------|--------|------------------|---------------------------------|
| Training Table Kitchen                      | 1    | 2,000  | 2,000 SF         |                                 |
| Training Table Servery                      | 1    | 4,000  | 4,000 SF         |                                 |
| Training Table Dining Hall                  | 325  | 17     | 5,525 SF         |                                 |
| Training Table Dining Storage               | 1    | 500    | 500 SF           |                                 |
| Nutritionist Office                         | 1    | 120    | 120 SF           |                                 |
| Assistant Nutritionist Office               | 1    | 120    | 120 SF           |                                 |
| Specialist and Team RD                      | 4    | 80     | 320 SF           |                                 |
| Manager                                     | 1    | 120    | 120 SF           |                                 |
| Chef / Supervisors                          | 3    | 80     | 240 SF           |                                 |
| Classroom / Private Dining                  | 1    | 1,000  | 1,000 SF         |                                 |
| Teaching Kitchen                            | 1    | 400    | 400 SF           |                                 |
| Staff Lockers - Open Shared                 | 1    | 100    | 100 SF           |                                 |
| Staff Restrooms                             | 2    | 100    | 200 SF           |                                 |
| Receiving and Storage                       | 1    | 1,500  | 1,500 SF         |                                 |
| Building Storage                            | 1    | 250    | 250 SF           |                                 |
| Custodial Closets                           | 2    | 80     | 160 SF           |                                 |
| Nutrition - Grab & Go / Juice Bar           |      |        |                  |                                 |
| General Building                            | 1    | 350    | 350 SF           |                                 |
| Football                                    | 1    | 250    | 250 SF           |                                 |
| <b>Equipment &amp; Issue</b>                |      |        | <b>9,290 SF</b>  |                                 |
| Equipment Room - Football                   | 1    | 2,500  | 2,500 SF         |                                 |
| Equipment Room - SC, BV, Bowl               | 1    | 1,000  | 1,000 SF         |                                 |
| Equipment Room - T&F                        | 1    | 500    | 500 SF           |                                 |
| Equipment Issue / Window                    | 2    | 200    | 400 SF           |                                 |
| Travel Storage                              | 1    | 1,500  | 1,500 SF         |                                 |
| Laundry Room                                | 1    | 850    | 850 SF           |                                 |
| Chemical Storage                            | 1    | 250    | 250 SF           |                                 |
| Uniform Drying Room                         | 1    | 400    | 400 SF           |                                 |
| Head Equipment Manager Office               | 1    | 150    | 150 SF           |                                 |
| Assistant Equipment Manager Office          | 3    | 80     | 240 SF           |                                 |
| Receiving Room / Dock - Share with Building | 1    | 500    | 500 SF           |                                 |
| Athletic General Storage                    | 1    | 1,000  | 1,000 SF         |                                 |
| <b>3.06 Training / Performance</b>          |      |        | <b>24,570 SF</b> |                                 |
| <b>Strength &amp; Conditioning</b>          |      |        |                  | <b>17,170 SF</b>                |
| Entry / Check-In Area                       | 1    | 200    | 200 SF           |                                 |
| Fitness, Weight, Agility Room               | 1    | 15,000 | 15,000 SF        |                                 |
| Massage Room                                | -    | 100    | 0 SF             |                                 |
| Nutrition Room                              | 1    | 250    | 250 SF           |                                 |
| Supplement Storage                          | 1    | 100    | 100 SF           |                                 |
| Staff Offices - Dedicated                   | 2    | 100    | 200 SF           |                                 |
| S&C Locker rooms                            | 2    | 100    | 200 SF           | TBD - Guests, Additional Staff, |
| Conference Room                             | 12   | 25     | 300 SF           |                                 |
| AV Control Room                             | 1    | 80     | 80 SF            |                                 |
| Restroom                                    | 2    | 80     | 160 SF           |                                 |
| Storage                                     | 1    | 600    | 600 SF           |                                 |
| Janitor Closet                              | 1    | 80     | 80 SF            |                                 |
| <b>Training Room - Hub</b>                  |      |        |                  | <b>7,400 SF</b>                 |
| Entry / Check-In Area                       | 1    | 200    | 200 SF           |                                 |
| Prehab / Rehab Room                         | 1    | 1,000  | 1,000 SF         |                                 |
| Taping Area                                 | 1    | 1,000  | 1,000 SF         |                                 |
| Treatment Area                              | 1    | 1,500  | 1,500 SF         |                                 |

| Building Function / Space   | Unit | Area  | Extension                  | Comments                    |
|---|------|-------|----------------------------|-----------------------------|
| Hydrotherapy / Wet Room   | 1    | 1,750 | 1,750 SF                   |                             |
| Hydrotherapy Machine Room   | 1    | 350   | 350 SF                     |                             |
| Exam Room   | 2    | 100   | 200 SF                     |                             |
| X-Ray Room / C-Arm  | 1    | 150   | 150 SF                     |                             |
| Procedure Room  | 1    | 150   | 150 SF                     |                             |
| Dental Room   | -    | 100   | 0 SF                       |                             |
| Eye Exam Room   | -    | 100   | 0 SF                       |                             |
| Massage Room  | -    | 200   | 0 SF                       | (2) Tables                  |
| EKG Room  | -    | 100   | 0 SF                       |                             |
| Drink/Cooler Room for outdoor                                     | 1    | 120   | 120 SF                     |                             |
| Restroom  | 2    | 80    | 160 SF                     |                             |
| Ice Room / Storage  | 1    | 120   | 120 SF                     |                             |
| Storage   | 1    | 300   | 300 SF                     |                             |
| Travel Storage  | 1    | 400   | 400 SF                     |                             |
| <b>3.07 Spectator Support</b>                                     |      |       | <b>SF in Stadium Total</b> |                             |
| <b>South Stadium Suites</b>                                       |      |       |                            |                             |
| Small Suite   | 4    | 240   | 960 SF                     | (10) Occupants              |
| Medium Suite  | 2    | 400   | 800 SF                     | (14) Occupants              |
| Large Suite   | 1    | 600   | 600 SF                     | (20) Occupants              |
| Food & Beverage Service   | -    | 600   | 0 SF                       | Food to be served in Suites |
| Food & Beverage Prep  | 1    | 200   | 200 SF                     |                             |
| Storage   | 1    | 100   | 100 SF                     |                             |
| Custodial Closet  | 1    | 80    | 80 SF                      |                             |
| Restrooms - Public  |      |       |                            |                             |
| Single Occupancy  | 4    | 80    | 320 SF                     |                             |
| <b>3.10 Future Team</b>   |      |       | <b>11,875 SF</b>           |                             |
| <b>Bowling</b>  |      |       | <b>9,950 SF</b>            |                             |
| <b>Beach Volleyball</b>   |      |       | <b>1,925 SF</b>            |                             |
| <b>4.00 Recreation</b>  |      |       | <b>0 SF</b>                |                             |
| <b>5.00 Academics</b>   |      |       | <b>0 SF</b>                |                             |
| <b>6.00 Utilities</b>   |      | w/GSF |                            |                             |
| <b>7.00 Building Support Spaces</b>                               |      | w/GSF |                            |                             |
| <b>Total Net Square Footage</b>                                   |      |       | <b>132,924 SF</b>          |                             |
| <b>Building Factor - Circulation / Utilities / Shafts / Walls</b> |      | 30%   | <b>57,157 SF</b>           |                             |
| <b>Total Gross Square Footage</b>                                 |      |       | <b>190,081 SF</b>          |                             |





*SW Aerial of North Campus Athletics District*

FIELDHOUSE FLOOR PLANS

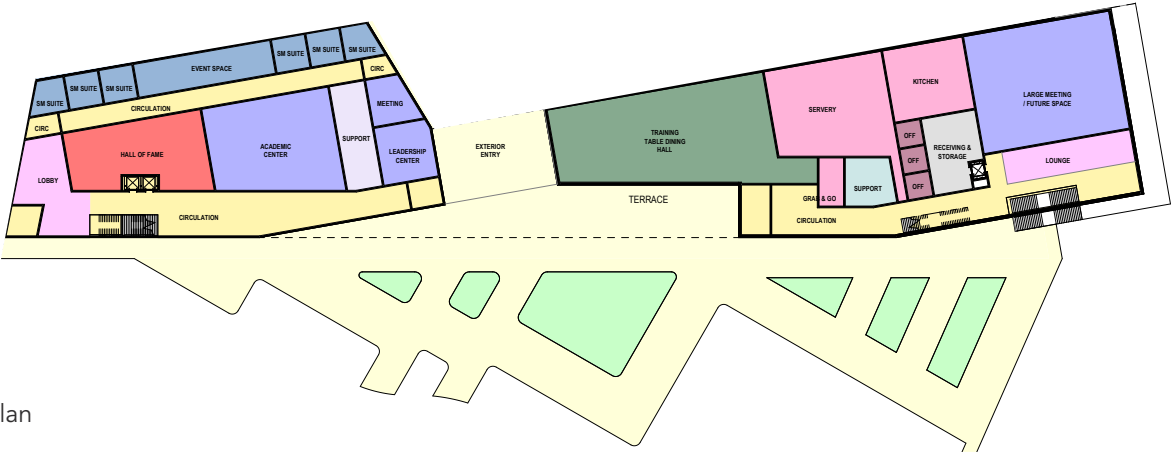


Figure 21. Fieldhouse - Level 02 Floor Plan

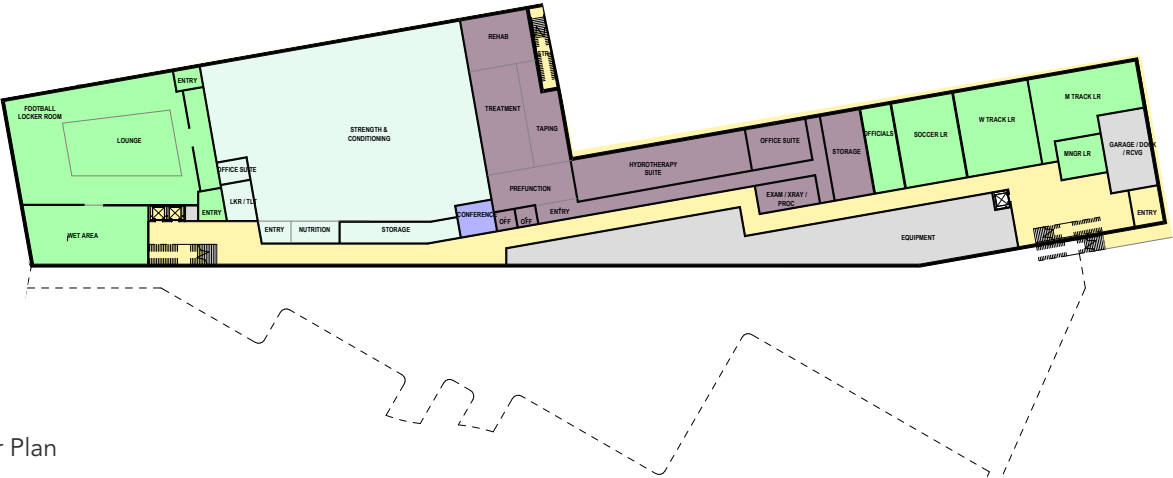


Figure 22. Fieldhouse - Level 01 Floor Plan

|                          |  |                 |  |              |  |                  |  |              |  |               |  |
|--------------------------|--|-----------------|--|--------------|--|------------------|--|--------------|--|---------------|--|
| Academic Meeting/Support |  | Concourse       |  | Hall of Fame |  | Outdoor Practice |  | Storage      |  | Track         |  |
| Athletics Training       |  | Court/Field     |  | Lobby        |  | Restroom         |  | Support      |  | Venue Support |  |
| Circulation              |  | Food & Beverage |  | Office       |  | Spectator Area   |  | Team Support |  |               |  |

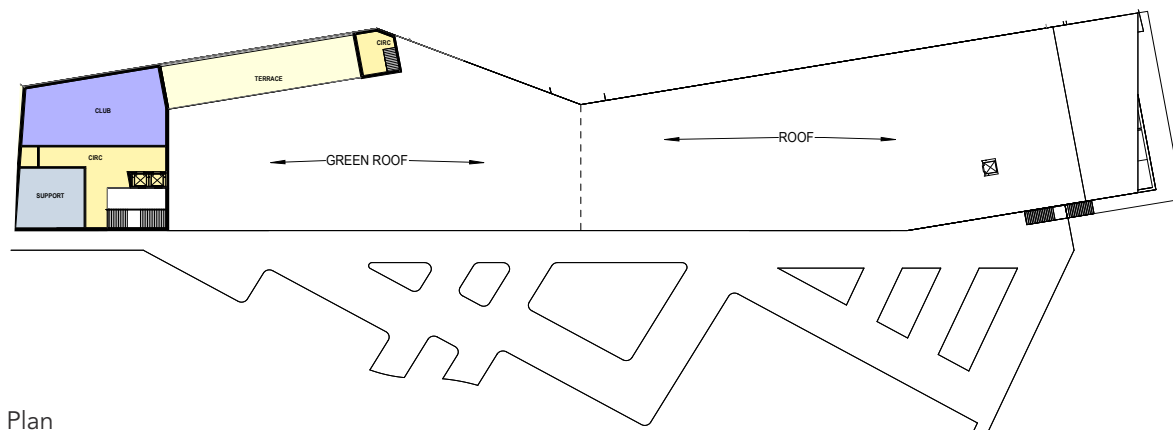


Figure 23. Fieldhouse - Level 04 Floor Plan

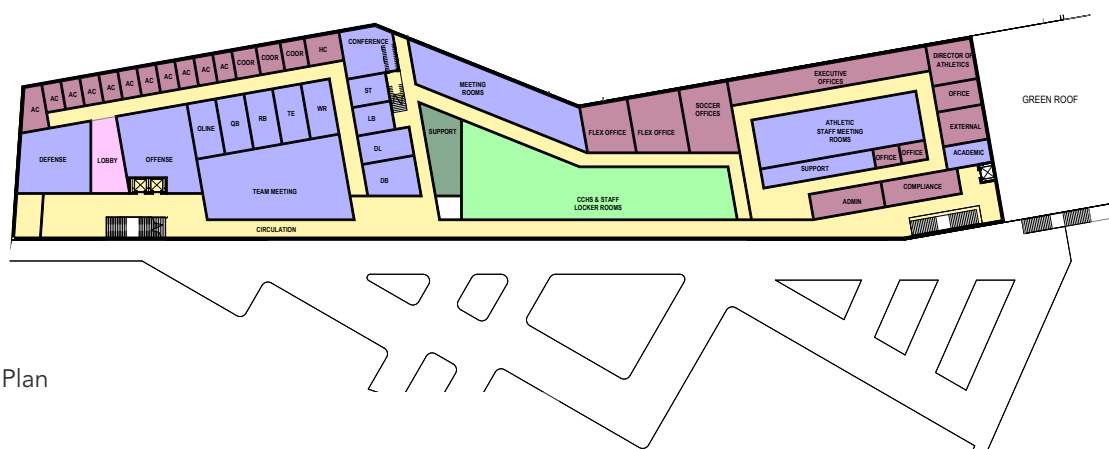


Figure 24. Fieldhouse - Level 03 Floor Plan





Strength & Conditioning



Team Auditorium



Hall of Fame



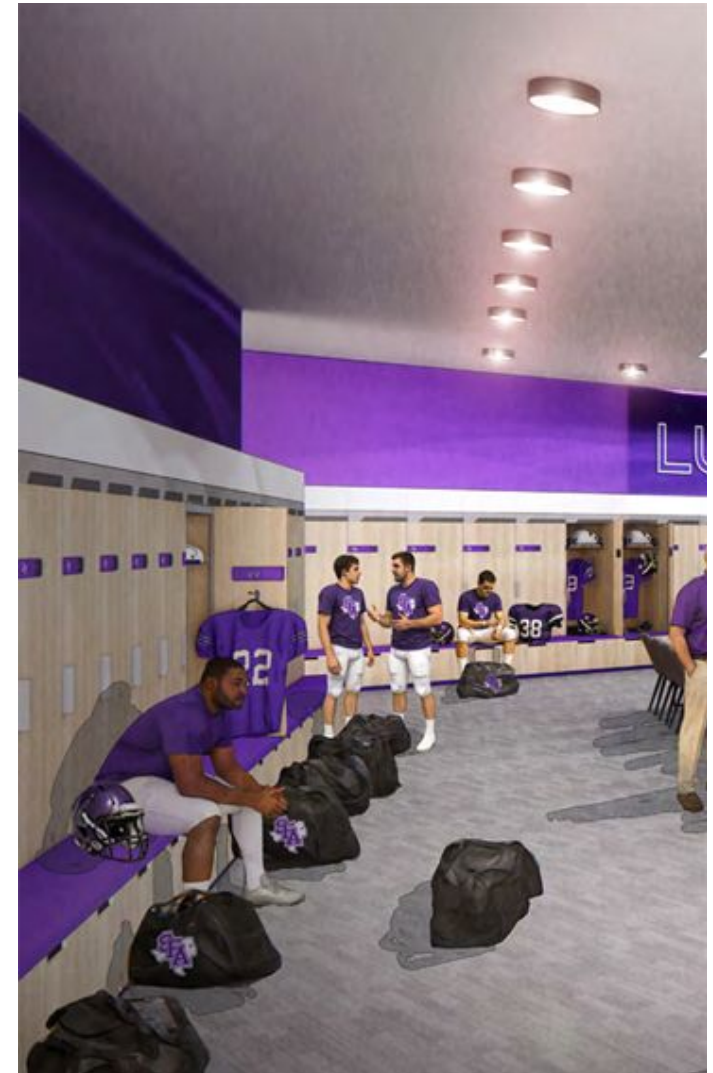




Training Table



Women's Soccer Locker Room



Football Locker Room





## FOOTBALL STADIUM

Size: 122,700 GSF

The stadium serves as the dedicated home for football, designed to deliver an exceptional student-athlete, coach, and fan experience. It encompasses approximately 122,700 GSF of interior and exterior space plus a 76,000 SF synthetic turf field with six sports lighting poles, a scoreboard, ribbon boards and remote filming cameras. It maintains direct connectivity to the adjacent fieldhouse, ensuring seamless operations for team activities, game day logistics, and year-round training support.

### Seating and Spectator Bowl

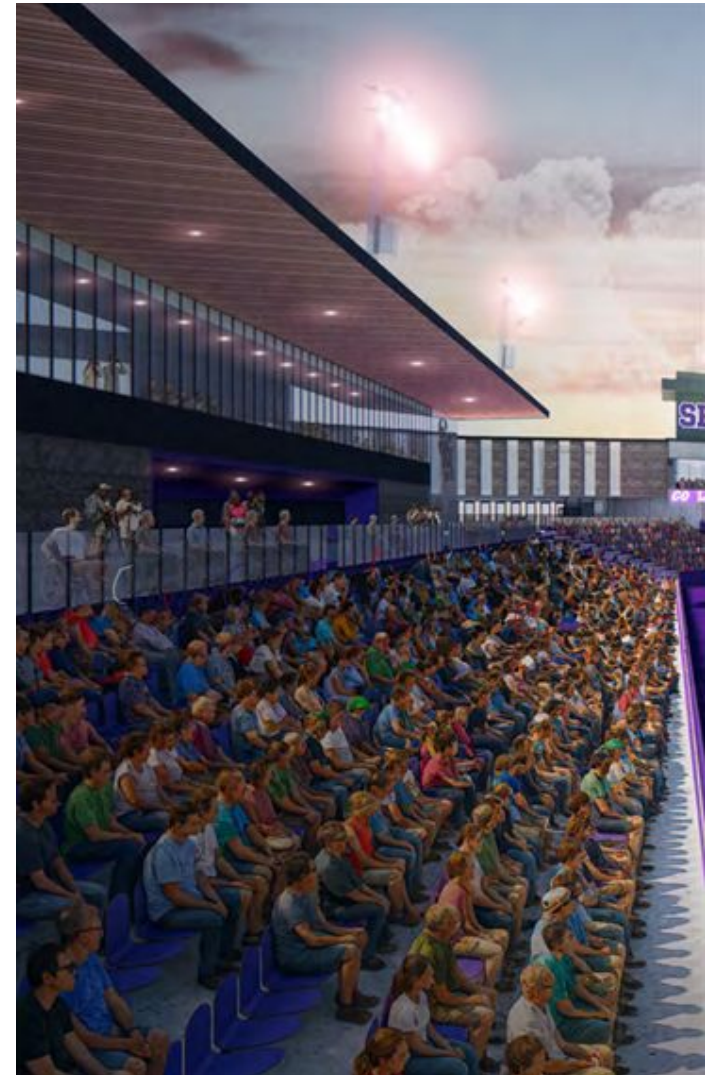
- 10,440 seats including club/suite/loges boxes and U-shaped bowl seating in a mid-load configuration, creating an intimate yet high-energy game day atmosphere.
- Flexible hillside seating expands the total capacity and integrates with the natural site topography.
- Sightlines optimized for player visibility, field proximity, and acoustic energy within the bowl.

### Fan and Spectator Amenities

- Multiple entry plazas designed for crowd flow and fan experience.
- Concession areas providing a mix of permanent and portable food and beverage options.
- Restroom facilities distributed for efficiency and ADA accessibility.
- Premium spaces including clubs, suites, and loge boxes, offering tiered hospitality experiences.

### Team and Operations Access

- Direct connectivity to the fieldhouse, supporting athlete access to locker rooms, training facilities, and staff spaces.
- Game day logistics designed for efficient team arrival, equipment movement, and operations coordination.



*Football Stadium Concourse*







## STADIUM PROGRAM

| Building Function / Space                          | Unit | Area      | Extension           | Comments                               |
|--|------|-----------|---------------------|--|
| <b>1.00 Circulation</b>                            |      | w/GSF     | <b>3,010 SF</b>     | <b>Does not include Exterior SF</b>    |
| Main Entry Plaza / Gates                           | 1    | 5,000 SF  | 5,000 SF            | Exterior                               |
| Secondary Entry Plaza / Gates                      | 3    | 2,000 SF  | 6,000 SF            | Exterior                               |
| Councourse   | 1    | 60,270 SF | 60,270 SF           | Exterior                               |
| Elevators  |      |           |                     |  |
| Passenger  | 1    | 90 SF     | 90 SF               |  |
| Service  | 1    | 120 SF    | 120 SF              |  |
| Interior Stairs                                    | 2    | 1,400 SF  | 2,800 SF            |  |
| Field Level Entry                                  |      |           |                     | Exterior                               |
| Emergency Responders                               |      |           |                     | Exterior                               |
| <b>2.00 Public Space</b>                           |      |           | <b>7,557 SF</b>     | <b>Within the Fieldhouse Buidling</b>  |
| Guest Services / Information                       | 1    | 120 SF    | 120 SF              |  |
| Personal Care - Lactation / Medical Room           | 1    | 100 SF    | 100 SF              |  |
| Safety / Security                                  | 1    | 200 SF    | 200 SF              |  |
| First Aid  | 1    | 150 SF    | 150 SF              |  |
| Public Restroom(s)                                 |      |           |                     |  |
| Mens Urinals / Water Closets                       | 49   | 47 SF     | 2,271 SF            | Distributed thru-out the Stadium       |
| Womens Water Closets                               | 88   | 47 SF     | 4,077 SF            | Distributed thru-out the Stadium       |
| Single Occupancy                                   | 8    | 80 SF     | 640 SF              | Distributed thru-out the Stadium       |
| <b>3.00 Athletics</b>                              |      |           | <b>23,814 SF</b>    |  |
| <b>3.01 Team Offices</b>                           |      |           |                     | Within the Fieldhouse Buidling         |
| <b>3.02 Staff Offices</b>                          |      |           |                     | Within the Fieldhouse Buidling         |
| <b>3.03 Coaches &amp; Staff Locker Room</b>        |      |           |                     | Within the Fieldhouse Buidling         |
| <b>3.04 Student-Athlete Support</b>                |      |           | <b>0 SF</b>         | Within the Fieldhouse Buidling         |
| Athletics Event Storage                            | -    | 1,000 SF  | 0 SF                |  |
| Field Storage                                      | -    | 1,000 SF  | 0 SF                |  |
| <b>3.05 Training / Performance</b>                 |      |           |                     | Within the Fieldhouse Buidling         |
| <b>3.08 Spectator Support</b>                      |      |           | <b>19,510 SF</b>    |  |
| Ticketing  | 1    | 200 SF    | 200 SF              | Shared with Soccer                     |
| <b>Seating - Total Bowl + Club + Suites + Loge</b> |      |           | <b>10,438 Seats</b> |  |
| <b>Bowl Seating</b>                                |      |           | <b>9,920 Seats</b>  |  |
| Lower Bowl   |      |           |                     |  |
| West   | 20   | 180 SF    | 3,600 Seats         | 18" Bleachers low + 22" Above          |
| North  | 1    | 45,373 SF | 200 Seats           | Berm Seating, could be ~500 if desired |
| East   | 12   | 180 SF    | 2,160 Seats         | 22" Chair Backs                        |
| South  | 12   | 120 SF    | 1,440 Seats         | 22" Chair Backs, FH Integration        |
| Upper Bowl   |      |           |                     |  |
| West   | 12   | 200 SF    | 2,400 Seats         | 22" Chair Backs                        |
| Accessible Seating - Wheelchair + Companion        |      |           | 120 Seats           |  |
| <b>Clubs / Suites / Loge Boxes</b>                 |      |           |                     |  |
| Club   | 300  | 13 SF     | 3,750 SF            | Includes Bar / Food Serving            |
| Suites - West & South                              |      |           |                     | See FH Program for South               |
| Small Suite  | 9    | 240 SF    | 2,160 SF            | (10) Occupants Each                    |
| Medium Suite                                       | 2    | 400 SF    | 800 SF              | (14) Occupants Each                    |
| Large Suite  | 2    | 600 SF    | 1,200 SF            | (20) Occupants Each                    |
| AD / Presidential Suite                            | 1    | 1,200 SF  | 1,200 SF            | (40) Occupants Each                    |
| Loge Boxes - Field Side Boxes                      | 4    | 210 SF    | 840 SF              | (14) Occs Ea, Cut into the lower bowl  |
| Food & Beverage Prep                               | 4    | 200 SF    | 800 SF              | Food to be served in Clubs/Suites/Loge |
| Storage  | 4    | 100 SF    | 400 SF              |  |
| Custodial Closet                                   | 3    | 80 SF     | 240 SF              |  |
| <b>Restrooms</b>                                   |      |           |                     |  |
| Single Occupancy                                   | 6    | 80 SF     | 480 SF              |  |
| <b>Food &amp; Beverage</b>                         | 40   |           |                     | 1:250 POS/Seat                         |
| Concessions  | 20   | 150 SF    | 2,978 SF            |  |
| Frictionless                                       | 20   | 120 SF    | 2,382 SF            |  |
| Bar  | 4    | 300 SF    | 1,200 SF            |  |

| Building Function / Space   | Unit      | Area      | Extension         | Comments                                |
|---|-----------|-----------|-------------------|---|
| <b>Merchandise - Jacks Store</b>                                  | 1         | 800 SF    | 800 SF            |   |
| Jacks Kiosks  | 2         | 40 SF     | 80 SF             |   |
| <b>3.09 Venue Support</b>   |           |           | <b>4,304 SF</b>   |   |
| <b>Pressbox</b>   |           |           |                   | See also Soccer Venue                   |
| Game Management / Scoreboard / Ops                                | 1         | 400 SF    | 400 SF            |   |
| Public Address Announcer  | 1         | 120 SF    | 120 SF            |   |
| Replay Booth  | 1         | 120 SF    | 120 SF            |   |
| Broadcasting  | 1         | 144 SF    | 144 SF            |   |
| Home Radio  | 1         | 120 SF    | 120 SF            |   |
| Visitors Radio  | 1         | 120 SF    | 120 SF            |   |
| Press / Media   | 1         | 1,200 SF  | 1,200 SF          |   |
| Home Coaches  | 1         | 240 SF    | 240 SF            |   |
| Visitors Coaches  | 1         | 240 SF    | 240 SF            |   |
| Press Box Restrooms   |           |           |                   |   |
| Single Occupancy  | 4         | 80 SF     | 320 SF            |   |
| IDF Room  | 1         | 80 SF     | 80 SF             |   |
| Filming - Roof  | 1         | 0 SF      | 0 SF              |   |
| Food & Beverage - Kitchen   | -         | 4,000 SF  |                   | Food provided offsite or in concessions |
| Stadium Storage   | 1         | 1,200 SF  | 1,200 SF          |   |
| <b>4.00 Recreation</b>  |           |           | <b>0 SF</b>       |   |
| <b>5.00 Academics</b>   |           |           | <b>0 SF</b>       |   |
| <b>6.00 Utilities</b>   |           | w/GSF     |                   |   |
| <b>7.00 Building Support Spaces</b>                               |           | w/GSF     |                   |   |
| <b>Total Net Square Footage</b>                                   |           |           | <b>31,371 SF</b>  |   |
| <b>Building Factor - Circulation / Utilities / Shafts / Walls</b> |           | 25%       | <b>10,666 SF</b>  |   |
| <b>Total Gross Square Footage</b>                                 |           |           | <b>42,037 SF</b>  |   |
| <b>Total Exterior SF</b>  |           |           | <b>80,630 SF</b>  |   |
| <b>Total Gross Square Footage + Exterior</b>                      |           |           | <b>122,667 SF</b> |   |
| <b>8.00 Outdoor Athletic Facilities</b>                           |           |           |                   |   |
| <b>8.01 Venue</b>   |           |           |                   |   |
| Synthetic Turf Football Field                                     | 1         | 76,000 SF | 76,000 SF         |   |
| Sports Lighting   | 6 Poles   |           |                   |   |
| Scoreboard  | 1 Board   |           |                   |   |
| Ribbon Boards   |           |           |                   |   |
| Play clocks   | 2 Boards  |           |                   | (1) @ each endzone                      |
| Remote Filming Camera   | 2 Cameras |           |                   | (1) @ each endzone                      |
| Fencing   |           |           |                   |   |

# STADIUM FLOOR PLANS

- Academic Meeting/Support

Athletics Training

Circulation
- Concourse

Court/Field

Food & Beverage
- Hall of Fame

Lobby

Office
- Outdoor Practice

Restroom

Spectator Area
- Storage

Support

Team Support
- Track

Venue Support

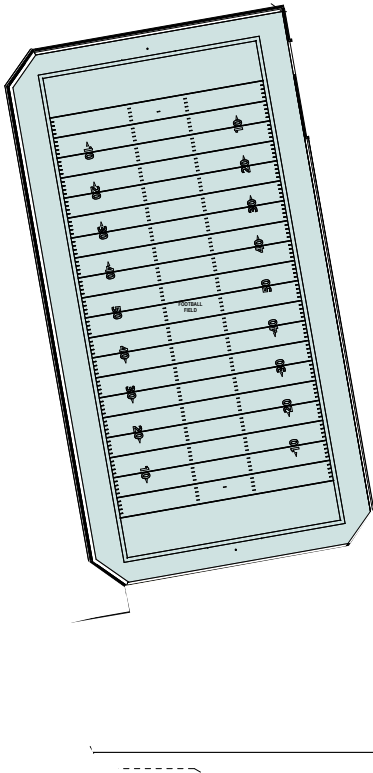


Figure 25. Football Stadium Level 01 Floor Plan

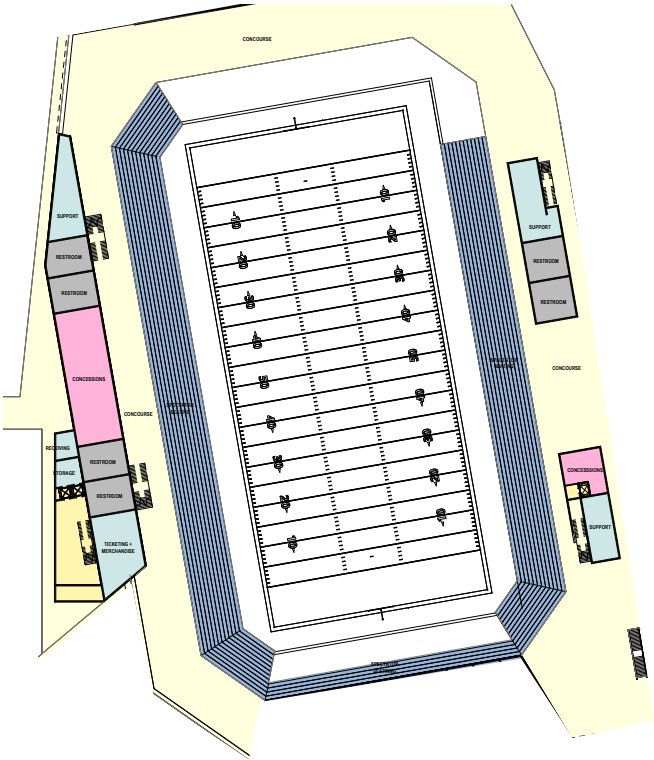


Figure 26. Football Stadium Level 02 Floor Plan

# STADIUM FLOOR PLANS - CONTINUED

|                          |                 |              |                  |              |               |
|--------------------------|-----------------|--------------|------------------|--------------|---------------|
| Academic Meeting/Support | Concourse       | Hall of Fame | Outdoor Practice | Storage      | Track         |
| Athletics Training       | Court/Field     | Lobby        | Restroom         | Support      | Venue Support |
| Circulation              | Food & Beverage | Office       | Spectator Area   | Team Support |               |

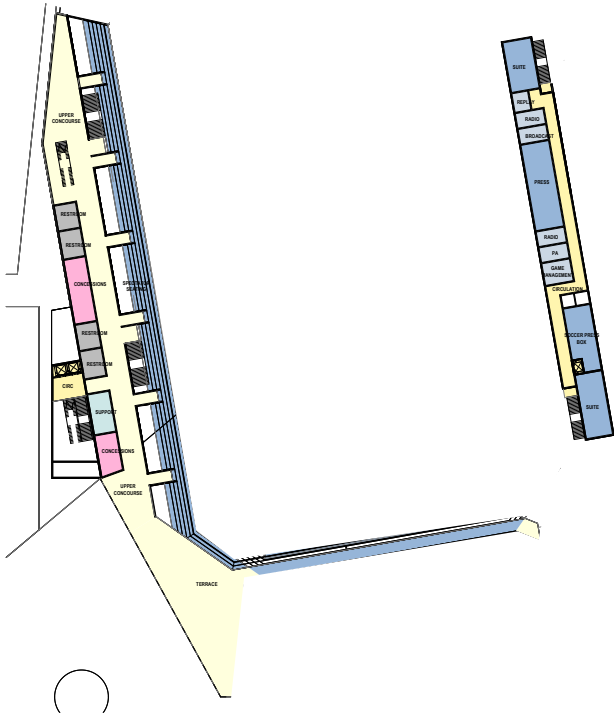


Figure 27. Football Stadium Level 03 Floor Plan

Scale: N.T.S. N

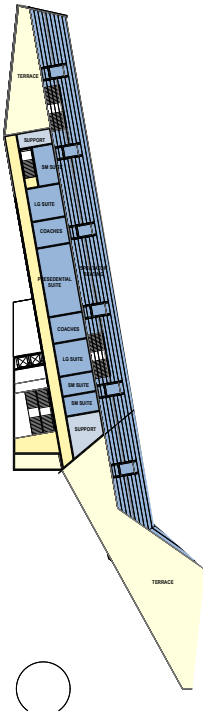


Figure 28. Football Stadium Level 04 Floor Plan

Scale: N.T.S. N





President's Suite at the Football Stadium



Football Stadium Entry



Football Field View

## SOCCER VENUE

Size: 25,700 GSF

The Soccer Venue provides a dedicated home for collegiate soccer, supporting both training and competition within the Athletics District. The 106,000 SF competition/practice natural grass field is designed with a strong connection to the fieldhouse and adjacent stadium, the venue enhances operational efficiency, fosters shared resources, and contributes to a unified athletic identity across campus.

### Seating and Spectator Bowl

- 1,400 seats including club/suite/loge boxes and bowl arranged in an L-shaped configuration, creating a dynamic and intimate viewing experience.
- Shared press box located on the east side, serving both the Soccer Venue and the adjacent stadium seating.
- Bowl orientation enhances views to the field and maximizes spectator engagement while maintaining efficient game day circulation.

### Spectator and Hospitality Amenities

- Entry plazas designed for smooth ingress and egress, integrated with broader pedestrian networks.
- Concessions and restrooms distributed for convenience and accessibility.
- Premium hospitality elements including clubs, suites, and loge boxes, offering a range of viewing and social experiences.
- The facility also includes sports lighting with six poles, a scoreboard, a sound/PA system

### Athletic and Operational Connections

- Direct access to the fieldhouse for athlete preparation, locker rooms, and training facilities.
- Shared operations infrastructure with adjacent venues for maintenance, media, and support services.
- Designed for efficient team and staff circulation, supporting concurrent event operations across the athletics complex.
- Visiting locker room situated north of the soccer field for easier access.



*Soccer Field View*







## SOCCER VENUE PROGRAM

| Building Function / Space                          | Unit | Area   | Extension   | Comments                                 |
|--|------|--------|-------------|--|
| <b>1.00 Circulation</b>                            |      | w/GSF  | 0 SF        | Does not include Exterior SF             |
| Main Entry Plaza / Gates                           | 1    | 1,500  | 1,500 SF    | Exterior                                 |
| Secondary Entry Plaza / Gates                      | 2    | 750    | 1,500 SF    | Exterior                                 |
| Concourse  | 1    | 14,000 | 14,000 SF   | Exterior                                 |
| Elevators  |      |        |             |  |
| Passenger  | -    | 90     | 0 SF        |  |
| Service  | -    | 120    | 0 SF        |  |
| Interior Stairs                                    | -    | 800    | 0 SF        |  |
| Field Level Entry                                  |      |        |             | Exterior                                 |
| Emergency Responders                               |      |        |             | Exterior                                 |
| <b>2.00 Public Space</b>                           |      |        | 0 SF        |  |
| Guest Services / Information                       | -    | 120    | 0 SF        |  |
| Safety / Security                                  | -    | 150    | 0 SF        | Shared with the Stadium                  |
| First Aid  | -    | 120    | 0 SF        | Shared with the Stadium                  |
| Public Restroom(s)                                 |      |        |             | Shared with the Stadium                  |
| Mens Urinals / Water Closets                       | -    | 47 SF  | 0 SF        | Distributed thru-out the Stadium         |
| Womens Water Closets                               | -    | 47 SF  | 0 SF        | Distributed thru-out the Stadium         |
| Single Occupancy                                   | -    | 80 SF  | 0 SF        | Distributed thru-out the Stadium         |
| <b>3.00 Athletics</b>                              |      |        | 0 SF        |  |
| <b>3.01 Team Offices</b>                           |      |        |             | Within the Fieldhouse Building           |
| <b>3.02 Staff Offices</b>                          |      |        |             | Within the Fieldhouse Building           |
| <b>3.03 Coaches &amp; Staff Locker Room</b>        |      |        |             | Within the Fieldhouse Building           |
| <b>3.04 Student-Athlete Support</b>                |      |        | 0 SF        |  |
| Team Shells  | 2    | 400    | 800 SF      | Exterior                                 |
| Athletics Event Storage                            | -    | 500    | 0 SF        |  |
| Field Storage                                      | -    | 1,000  | 0 SF        |  |
| <b>3.05 Training / Performance</b>                 |      |        |             | Within the Fieldhouse Building           |
| <b>3.08 Spectator Support</b>                      |      |        | 0 SF        |  |
| Ticketing  | -    | 150    | 0 SF        | Within the Stadium                       |
| <b>Seating - Total Bowl + Club + Suites + Loge</b> |      |        | 1,323 Seats |  |
| <b>Bowl Seating</b>                                |      |        | 1,323 Seats |  |
| Lower Bowl   | 10   | 130    | 1,300 Seats | 22" Chair Backs                          |
| Accessible Seating - Wheelchair + Companion        |      |        | 23 Seats    |  |
| <b>Clubs / Suites / Loge Boxes / Terraces</b>      |      |        |             |  |
| Club   | -    | 12.5   | 0 SF        | Includes Bar / Food Serving              |
| Suites - West & South                              |      |        |             | See FH Program for South                 |
| Small Suite  | -    | 240    | 0 SF        | (10) Occupants Each                      |
| Medium Suite                                       | -    | 400    | 0 SF        | (14) Occupants Each                      |
| Large Suite  | -    | 600    | 0 SF        | (20) Occupants Each                      |
| Terraces   |      |        |             |  |
| North Terrace                                      | -    | 12.5   | 0 SF        | Open Deck for portable F&B               |
| South Terrace                                      | -    | 12.5   | 0 SF        | Open Deck for portable F&B               |
| Food & Beverage Prep                               | -    | 200    | 0 SF        | Food to be served in Clbs/Stes/Loge/Terr |
| Storage  | -    | 100    | 0 SF        |  |
| Custodial Closet                                   | -    | 80     | 0 SF        |  |
| <b>Restrooms</b>                                   |      |        |             |  |
| Single Occupancy                                   | -    | 80     | 0 SF        |  |
| <b>Food &amp; Beverage</b>                         | -    |        |             | 1:300 POS/Seat                           |
| Concessions  | -    | 150    | 0 SF        |  |
| Frictionless                                       | -    | 120    | 0 SF        |  |
| Bar  | -    | 300    | 0 SF        |  |
| <b>Merchandise - Jacks Store</b>                   | -    | 500    | 0 SF        | Shared with the Stadium                  |
| Jacks Kiosks                                       | -    | 40     | 0 SF        |  |
| <b>3.09 Venue Support</b>                          |      |        | 0 SF        |  |
| <b>Pressbox</b>                                    |      |        |             | Within the Fieldhouse Facility           |
| Game Management / Scoreboard / Ops                 | -    | 150    | 0 SF        |  |

| Building Function / Space                                  | Unit    | Area       | Extension | Comments                                |
|--|---------|------------|-----------|---|
| Public Address Announcer                                   | -       | 90         | 0 SF      |   |
| Replay Booth   | -       | 90         | 0 SF      |   |
| Broadcasting   | -       | 90         | 0 SF      |   |
| Home Radio   | -       | 90         | 0 SF      |   |
| Visitors Radio   | -       | 90         | 0 SF      |   |
| Press / Media  | -       | 300        | 0 SF      |   |
| Home Coaches   | -       | 90         | 0 SF      |   |
| Visitors Coaches   | -       | 90         | 0 SF      |   |
| Press Box Restrooms  |         |            |           |   |
| Single Occupancy   | -       | 80         | 0 SF      | Listed with Suites                      |
| IDF Room   | -       | 80         | 0 SF      |   |
| Filming - Roof   | -       | -          | 0 SF      |   |
| Food & Beverage - Kitchen                                  | -       | 1,000      |           | Food provided offsite or in concessions |
| Field Maintenance  | -       | 400        | 0 SF      |   |
| Field Storage  | -       | 200        | 0 SF      |   |
| <b>4.00 Recreation</b>                                     |         |            | 0 SF      |   |
| <b>5.00 Academics</b>                                      |         |            | 0 SF      |   |
| <b>6.00 Utilities</b>                                      |         | w/GSF      | 0 SF      |   |
| <b>7.00 Building Support Spaces</b>                        |         | w/GSF      | 0 SF      |   |
| <b>Total Net Square Footage</b>                            |         |            | 0 SF      |   |
| Building Factor - Circulation / Utilities / Shafts / Walls |         | 0%         | 0 SF      |   |
| <b>Total Gross Square Footage</b>                          |         |            | 0 SF      |   |
| Total Exterior SF  |         |            | 25,736 SF |   |
| Total Gross Square Footage + Exterior                      |         |            | 25,736 SF |   |
| <b>8.00 Outdoor Athletic Facilities</b>                    |         |            |           |   |
| <b>8.01 Venue</b>  |         |            |           |   |
| Field  | 1 Field | 106,000 SF |           |   |
| Natural Grass Field  | 1 Area  |            |           |   |
| Goal line Netting 120'w x 20'h, Field Fencing              |         |            |           |   |
| Sports Lighting  | 4 Poles |            |           |   |
| Scoreboard   | 1 Board |            |           |   |
| Sound / PA System  |         |            |           |   |

# SOCCER VENUE FLOOR PLANS

|                          |   |                 |   |              |  |                  |  |              |  |               |  |
|--------------------------|---|-----------------|---|--------------|--|------------------|--|--------------|--|---------------|--|
| Academic Meeting/Support | <span style="display:inline-block; width:15px; height:15px; background-color:blue;"></span>   | Concourse       | <span style="display:inline-block; width:15px; height:15px; background-color:yellow;"></span> | Hall of Fame | <span style="display:inline-block; width:15px; height:15px; background-color:red;"></span>     | Outdoor Practice | <span style="display:inline-block; width:15px; height:15px; background-color:lightblue;"></span> | Storage      | <span style="display:inline-block; width:15px; height:15px; background-color:gray;"></span>        | Track         | <span style="display:inline-block; width:15px; height:15px; background-color:lightgray;"></span> |
| Athletics Training       | <span style="display:inline-block; width:15px; height:15px; background-color:purple;"></span> | Court/Field     | <span style="display:inline-block; width:15px; height:15px; background-color:teal;"></span>   | Lobby        | <span style="display:inline-block; width:15px; height:15px; background-color:magenta;"></span> | Restroom         | <span style="display:inline-block; width:15px; height:15px; background-color:gray;"></span>      | Support      | <span style="display:inline-block; width:15px; height:15px; background-color:lightpurple;"></span> | Venue Support | <span style="display:inline-block; width:15px; height:15px; background-color:lightblue;"></span> |
| Circulation              | <span style="display:inline-block; width:15px; height:15px; background-color:yellow;"></span> | Food & Beverage | <span style="display:inline-block; width:15px; height:15px; background-color:pink;"></span>   | Office       | <span style="display:inline-block; width:15px; height:15px; background-color:maroon;"></span>  | Spectator Area   | <span style="display:inline-block; width:15px; height:15px; background-color:blue;"></span>      | Team Support | <span style="display:inline-block; width:15px; height:15px; background-color:green;"></span>       |               |  |

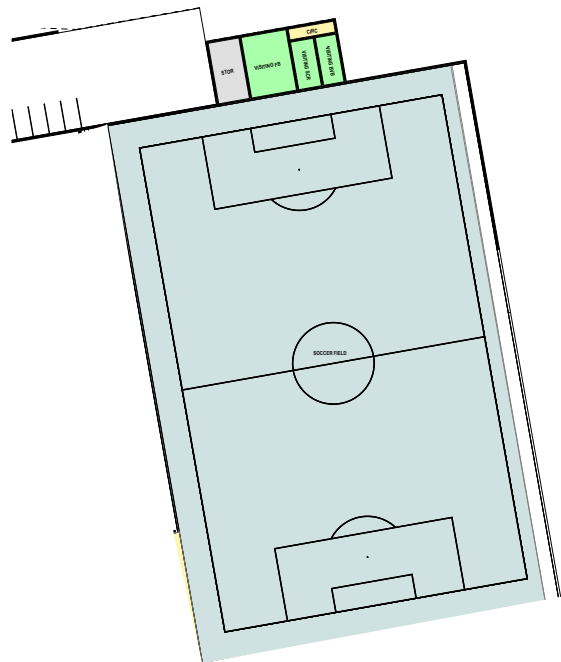


Figure 29. Soccer Venue Level 01 Floor Plan

Scale: N.T.S.

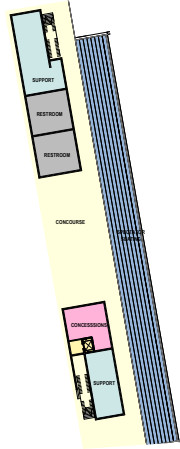
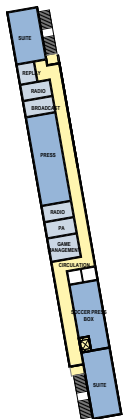


Figure 30. Soccer Venue Level 02 Floor Plan

Scale: N.T.S.

# SOCCER VENUE FLOOR PLANS - CONTINUED

|                          |  |                 |  |              |  |                  |  |              |  |               |  |
|--------------------------|--|-----------------|--|--------------|--|------------------|--|--------------|--|---------------|--|
| Academic Meeting/Support |  | Concourse       |  | Hall of Fame |  | Outdoor Practice |  | Storage      |  | Track         |  |
| Athletics Training       |  | Court/Field     |  | Lobby        |  | Restroom         |  | Support      |  | Venue Support |  |
| Circulation              |  | Food & Beverage |  | Office       |  | Spectator Area   |  | Team Support |  |               |  |



**Figure 31.** Soccer Venue Level 03 Floor Plan

Scale: N.T.S.



## INDOOR PRACTICE

Size: 95,300 GSF

The Indoor Practice Facility provides a year-round, all-weather training environment for all athletic teams, ensuring uninterrupted practice schedules and performance development. Designed as a shared resource within the Athletics District, the facility also accommodates campus-wide special events,

reinforcing its role as a flexible, high-value campus asset.

- Full-size turf field designed for football, soccer, and other field sports.
- Clear height of 90 feet, allowing for punting, long passing, and vertical drills.
- Field designed to NCAA standards, with safety runoffs and end zones suitable for multi-sport use.
- Integrated netting and divider systems enable simultaneous use by multiple teams
- Training and cardio zones positioned along field edges for quick access during practices.
- Venue support for Track and Field on Level 02.



*NE Aerial of North Campus Athletics District*

## INDOOR PRACTICE PROGRAM

| Building Function / Space   | Unit | Area   | Extension        | Comments                                |
|---|------|--------|------------------|---|
| <b>1.00 Circulation</b>   | 2    | 950    | <b>1,900 SF</b>  |   |
| <b>2.00 Public Space</b>  |      |        | <b>2,740 SF</b>  |   |
| Entry Lobby   | 2    | 500    | 1,000 SF         | Public, T&F, Indoor Practice Teams      |
| Public Restroom(s)  |      |        |                  |   |
| Mens  | 4    | 125 SF | 500 SF           | Public, T&F, Indoor Practice Teams      |
| Womens  | 4    | 150 SF | 600 SF           | Public, T&F, Indoor Practice Teams      |
| Single Occupancy  | 8    | 80 SF  | 640 SF           | Public, T&F, Indoor Practice Teams      |
| <b>3.00 Athletics</b>   |      |        | <b>83,080 SF</b> |   |
| <b>3.05 Student-Athlete Support</b>                               |      |        | <b>2,000 SF</b>  |   |
| Athletics Event Storage   | 1    | 500    | 500 SF           |   |
| Track & Field Room  | 1    | 1,500  | 1,500 SF         |   |
| Athletic General Storage  | 1    | 1,500  | 1,500 SF         |   |
| <b>3.06 Training / Performance</b>                                |      |        | <b>600 SF</b>    |   |
| Training Room - Satellite   |      |        |                  |   |
| Taping/Treatment Area   | 1    | 150    | 150 SF           |   |
| Drink/Cooler Room   | 1    | 450    | 450 SF           |   |
| <b>3.07 Indoor Practice Field</b>                                 |      |        | <b>80,800 SF</b> |   |
| Synthetic Turf Field  | 1    | 80,000 | 80,000 SF        | Field + 20' Overruns each side          |
| Cardio Area   | 1    | 800    | 800 SF           |   |
| <b>3.09 Venue Support</b>   |      |        | <b>1,680 SF</b>  |   |
| Pressbox  |      |        |                  |   |
| Game Management / Scoreboard / Ops                                | 1    | 150    | 150 SF           |   |
| Public Address Announcer  | 1    | 90     | 90 SF            |   |
| Replay Booth  | 1    | 90     | 90 SF            |   |
| Broadcasting  | 1    | 90     | 90 SF            |   |
| Home Radio  | 1    | 90     | 90 SF            |   |
| Visitors Radio  | 1    | 90     | 90 SF            | 100 SF                                  |
| Press / Media   | 1    | 300    | 300 SF           |   |
| Home Coaches  | -    | 90     | 0 SF             |   |
| Visitors Coaches  | -    | 90     | 0 SF             |   |
| Press Box Restrooms   |      |        |                  |   |
| Single Occupancy  | -    | 80     | 0 SF             |   |
| IDF Room  | 1    | 80     | 80 SF            |   |
| Filming - Roof  | 1    | -      | 0 SF             |   |
| Food & Beverage - Kitchen   | -    | 1,000  |                  | Food provided offsite or in concessions |
| T&F Maintenance   | 1    | 500    | 500 SF           |   |
| T&F Storage   | 1    | 200    | 200 SF           |   |
| <b>4.00 Recreation</b>  |      |        | <b>0 SF</b>      |   |
| <b>5.00 Academics</b>   |      |        | <b>0 SF</b>      |   |
| <b>6.00 Utilities</b>   |      | w/GSF  |                  |   |
| <b>7.00 Building Support Spaces</b>                               |      | w/GSF  |                  |   |
| <b>Total Net Square Footage</b>                                   |      |        | <b>85,820 SF</b> |   |
| <b>Building Factor - Circulation / Utilities / Shafts / Walls</b> | 10%  |        | <b>9,440 SF</b>  |   |
| <b>Total Gross Square Footage</b>                                 |      |        | <b>95,260 SF</b> |   |



# INDOOR PRACTICE FLOOR PLAN

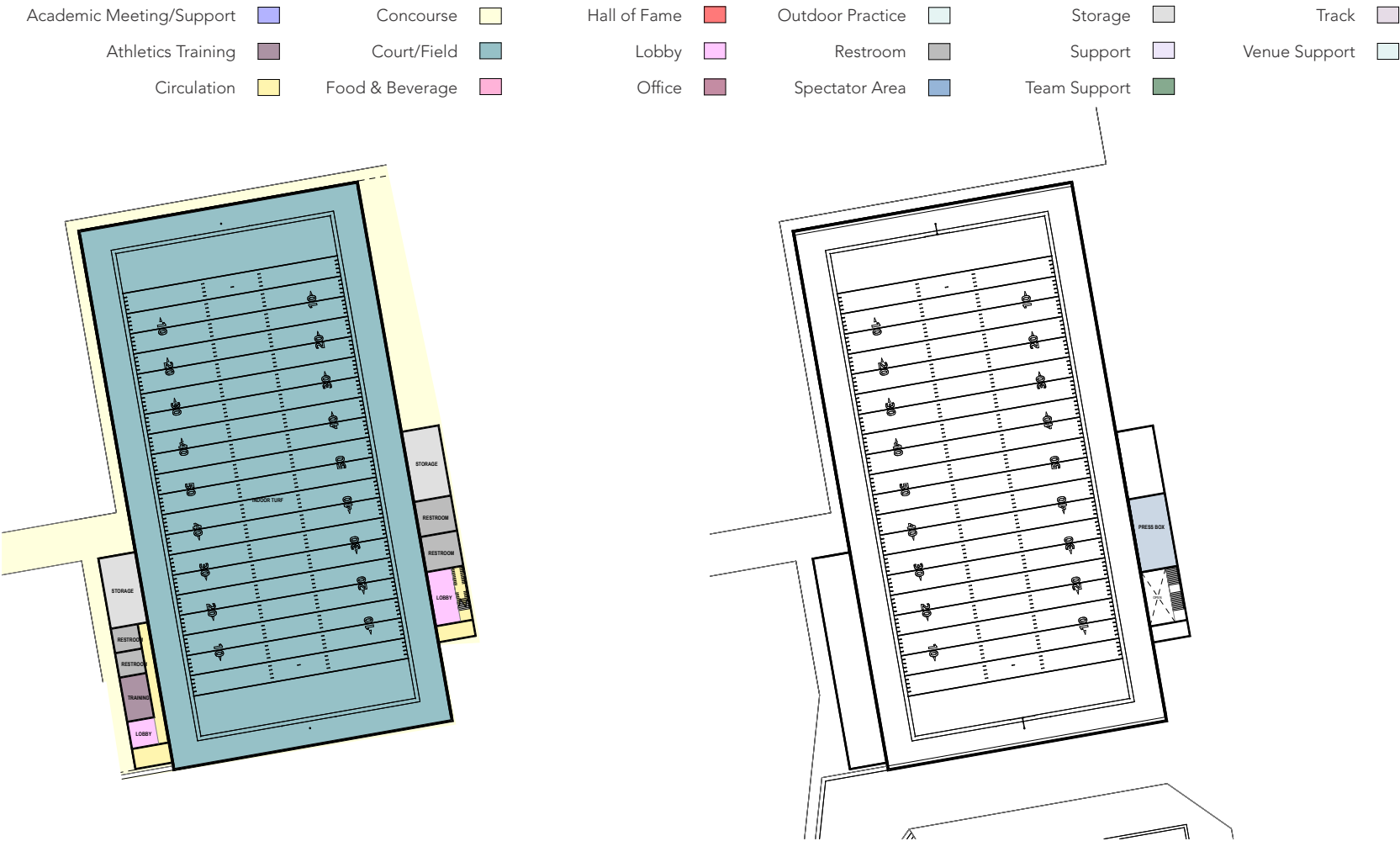


Figure 32. Indoor Practice Level 01 Floor Plan

Scale: N.T.S.

Figure 33. Indoor Practice Level 02 Floor Plan

Scale: N.T.S.





*Indoor Practice*

## TRACK & FIELD

Size: 22,900 GSF

The Track and Field venue features a full 400-meter, eight-lane track and dedicated areas for field events. Two long jump and triple jump runways with pits, one high jump area, and pole vault with two runways and boxes are provided. Throwing events are supported with three shot put rings, two hammer/discus cages, and a javelin runway with landing area. The facility also includes sports lighting with six poles, a scoreboard, a sound/PA system, and a central field of approximately 110,000 GSF, for a total of 155,000 GSF when combined with the track. Track and Field operations, including locker rooms, lounges, and support spaces are accommodated within the Fieldhouse.

## TRACK & FIELD PROGRAM

| Building Function / Space                                  | Unit     | Area      | Extension        | Comments                                      |
|--|----------|-----------|------------------|---|
| <b>1.00 Circulation</b>                                    |          | w/GSF     | 0 SF             | Does not include Exterior SF                  |
| Main Entry Plaza / Gates                                   | 1        | 500       | 500 SF           | Exterior                                      |
| Secondary Entry Plaza / Gates                              | -        | 750       | 0 SF             | Exterior                                      |
| Councourse   | 1        | 16,800    | 16,800 SF        | Exterior                                      |
| Elevators  |          |           |                  |   |
| Passenger  | -        | 90        | 0 SF             | Not needed                                    |
| Interior Stairs  | -        | 500       | 0 SF             | Not needed                                    |
| Field Level Entry  |          |           |                  | Exterior                                      |
| Emergency Responders                                       |          |           |                  | Exterior                                      |
| <b>2.00 Public Space</b>                                   |          |           | 0 SF             | Within the Indoor Practice Facility           |
| <b>3.00 Athletics</b>                                      |          |           | 0 SF             | Within the Indoor Practice Facility           |
| 3.01 Team Offices  |          |           |                  |   |
| 3.02 Staff Offices   |          |           |                  |   |
| 3.03 Coaches & Staff Locker Room                           |          |           |                  |   |
| 3.04 Student-Athlete Support                               |          |           | 0 SF             |   |
| Athletics Event Storage                                    | -        | 500       | 0 SF             |   |
| Track & Field Room   | -        | 2,000     | 0 SF             |   |
| 3.05 Training / Performance                                |          |           |                  |   |
| 3.08 Spectator Support                                     |          |           | 0 SF             |   |
| Ticketing  | -        | 150       | 0 SF             | Shared with the Stadium                       |
| Seating - Total Bowl + Club + Suites + Loge                |          |           | 938 Seats        |   |
| Bowl Seating   |          |           | 938 Seats        |   |
| Bowl   | 8        | 115       | 920 Seats        | 22" Chair Backs                               |
| Accessible Seating - Wheelchair + Companion                |          |           | 18 Seats         |   |
| Clubs / Suites / Loge Boxes / Terraces                     |          |           |                  | We only have a press box, included in indoor  |
| Food & Beverage  |          |           |                  | Shared with the Stadium                       |
| Merchandise - Jacks Store                                  | -        | 500       | 0 SF             | Shared with the Stadium                       |
| 3.09 Venue Support   |          |           | 0 SF             |   |
| 4.00 Recreation  |          |           | 0 SF             |   |
| 5.00 Academics   |          |           | 0 SF             |   |
| 6.00 Utilities   |          | w/GSF     |                  |   |
| 7.00 Building Support Spaces                               |          | w/GSF     |                  |   |
| <b>Total Net Square Footage</b>                            |          |           | 0 SF             |   |
| Building Factor - Circulation / Utilities / Shafts / Walls |          | 0%        | 0 SF             |   |
| <b>Total Gross Square Footage</b>                          |          |           | 0 SF             | No Indoor Square Footage, See Indoor Practise |
| Total Exterior SF  |          |           | 22,926 SF        |   |
| Total Gross Square Footage + Exterior                      |          |           | 22,926 SF        |   |
| <b>8.00 Outdoor Athletic Facilities</b>                    |          |           |                  |   |
| <b>8.01 Venue</b>  |          |           |                  |   |
| 400M Track   | 1 Track  | 45,000 SF |                  |   |
| (8) Lane Oval 48"w, (8) Lane Straight-away 48"w            |          |           |                  |   |
| Field Events   |          |           |                  |   |
| Jumps - LJ & TJ Runway & Pits                              | 2 Sets   |           | (2) Pits per set |   |
| Jumps - High Jump Area                                     | 1 Area   |           |                  |   |
| Pole Vault - Runway & Boxes                                | 2 Boxes  |           |                  |   |
| Throwing - Shotput & Landing                               | 3 Rings  |           |                  |   |
| Throwing - Hammer Throw / Discus Rings/Cage                | 2 Cages  |           |                  |   |
| Throwing - Javelin Runway & Landing Area                   | 1 Runway |           |                  |   |
| Sports Lighting  | 6 Poles  |           |                  |   |
| Scoreboard   | 1 Board  |           |                  |   |
| Sound / PA System  |          |           |                  |   |
| Field  | 1 Field  | 110000    |                  |   |

# TRACK & FIELD FLOOR PLANS

|                          |   |                 |   |              |   |                  |   |              |   |               |   |
|--------------------------|---|-----------------|---|--------------|---|------------------|---|--------------|---|---------------|---|
| Academic Meeting/Support |  | Concourse       |  | Hall of Fame |  | Outdoor Practice |  | Storage      |  | Track         |  |
| Athletics Training       |  | Court/Field     |  | Lobby        |    | Restroom         |  | Support      |  | Venue Support |  |
| Circulation              |  | Food & Beverage |  | Office       |  | Spectator Area   |  | Team Support |  |               |   |

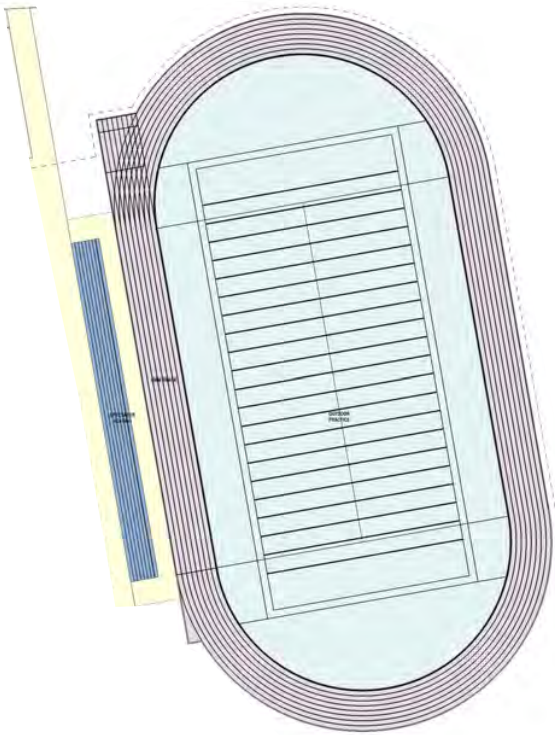


Figure 34. Track & Field Level 01 Floor Plan

Scale: N.T.S. 

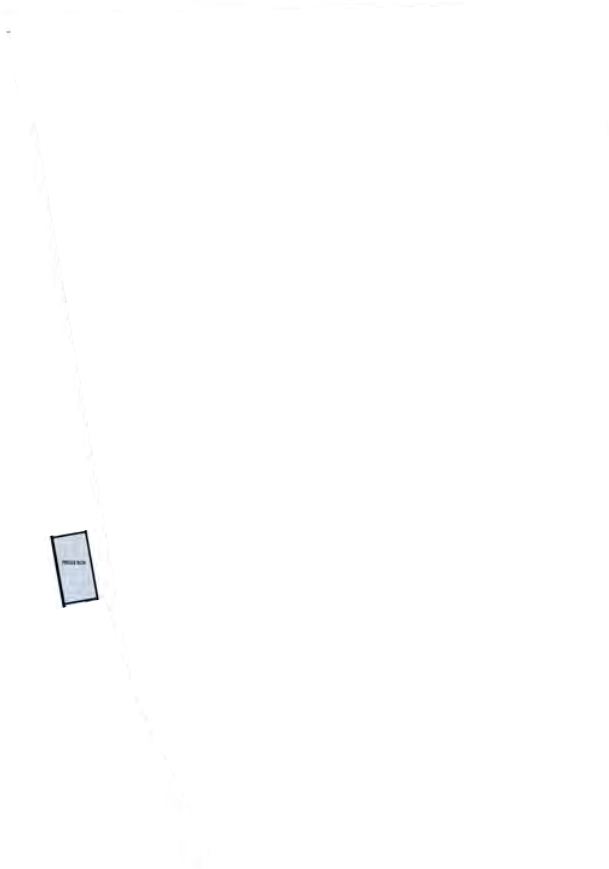


Figure 35. Track & Field Level 02 Floor Plan

Scale: N.T.S. 





Track & Field View

## JOHNSON COLISEUM

Size: 144,700 GSF includes existing, interior and exterior renovation and addition.

Height: Two Stories

The master plan proposes a comprehensive renovation and expansion to this heavily utilized athletic and event facility. The project encompasses 93,220 gross square feet (GSF) of existing space with an additional 21,440 GSF of new construction and renovation, resulting in a modernized, multi-level complex of two stories.

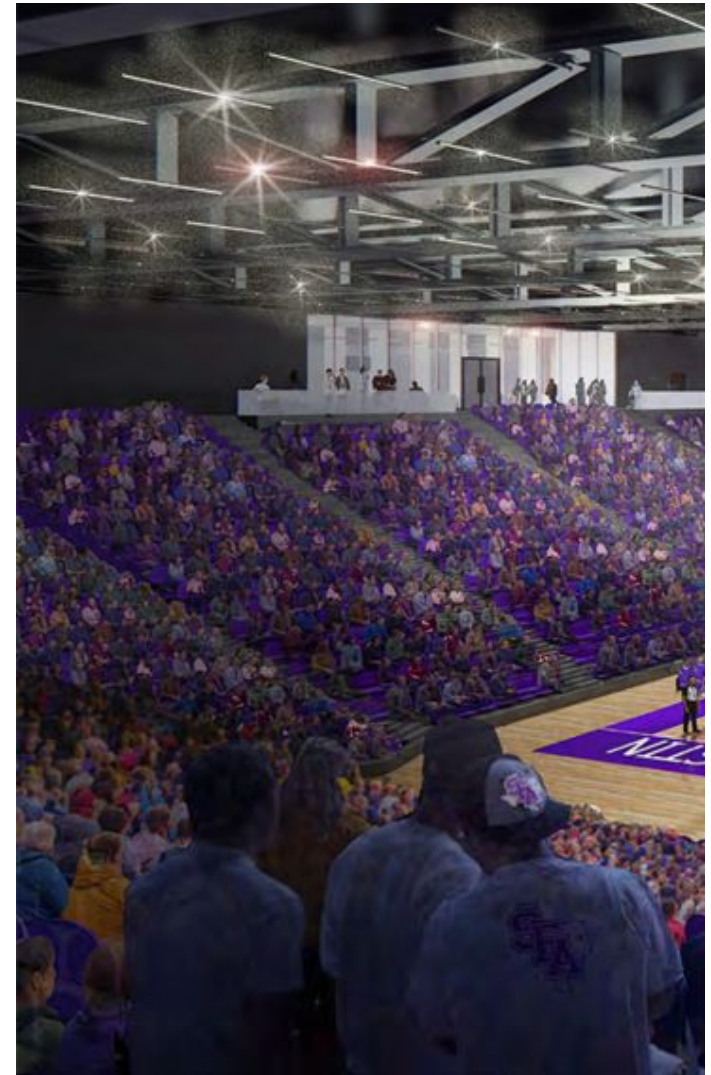
### Design and Accessibility Enhancements

Upgrades include significant modifications to the entry plaza and a new ADA-compliant ramp, ensuring improved accessibility and an enhanced arrival experience. These site and building improvements aim to strengthen the Coliseum's visual presence and functionality for both athletes and visitors.

### Facility Upgrades and Program Components

Strategic investments are focused on extending the life and performance of this aging but vital campus venue. Key enhancements include:

- New entries and circulation improvements to streamline access and crowd flow.
- Premium clubs, suites, and box seating to elevate the spectator experience.
- Seating upgrades, drink rails, food and beverage options, concessions, and merchandise areas to expand comfort and revenue potential.
- Upgraded restrooms, guest services, and ADA facilities to meet modern standards.



*Johnson Coliseum Concourse View*







## JOHNSON COLISEUM PROGRAM

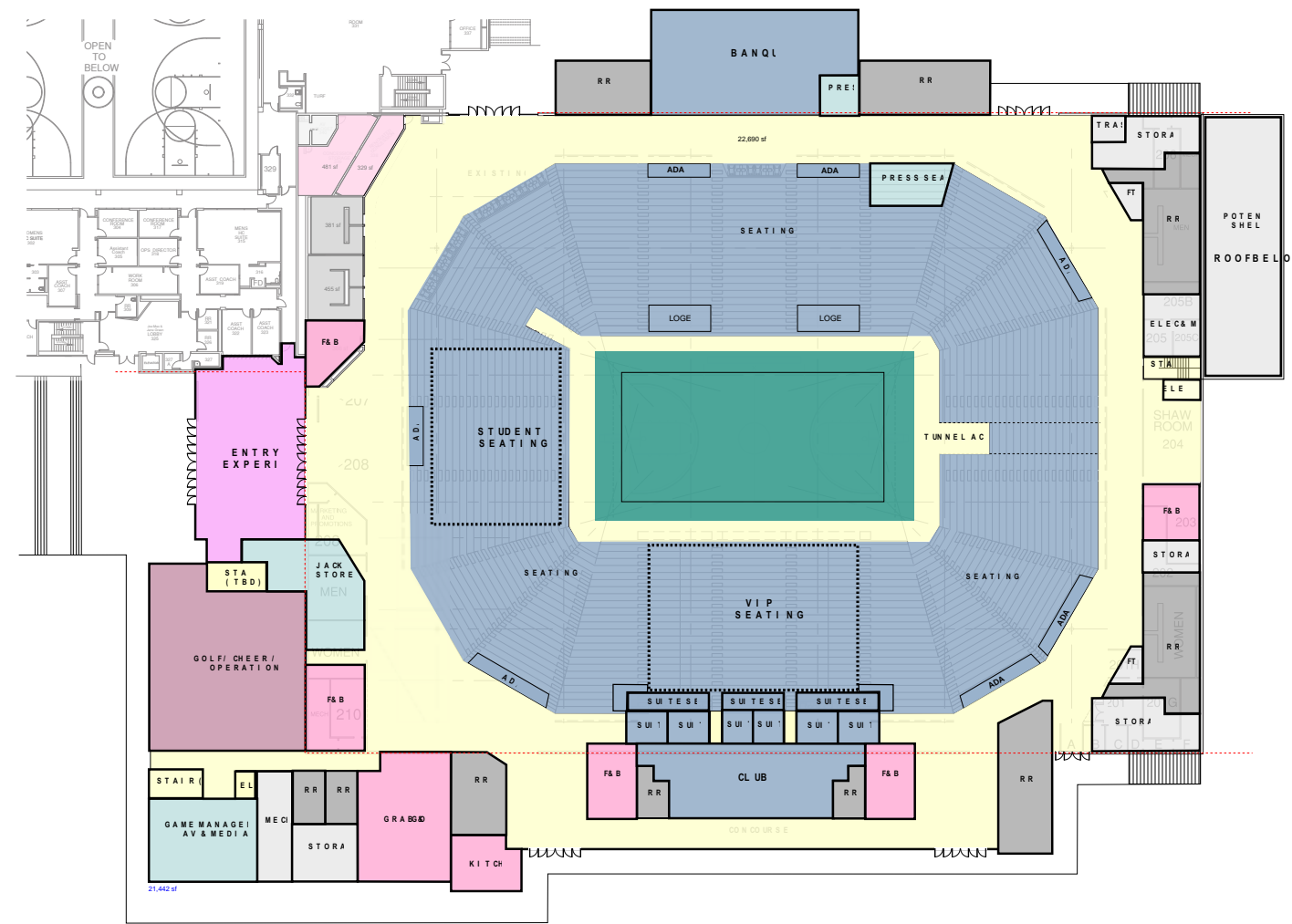
| Building Function / Space                | Exstg Area       | Unit | Area     | Extension        |
|--|------------------|------|----------|------------------|
| <b>1.00 Circulation</b>                  | <b>22,281 SF</b> |      |          | <b>22,780 SF</b> |
| Circulation                              | 21,990 SF        |      |          |                  |
| Councourse                               |                  |      |          |                  |
| West                                     |                  | 1    | 11,500   | 10,211 SF        |
| East                                     |                  | 1    | 11,500   | 12,480 SF        |
| Elevators                                |                  |      |          |                  |
| Passenger                                |                  | 1    | 90       | 90 SF            |
| Service                                  |                  | -    | 120      | 0 SF             |
| Vertical Circulation                     | 291 SF           |      |          |                  |
| <b>2.00 Public Space</b>                 | <b>3,146 SF</b>  |      |          | <b>3,000 SF</b>  |
| Lobby                                    |                  | 1    | 3,000 SF | 3,000 SF         |
| Guest Services / Information             |                  | -    | 120      | 0 SF             |
| Personal Care - Lactation / Medical Room |                  | 1    | 100      | 100 SF           |
| Safety / Security                        |                  | 1    | 200      | 200 SF           |
| First Aid                                |                  | 1    | 100      | 100 SF           |
| Public Restroom(s)                       |                  |      |          |                  |
| Mens Urinals / Water Closets             | 1,631 SF         | 37   | 47 SF    | 1,712 SF         |
| Womens Water Closets                     | 1,515 SF         | 64   | 47 SF    | 2,958 SF         |
| Single Occupancy                         |                  | 8    | 80 SF    | 640 SF           |
| <b>3.00 Athletics</b>                    | <b>62,834 SF</b> |      |          | <b>83,031 SF</b> |
| <b>3.01 Team Offices</b>                 | <b>3,068 SF</b>  |      |          | <b>2,450 SF</b>  |
| <b>Cheer</b>                             |                  |      |          |                  |
| Lobby                                    |                  | 1    | 150      | 150 SF           |
| Head Coach                               | 289 SF           | 1    | 200      | 200 SF           |
| Assistant Coaches                        | 147 SF           | 1    | 150      | 150 SF           |
| Suite Storage                            | 137 SF           | 1    | 100      | 100 SF           |
| <b>Dance</b>                             |                  |      |          |                  |
| Head Coach                               |                  | 1    | 200 SF   | 200 SF           |
| Assistant Coaches                        |                  | 1    | 150 SF   | 150 SF           |
| <b>Golf</b>                              |                  |      |          |                  |
| Head Coach                               |                  | 1    | 200 SF   | 200 SF           |
| Assistant Coaches                        |                  | 1    | 150 SF   | 150 SF           |
| <b>Womens Soccer</b>                     |                  |      |          |                  |
| Lobby                                    | 193 SF           |      |          |                  |
| Head Coach                               | 245 SF           |      |          |                  |
| Assistant Coaches                        | 440 SF           |      |          |                  |
| Storage                                  | 241 SF           |      |          |                  |
| <b>Volleyball</b>                        |                  |      |          |                  |
| Lobby                                    | 340 SF           |      |          |                  |
| Head Coach                               | 300 SF           |      |          |                  |
| Associate Head Coach                     | 211 SF           |      |          |                  |
| Assistant Coaches                        | 423 SF           |      |          |                  |
| Storage                                  | 102 SF           |      |          |                  |
| <b>Meeting Rooms - Shared</b>            |                  |      |          |                  |
| Medium Meeting Room                      |                  | 1    | 400      | 400 SF           |
| Small Meeting Room                       |                  | 1    | 240      | 240 SF           |

| Building Function / Space                   | Exstg Area      | Unit | Area  | Extension       |
|---|-----------------|------|-------|-----------------|
| Huddle Room                                 |                 | 1    | 80    | 80 SF           |
| Workroom - Shared                           |                 | 1    | 150   | 150 SF          |
| Break Room - Shared                         |                 | 1    | 100   | 100 SF          |
| General Office Storage                      |                 | 1    | 100   | 100 SF          |
| <b>Office Restroom(s)</b>                   |                 |      |       |                 |
| Single Occupancy                            |                 | 1    | 80    | 80 SF           |
| <b>3.02 Staff Offices</b>                   |                 |      |       |                 |
| <b>3.03 Team Locker Rooms</b>               | <b>3,973 SF</b> |      |       | <b>3,550 SF</b> |
| <b>Mens Cheer &amp; Dance Locker Room</b>   |                 |      |       |                 |
| Locker Area                                 | 301 SF          | 25   | 20    | 500 SF          |
| Wet Area                                    | 575 SF          | 25   | 10    | 250 SF          |
| Lounge                                      |                 | 25   | 10    | 250 SF          |
| <b>Womens Cheer &amp; Dance Locker Room</b> |                 |      |       |                 |
| Locker Room                                 | 322 SF          | 25   | 20    | 500 SF          |
| Wet Area                                    | 610 SF          | 25   | 10    | 250 SF          |
| Lounge                                      |                 | 25   | 10    | 250 SF          |
| <b>M's &amp; W's Golf Locker Room</b>       |                 |      |       |                 |
| Locker Area                                 |                 | -    | 15 SF |                 |
| Single Occupancy                            | 20 SF           | 2    | 100   | 200 SF          |
| <b>Womens Soccer Locker Room</b>            |                 |      |       |                 |
| Locker Area                                 | 842 SF          |      |       |                 |
| Wet Area                                    | 803 SF          |      |       |                 |
| <b>Team Managers Locker Room</b>            |                 |      |       |                 |
| Locker Area - Open Shared                   |                 | -    | 15    | 0 SF            |
| Single Occupancy - Wet Area                 |                 | -    | 100   | 0 SF            |
| <b>Visiting Team Locker Room</b>            |                 |      |       |                 |
| Locker & Wet Room - Basket /Ch & Dn         | 174 SF          | 15   | 25 SF | 375 SF          |
| Locker & Wet Room - Basket /Ch & Dn         | 326 SF          | 15   | 25 SF | 375 SF          |
| <b>Officials Locker Room</b>                |                 |      |       |                 |
| Locker Area - Open Shared                   |                 | 6    | 20    | 120 SF          |
| Single Occupancy - Wet Area                 |                 | 3    | 100   | 300 SF          |
| Lounge                                      |                 | 6    | 30    | 180 SF          |
| <b>3.04 Coaches &amp; Staff Locker Room</b> | <b>301 SF</b>   |      |       | <b>900 SF</b>   |
| <b>Mens Coaches Locker Room</b>             | <b>162 SF</b>   |      |       |                 |
| Locker Room                                 |                 | 4    | 20    | 80 SF           |
| Wet Area                                    |                 | 4    | 10    | 40 SF           |
| Single Occupancy                            |                 | 2    | 100   | 200 SF          |
| Lounge                                      |                 | 4    | 20    | 80 SF           |
| <b>Womens Coaches Locker Room</b>           | <b>139 SF</b>   |      |       |                 |
| Locker Room                                 |                 | 4    | 20    | 80 SF           |
| Wet Area                                    |                 | 4    | 10    | 40 SF           |
| Single Occupancy                            |                 | 2    | 100   | 200 SF          |
| Lounge                                      |                 | 4    | 20    | 80 SF           |
| <b>Mens and Womens Staff</b>                |                 |      |       |                 |
| Single Occupancy                            |                 | 1    | 100   | 100 SF          |
| <b>3.05 Student-Athlete Support</b>         | <b>373 SF</b>   |      |       | <b>4,975 SF</b> |

| Building Function / Space                          | Exstg Area       | Unit | Area     | Extension          |
|--|------------------|------|----------|--------------------|
| <b>Academic Room</b>                               | 373 SF           |      |          |                    |
| <b>Team Meeting &amp; Film Room(s)</b>             |                  |      |          |                    |
| Baseball Meeting Room                              |                  | 40   | 25       | 1,000 SF           |
| Softball Meeting Room                              |                  | 30   | 25       | 750 SF             |
| Tennis Meeting Room                                |                  | -    | 250      | 0 SF               |
| <b>Training Table / Nutrition</b>                  |                  |      |          |                    |
| Mutli-purpose Team Meal Room                       |                  | 1    | 1,000    | 1,000 SF           |
| Nutrition - Grab & Go / Juice Bar                  |                  |      |          |                    |
| General Building                                   |                  | 1    | 350      | 350 SF             |
| Locker Areas                                       |                  | 3    | 25       | 75 SF              |
| <b>Equipment &amp; Issue</b>                       |                  |      |          |                    |
| Equipment Room - Cheer, Dance, Golf                |                  | 1    | 600      | 600 SF             |
| Equipment Issue / Window                           |                  | 1    | 100      | 100 SF             |
| Travel Storage                                     |                  | 1    | 400      | 400 SF             |
| Laundry Room                                       |                  | -    | 400      | 0 SF               |
| Chemical Storage                                   |                  | -    | 100      | 0 SF               |
| Uniform Drying Room                                |                  | -    | 300      | 0 SF               |
| Assistant Equipment Manager Office                 |                  | -    | 80       | 0 SF               |
| Receiving Room / Dock - Share with Building        |                  | 1    | 200      | 200 SF             |
| Athletic General Storage                           |                  | 1    | 500      | 500 SF             |
| <b>3.06 Training / Performance</b>                 | <b>0 SF</b>      |      |          | <b>400 SF</b>      |
| <b>Training Room - Satellite</b>                   |                  |      |          |                    |
| Entry / Check-In Area                              |                  | -    | 150      | 0 SF               |
| Prehab / Rehab Room                                |                  | -    | 100      | 0 SF               |
| Taping Area  |                  | 1    | 200      | 200 SF             |
| Treatment Area                                     |                  | -    | 200      | 0 SF               |
| Hydrotherapy / Wet Room                            |                  | -    | 750      | 0 SF               |
| Drink/Cooler Room for outdoor                      |                  | 1    | 100      | 100 SF             |
| Restroom   |                  | -    | 80       | 0 SF               |
| Ice Room / Storage                                 |                  | -    | 120      | 0 SF               |
| Storage  |                  | 1    | 100      | 100 SF             |
| Travel Storage                                     |                  | -    | 200      | 0 SF               |
| <b>3.07 Indoor Practice Field / Court</b>          | <b>2,284 SF</b>  |      |          | <b>2,433 SF</b>    |
| Courts   |                  |      |          |                    |
| Golf   | 2,284 SF         | 1    | 1,937 SF | 1,937 SF           |
| Golf Simulator                                     |                  | 2    | 248 SF   | 496 SF             |
| Cheer / Dance                                      |                  |      |          |                    |
| <b>3.08 Spectator Support</b>                      | <b>42,543 SF</b> |      |          | <b>57,769 SF</b>   |
| Ticketing  | 120 SF           | 1    | 200      | 200 SF             |
| <b>Seating - Total Bowl + Club + Suites + Loge</b> |                  |      |          | <b>7,368 Seats</b> |
| <b>Bowl Seating</b>                                | <b>41,922 SF</b> |      |          | <b>41,922 SF</b>   |
|  | <b>7,203</b>     |      |          | <b>7,034 Seats</b> |
| Accessible Seating - Wheelchair + Companion        |                  |      |          | 92 Seats           |
| <b>Clubs / Suites / Loge Boxes</b>                 |                  |      |          |                    |
| Club   |                  | 150  | 12.5     | 1,875 SF           |
| Suites - West & South                              |                  |      |          |                    |

| Building Function / Space                    | Exstg Area       | Unit | Area     | Extension         |
|--|------------------|------|----------|-------------------|
| Small Suite                                  |                  | 6    | 150      | 900 SF            |
| Medium Suite                                 |                  | 4    | 400      | 1,600 SF          |
| Large Suite                                  |                  | -    | 600      | 0 SF              |
| Banquet Club                                 |                  | 1    | 2,500    | 2,500 SF          |
| Loge Boxes - Field Side Boxes                |                  | 2    | 210      | 420 SF            |
| Food & Beverage Prep                         |                  | 4    | 200      | 800 SF            |
| Storage                                      |                  | 4    | 100      | 400 SF            |
| Custodial Closet                             |                  | 3    | 80       | 240 SF            |
| <b>Restrooms</b>                             |                  |      |          |                   |
| Single Occupancy                             |                  | 6    | 80       | 480 SF            |
| <b>Food &amp; Beverage</b>                   |                  | 35   |          |                   |
| Concessions                                  | 501 SF           | 18   | 150      | 2,640 SF          |
| Frictionless                                 |                  | 18   | 120      | 2,112 SF          |
| Bar  |                  | 2    | 300      | 600 SF            |
| <b>Merchandise - Jacks Store</b>             |                  | 1    | 1,000    | 1,000 SF          |
| Jacks Kiosks                                 |                  | 2    | 40       | 80 SF             |
| <b>3.09 Venue Support</b>                    | <b>10,292 SF</b> |      |          | <b>10,554 SF</b>  |
| Court  |                  |      |          |                   |
| Basketball                                   | 6,634 SF         | 1    | 6,634 SF | 6,634 SF          |
| Pressbox                                     |                  |      |          |                   |
| Game Management / Scoreboard / Ops           |                  | -    | -        | 0 SF              |
| Public Address Announcer                     |                  | -    | -        | 0 SF              |
| Replay Booth                                 |                  | -    | -        | 0 SF              |
| Broadcasting                                 | 632 SF           | 1    | 1,200 SF | 1,200 SF          |
| Home Radio                                   |                  | -    | -        | 0 SF              |
| Visitors Radio                               |                  | -    | -        | 0 SF              |
| Press / Media                                | 148 SF           | 1    | 220      | 220 SF            |
| Press Box Restrooms                          |                  |      |          |                   |
| Single Occupancy                             |                  | -    | 80       | 0 SF              |
| Food & Beverage - Kitchen                    |                  | -    | 2,000    | 0 SF              |
| Venue Storage                                | 2,878 SF         | 1    | 2,500 SF | 2,500 SF          |
| <b>4.00 Recreation</b>                       | <b>64,899 SF</b> |      |          | <b>83,031 SF</b>  |
| <b>5.00 Academics</b>                        | <b>0 SF</b>      |      |          | <b>0 SF</b>       |
| <b>6.00 Utilities</b>                        | <b>1,947 SF</b>  |      | w/GSF    |                   |
| <b>7.00 Building Support Spaces</b>          | <b>1,719 SF</b>  |      | w/GSF    |                   |
| <b>Total Net Athletics Square Footage</b>    | <b>62,834 SF</b> |      |          | <b>83,031 SF</b>  |
| <b>Total Net Square Footage</b>              | <b>91,927 SF</b> |      |          | <b>108,811 SF</b> |
| Building Factor - Utilities / Shafts / Walls | 1,287 SF         |      | 5%       | 5,845 SF          |
| <b>Total Gross Square Footage</b>            | <b>93,214 SF</b> |      |          | <b>114,656 SF</b> |

JOHNSON COLISEUM FLOOR PLAN

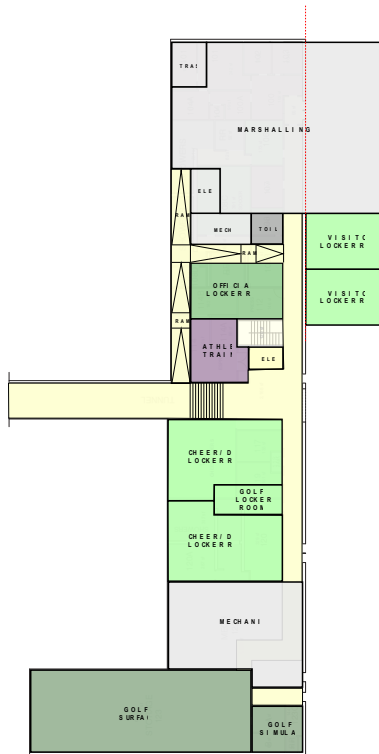


Scale: N.T.S. 

Figure 36. Johnson Coliseum Level 1 Floor Plan



|                          |  |                 |  |              |  |                  |  |              |  |               |  |
|--------------------------|--|-----------------|--|--------------|--|------------------|--|--------------|--|---------------|--|
| Academic Meeting/Support |  | Concourse       |  | Hall of Fame |  | Outdoor Practice |  | Storage      |  | Track         |  |
| Athletics Training       |  | Court/Field     |  | Lobby        |  | Restroom         |  | Support      |  | Venue Support |  |
| Circulation              |  | Food & Beverage |  | Office       |  | Spectator Area   |  | Team Support |  |               |  |



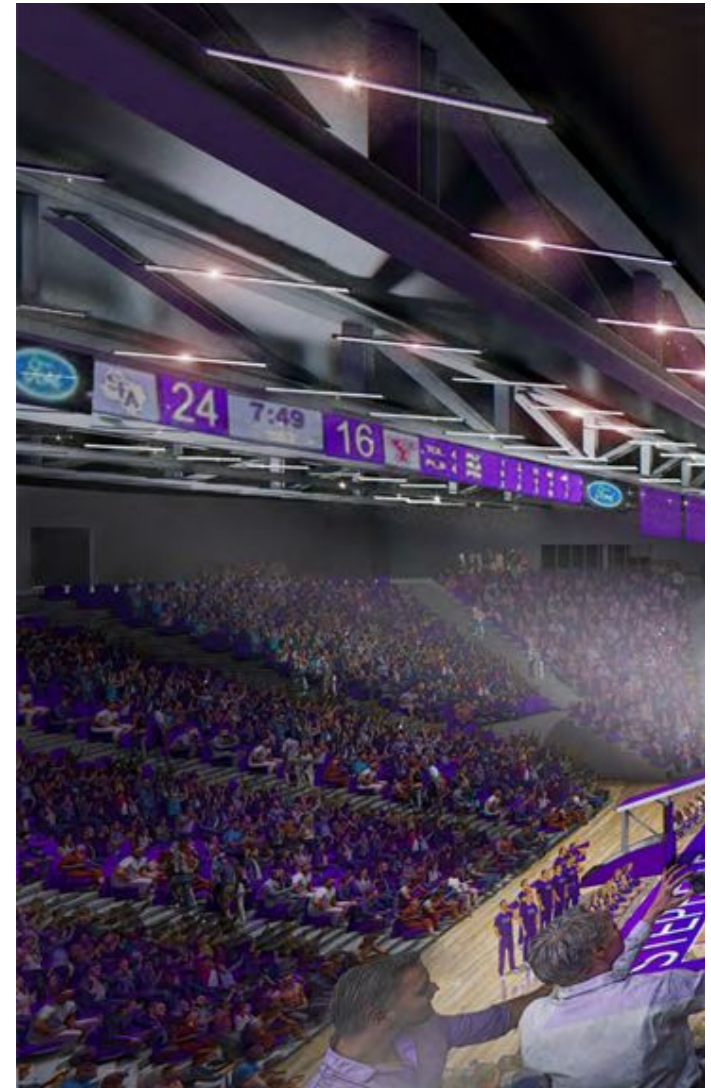
Scale: N.T.S.

**Figure 37.** Johnson Coliseum Level 0 Floor Plan





*Johnson Coliseum Exterior*



*Johnson Coliseum Suite*







# SOUTH CAMPUS ATHLETICS SCOPE

## SOUTH OPERATIONS BUILDING

Size: 87,360 GSF

Height: Three Stories

This new complex will unify Baseball, Softball and Tennis operations and provide essential spaces that support athlete performance, fan engagement, and overall program excellence.

### ATHLETIC AND PERFORMANCE SPACES

- Locker rooms, athlete lounges, and team offices designed to support daily operations and foster team culture.
- A satellite training hub providing Strength and Conditioning and Sports Medicine spaces to serve athletes across the South Campus venues.
- Club and suite areas for premium spectator experiences.
- Bar, restrooms, and concession spaces to enhance event-day amenities and revenue generation.

### SPECTATOR AMENITIES AND REVENUE GENERATION

- **Premium Seating:** Club and suite areas providing elevated spectator experiences with exclusive access and enhanced views of competition venues.

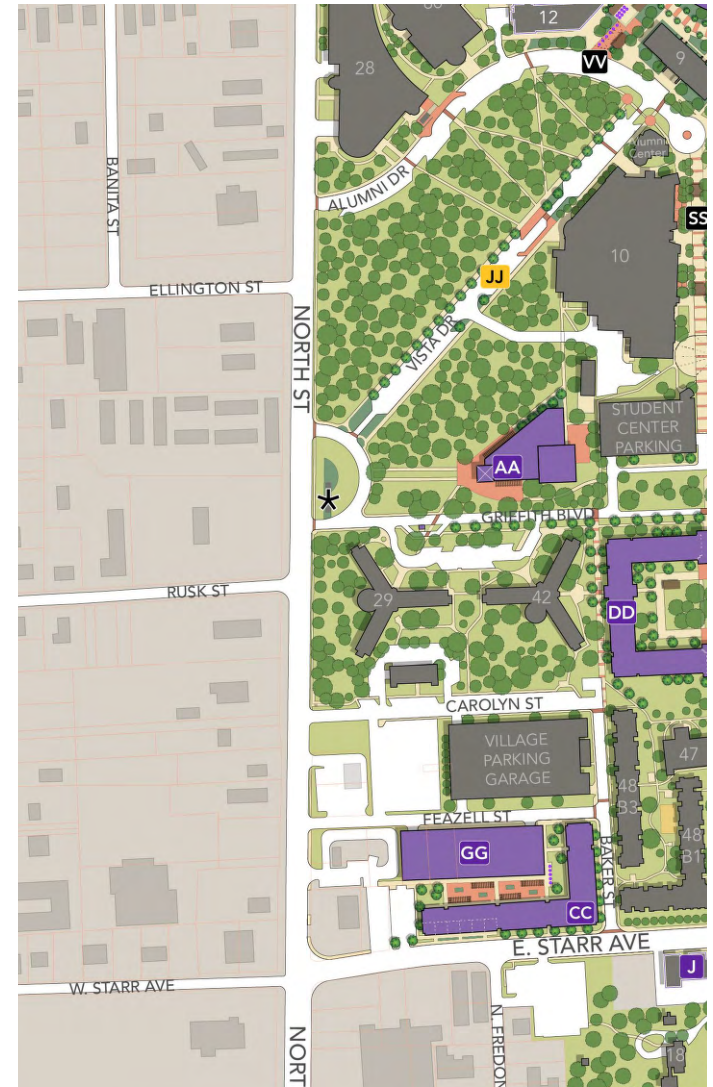
- **Concessions and Hospitality:** Bar areas, grab-and-go concession stands, and restrooms strategically positioned to serve fans across all three venues while generating additional revenue streams.
- **Merchandise and Guest Services:** Spaces supporting fan engagement, merchandise sales, and event-day operations.

### CONNECTIVITY AND SHARED FEATURES

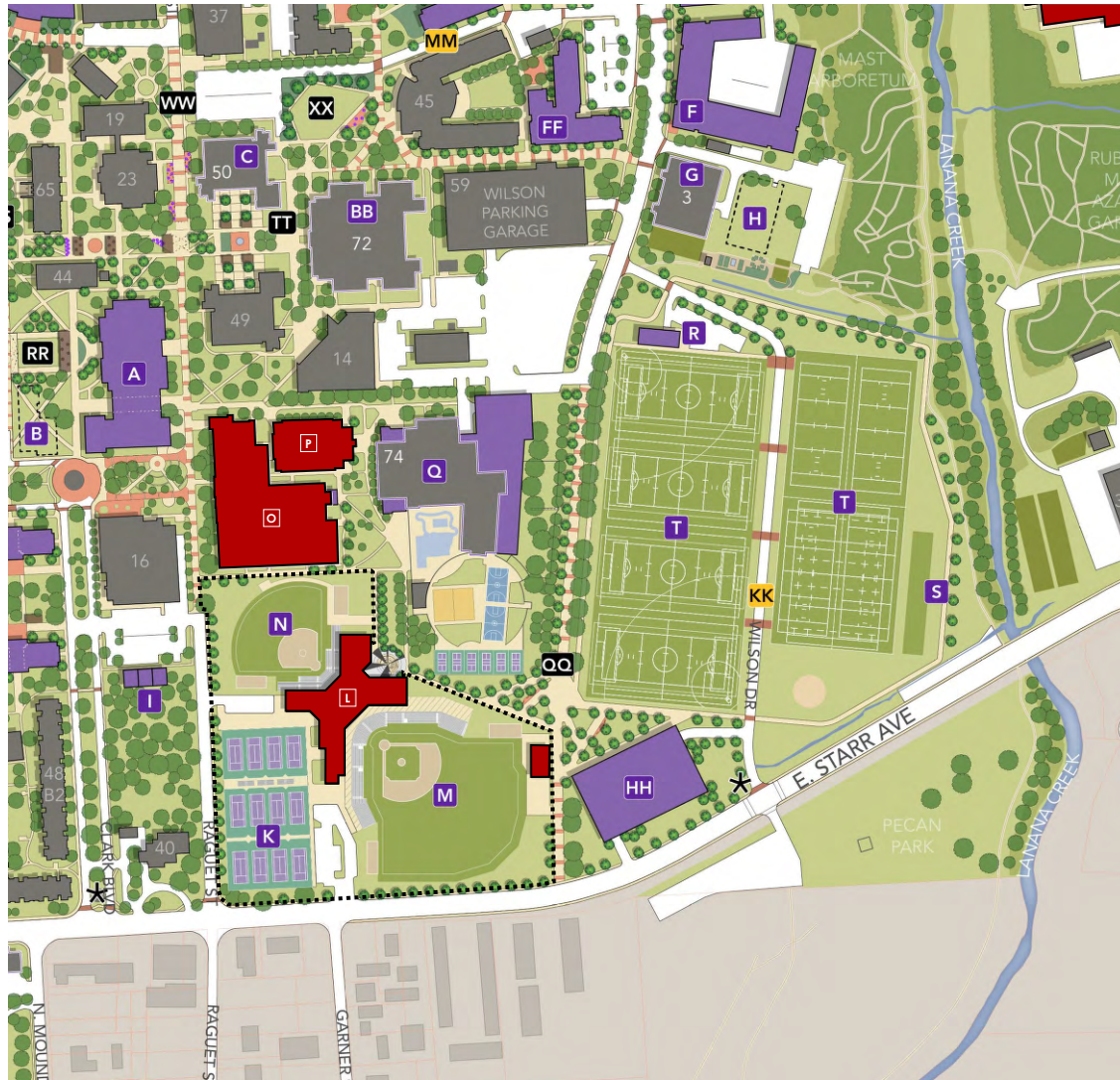
- **Multi-Venue Integration:** The building's central location between Baseball, Softball, and Tennis venues creates operational efficiency with shared resources accessible to all programs while maintaining sport-specific identities.
- **Cross-Program Support:** Shared training, medicine, and meeting facilities encourage collaboration and resource optimization across the three sports programs housed within the complex.
- **Operational Hub:** Administrative spaces, equipment storage, and support facilities consolidate South Campus athletics operations under one roof.

### SITE DESIGN AND ENTRY EXPERIENCE

A welcoming entry plaza with decorative paving will create a strong sense of arrival, visually connecting the building to adjacent fields and venues. This outdoor space will also serve as a gathering point for athletes, staff, and visitors, reinforcing the facility's role as the athletic heart of the South Campus.



Map 15. South Campus Athletics District - facilities outlined



or marked in red

## BUILDING & FACILITY INITIATIVES

### Academic

- A** Science Building
- B** Long-Term Building Site
- C** McKibben Building Renovation
- D** Boynton Music Expansion
- E** Art Building
- F** Facilities Services & Operations + Academic Building
- G** Agriculture Building Renovation
- H** Long-Term Military Science & Aviation Sciences Expansion
- I** Greenhouses
- J** Social Work Building Renovation

### Athletic/Recreation

- K** Tennis Venue
- L** South Operations Venue
- M** Baseball Venue
- N** Softball Venue
- O** Norton HPE Renovation & Addition
- P** Shelton Renovation & Addition
- Q** Student Recreation Center Renovation & Addition
- R** Recreation Support - Field Services Bldg.
- S** Loop Trail & Challenge Course
- T** Recreation Fields - Intramural & Competitive Sports
- U** Johnson Coliseum Renovation & Addition
- V** Fieldhouse Building
- W** Football Stadium
- X** Soccer Stadium
- Y** Indoor Practice
- Z** Track & Field + Practice

### Student Experience

- AA** Auditorium/Welcome Center
- BB** R.W. Steen Library Renovation
- CC** Student Housing A
- DD** Student Housing B
- EE** Student Housing C
- FF** Student Housing D

### Garages

- GG** Garage A
- HH** Garage B
- II** Garage C + University Police Facility

## TRANSPORTATION INITIATIVES

(areas not included in other facility initiatives)

- JJ** Vista Drive & Alumni Drive Street Modifications
- KK** Wilson Drive Realignment
- LL** College Street Modifications
- MM** McKibben/Library Access Road
- NN** North Wilson Drive Extension
- OO** Stadium Loop Drive
- PP** East Stadium Parking

## LANDSCAPE INITIATIVES

- QQ** Wilson Mall
- RR** Central Quad
- SS** Student Center Mall Enhancements
- TT** Central Mall Area
- UU** Aikman Mall
- VV** Austin Plaza
- WW** Raguet Mall Extension
- XX** Steen Open Space
- YY** College Mall
- ZZ** Steen Hall Courtyards
- AAA** Lumberjack Quad & Stadium Plaza
- ★ ★** Gateway Signage

## SOUTH OPERATIONS BUILDING PROGRAM

| Building Function / Space                | Unit | Area     | Extension        | Comments                          |
|--|------|----------|------------------|-----------------------------------|
| <b>1.00 Circulation</b>                  |      | w/GSF    |                  |                                   |
| <b>2.00 Public Space</b>                 |      |          | <b>10,722 SF</b> |                                   |
| Lobby & Hall of Fame                     | 3    | 2,500 SF | 7,500 SF         |                                   |
| Public Restroom(s)                       |      |          |                  |                                   |
| Mens                                     | 2    | 225 SF   | 450 SF           | Distributed thru-out the building |
| Womens                                   | 2    | 300 SF   | 600 SF           | Distributed thru-out the building |
| Single Occupancy                         | 4    | 80 SF    | 320 SF           | Distributed thru-out the building |
| <b>Baseball</b>                          |      |          |                  | Within the South Ops Building     |
| Guest Services / Information             | 1    | 120 SF   | 120 SF           |                                   |
| Personal Care - Lactation / Medical Room | 1    | 100 SF   | 100 SF           |                                   |
| Safety / Security                        | 1    | 150 SF   | 150 SF           |                                   |
| First Aid                                | 1    | 120 SF   | 120 SF           |                                   |
| Public Restroom(s)                       |      |          |                  |                                   |
| Mens Urinals / Water Closets             | 1    | 47 SF    | 47 SF            |                                   |
| Womens Water Closets                     | 2    | 47 SF    | 87 SF            |                                   |
| Single Occupancy                         | 4    | 80 SF    | 320 SF           |                                   |
| <b>Softball</b>                          |      |          |                  | Within the South Ops Building     |
| Guest Services / Information             | 1    | 120 SF   | 120 SF           |                                   |
| Personal Care - Lactation / Medical Room | 1    | 100 SF   | 100 SF           |                                   |
| Safety / Security                        | 1    | 150 SF   | 150 SF           |                                   |
| First Aid                                | 1    | 120 SF   | 120 SF           |                                   |
| Public Restroom(s)                       |      |          |                  |                                   |
| Mens Urinals / Water Closets             | -    | 47 SF    | 0 SF             |                                   |
| Womens Water Closets                     | -    | 47 SF    | 0 SF             |                                   |
| Single Occupancy                         | 2    | 80 SF    | 160 SF           |                                   |
| <b>Tennis</b>                            |      |          |                  | Within the South Ops Building     |
| Public Restroom(s)                       |      |          |                  |                                   |
| Mens Urinals / Water Closets             | 1    | 47 SF    | 62 SF            |                                   |
| Womens Water Closets                     | 3    | 47 SF    | 116 SF           |                                   |
| Single Occupancy                         | 1    | 80 SF    | 80 SF            |                                   |
| <b>3.00 Athletics</b>                    |      |          | <b>50,370 SF</b> |                                   |
| <b>3.01 Team Offices</b>                 |      |          | <b>4,760 SF</b>  |                                   |
| <b>Baseball</b>                          |      |          |                  |                                   |
| Lobby                                    | 1    | 300 SF   | 300 SF           |                                   |
| Head Coach                               | 1    | 200 SF   | 200 SF           |                                   |
| Associate Head Coach                     | 1    | 200 SF   | 200 SF           |                                   |
| Assistant Coach(es)                      | 3    | 150 SF   | 450 SF           |                                   |
| Ops Director                             | 1    | 150 SF   | 150 SF           |                                   |
| Suite Storage                            | 1    | 100 SF   | 100 SF           |                                   |
| <b>Softball</b>                          |      |          |                  |                                   |
| Lobby                                    | 1    | 150 SF   | 150 SF           |                                   |
| Head Coach                               | 1    | 200 SF   | 200 SF           |                                   |
| Associate Head Coach                     | 1    | 200 SF   | 200 SF           |                                   |
| Assistant Coaches                        | 3    | 150 SF   | 450 SF           |                                   |
| Ops Director                             | 1    | 150 SF   | 150 SF           |                                   |
| Suite Storage                            | 1    | 100 SF   | 100 SF           |                                   |
| <b>Tennis</b>                            |      |          |                  |                                   |
| Lobby                                    | 1    | 150 SF   | 150 SF           |                                   |
| Head Coach                               | 1    | 200 SF   | 200 SF           |                                   |
| Assistant Coaches                        | 2    | 150 SF   | 300 SF           |                                   |
| Suite Storage                            | 1    | 100 SF   | 100 SF           |                                   |
| <b>Meeting Rooms - Shared</b>            |      |          |                  |                                   |
| Medium Meeting Room                      | 1    | 400 SF   | 400 SF           |                                   |
| Small Meeting Room                       | 1    | 240 SF   | 240 SF           |                                   |
| Workroom - Shared                        | 1    | 150 SF   | 150 SF           |                                   |
| Break Room - Shared                      | 1    | 150 SF   | 150 SF           |                                   |

| Building Function / Space                   | Unit | Area     | Extension       | Comments                                  |
|---|------|----------|-----------------|---|
| General Office Storage                      | 1    | 100 SF   | 100 SF          |   |
| <b>Office Restroom(s)</b>                   |      |          |                 |   |
| Single Occupancy                            | 4    | 80 SF    | 320 SF          |   |
| <b>3.03 Team Locker Rooms</b>               |      |          | <b>8,290 SF</b> |   |
| <b>Baseball Locker Room</b>                 |      |          |                 |   |
| Locker Area                                 | 35   | 35 SF    | 1,225 SF        |   |
| Wet Area                                    | 35   | 15 SF    | 525 SF          |   |
| Lounge                                      | 35   | 20 SF    | 700 SF          |   |
| <b>Softball Locker Room</b>                 |      |          |                 |   |
| Locker Area                                 | 25   | 35 SF    | 875 SF          |   |
| Wet Area                                    | 25   | 15 SF    | 375 SF          |   |
| Lounge                                      | 25   | 20 SF    | 500 SF          |   |
| <b>Tennis Locker Room</b>                   |      |          |                 |   |
| Locker Area                                 | 10   | 35 SF    | 350 SF          |   |
| Wet Area                                    | 10   | 10 SF    | 100 SF          |   |
| Lounge                                      | 10   | 20 SF    | 200 SF          |   |
| <b>Team Managers Locker Room</b>            |      |          |                 |   |
| Locker Area - Open Shared                   | 6    | 15 SF    | 90 SF           |   |
| Single Occupancy - Wet Area                 | 2    | 100 SF   | 200 SF          |   |
| <b>Visiting Team Locker Room</b>            |      |          |                 |   |
| Locker & Wet Room - Baseball                | 30   | 25 SF    | 750 SF          |   |
| Locker & Wet Room - Softball                | 20   | 25 SF    | 500 SF          |   |
| Locker & Wet Room - Tennis                  | 20   | 20 SF    | 400 SF          |   |
| <b>Visiting Coaches Locker Room</b>         |      |          |                 |   |
| Locker Area - Open Shared                   | 10   | 20 SF    | 200 SF          |   |
| Single Occupancy - Wet Area                 | 4    | 100 SF   | 400 SF          |   |
| <b>Officials Locker Room</b>                |      |          |                 |   |
| Locker Area - Open Shared                   | 10   | 20 SF    | 200 SF          |   |
| Single Occupancy - Wet Area                 | 4    | 100 SF   | 400 SF          |   |
| Lounge                                      | 10   | 30 SF    | 300 SF          |   |
| <b>3.04 Coaches &amp; Staff Locker Room</b> |      |          | <b>1,600 SF</b> |   |
| <b>Mens Coaches Locker Room</b>             |      |          |                 |   |
| Locker Room                                 | 10   | 20 SF    | 200 SF          |   |
| Wet Area                                    | 10   | 10 SF    | 100 SF          |   |
| Single Occupancy                            | 2    | 100 SF   | 200 SF          | Distributed for flex'g / M&W Staff Shifts |
| Lounge                                      | 10   | 20 SF    | 200 SF          |   |
| <b>Womens Coaches Locker Room</b>           |      |          |                 |   |
| Locker Room                                 | 10   | 20 SF    | 200 SF          |   |
| Wet Area                                    | 10   | 10 SF    | 100 SF          |   |
| Single Occupancy                            | 2    | 100 SF   | 200 SF          | Distributed for flex'g / M&W Staff Shifts |
| Lounge                                      | 10   | 20 SF    | 200 SF          |   |
| <b>Mens Staff</b>                           |      |          |                 |   |
| Single Occupancy                            | 1    | 100 SF   | 100 SF          |   |
| <b>Womens Staff</b>                         |      |          |                 |   |
| Single Occupancy                            | 1    | 100 SF   | 100 SF          |   |
| <b>3.05 Student-Athlete Support</b>         |      |          | <b>7,255 SF</b> |   |
| <b>Team Meeting &amp; Film Room(s)</b>      |      |          |                 |   |
| Baseball Meeting Room                       | 40   | 25 SF    | 1,000 SF        | Team + Coaches                            |
| Softball Meeting Room                       | 30   | 25 SF    | 750 SF          | Team + Coaches                            |
| Tennis Meeting Room                         | -    | 250 SF   | 0 SF            | Use Meeting rooms for Coaches             |
| <b>Training Table / Nutrition</b>           |      |          |                 |   |
| Mutli-purpose Team Meal Room                | 1    | 1,000 SF | 1,000 SF        |   |
| Nutrition - Grab & Go / Juice Bar           |      |          |                 |   |
| General Building                            | 1    | 350 SF   | 350 SF          |   |
| Locker Areas                                | 3    | 25 SF    | 75 SF           |   |
| <b>Equipment &amp; Issue</b>                |      |          |                 |   |



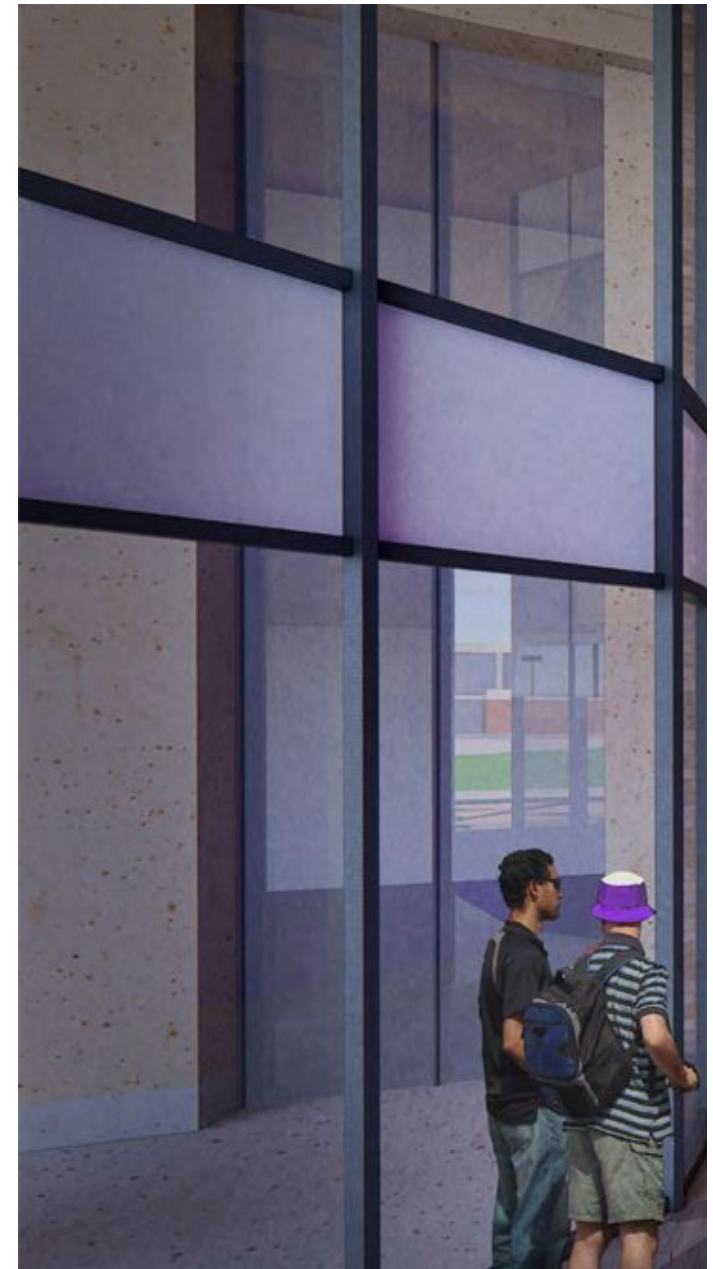
## SOUTH OPERATIONS BUILDING PROGRAM - CONTINUED

| Building Function / Space                   | Unit | Area     | Extension        | Comments                                 |
|---|------|----------|------------------|--|
| Equipment Room - Baseball, Softball, Tennis | 1    | 1,500 SF | 1,500 SF         |  |
| Equipment Issue / Window                    | 2    | 200 SF   | 400 SF           |  |
| Travel Storage                              | 1    | 600 SF   | 600 SF           |  |
| Laundry Room                                | 1    | 400 SF   | 400 SF           |  |
| Chemical Storage                            | 1    | 100 SF   | 100 SF           |  |
| Uniform Drying Room                         | 1    | 300 SF   | 300 SF           |  |
| Assistant Equipment Manager Office          | 1    | 80 SF    | 80 SF            |  |
| Receiving Room / Dock - Share with Building | 1    | 200 SF   | 200 SF           |  |
| Athletic General Storage                    | 1    | 500 SF   | 500 SF           |  |
| <b>3.06 Training / Performance</b>          |      |          | <b>2,470 SF</b>  |  |
| <b>Training Room - Satellite</b>            |      |          |                  |  |
| Entry / Check-In Area                       | 1    | 150 SF   | 150 SF           |  |
| Prehab / Rehab Room                         | 1    | 300 SF   | 300 SF           |  |
| Taping Area                                 | 1    | 200 SF   | 200 SF           |  |
| Treatment Area                              | 1    | 200 SF   | 200 SF           |  |
| Hydrotherapy / Wet Room                     | 1    | 650 SF   | 650 SF           |  |
| Hydrotherapy Machine Room                   | 1    | 250 SF   | 250 SF           |  |
| Exam Room                                   | 1    | 100 SF   | 100 SF           |  |
| X-Ray Room / C-Arm                          | -    | 150 SF   | 0 SF             |  |
| Procedure Room                              | -    | 150 SF   | 0 SF             |  |
| Drink/Cooler Room for outdoor               | 1    | 120 SF   | 120 SF           |  |
| Restroom                                    | 1    | 80 SF    | 80 SF            |  |
| Ice Room / Storage                          | 1    | 120 SF   | 120 SF           |  |
| Storage                                     | 1    | 150 SF   | 150 SF           |  |
| Travel Storage                              | 1    | 150 SF   | 150 SF           |  |
| <b>3.07 Indoor Practice Field / Court</b>   |      |          | <b>5,200 SF</b>  |  |
| Baseball & Softball Batting Cages           | 3    | 1,600 SF | 4,800 SF         | (3) Tunnels + Circulation Space          |
| Storage                                     | 1    | 400 SF   | 400 SF           |  |
| <b>3.08 Spectator Support</b>               |      |          | <b>14,585 SF</b> |  |
| <b>Baseball Suites + Amenities</b>          |      |          |                  | Included in BB Stadium Program           |
| Ticketing                                   | 1    | 150      | 150 SF           | Shared by all Teams                      |
| Clubs / Suites / Loge Boxes / Terraces      |      |          |                  |  |
| Club  | 100  | 12.5     | 1,250 SF         | Includes Bar / Food Serving              |
| Suites - West & South                       |      |          |                  | See FH Program for South                 |
| Small Suite                                 | 2    | 240      | 480 SF           | (10) Occupants Each                      |
| Medium Suite                                | 2    | 400      | 800 SF           | (14) Occupants Each                      |
| Large Suite                                 | 1    | 600      | 600 SF           | (20) Occupants Each                      |
| AD / Presidential Suite                     | -    | 1,200    | 0 SF             | (40) Occupants Each                      |
| Loge Boxes - Field Side Boxes               | 2    | 210      | 420 SF           | (14) Occs Ea, Cut into the lower bowl    |
| Terraces                                    |      |          |                  |  |
| Left Field Terrace                          | 30   | 12.5     | 375 SF           | Includes Bar / Food Serving              |
| Outfield Terrace                            | 25   | 12.5     | 313 SF           | Includes Bar / Food Serving              |
| Food & Beverage Prep                        | 4    | 200      | 800 SF           | Food to be served in Clbs/Stes/Loge/Terr |
| Storage                                     | 4    | 100      | 400 SF           |  |
| Custodial Closet                            | 1    | 80       | 80 SF            |  |
| Restrooms                                   |      |          |                  |  |
| Single Occupancy                            | 4    | 80       | 320 SF           |  |
| Food & Beverage                             | 9    |          | 1:250 POS/Seat   |  |
| Concessions                                 | 5    | 150      | 690 SF           |  |
| Frictionless                                | 5    | 120      | 552 SF           |  |
| Bar   | 2    | 300      | 600 SF           |  |
| Merchandise - Jacks Store                   | 1    | 500      | 500 SF           |  |
| Jacks Kiosks                                | 2    | 40       | 80 SF            |  |
| <b>Softball Suites + Amenities</b>          |      |          |                  | Included in SB Stadium Program           |
| Clubs / Suites / Loge Boxes / Terraces      |      |          |                  |  |
| Club  | 60   | 13 SF    | 750 SF           | Includes Bar / Food Serving              |

| Building Function / Space          | Unit | Area   | Extension       | Comments                                 |
|------------------------------------|------|--------|-----------------|--|
| Suites - West & South              |      |        |                 | See FH Program for South                 |
| Small Suite                        | 2    | 240    | 480 SF          | (10) Occupants Each                      |
| Medium Suite                       | 1    | 400    | 400 SF          | (14) Occupants Each                      |
| Large Suite                        | 1    | 600    | 600 SF          | (20) Occupants Each                      |
| AD / Presidential Suite            | -    | 1,200  | 0 SF            | (40) Occupants Each                      |
| Loge Boxes - Field Side Boxes      | 2    | 210 SF | 420 SF          | (14) Occs Ea, Cut into the lower bowl    |
| Terraces                           |      |        |                 |  |
| Left Field Terrace                 | 30   | 12.5   | 375 SF          | Includes Bar / Food Serving              |
| Outfield Terrace                   | 25   | 12.5   | 313 SF          | Includes Bar / Food Serving              |
| Food & Beverage Prep               | 3    | 200.0  | 600 SF          | Food to be served in Clbs/Stes/Loge/Terr |
| Storage                            | 3    | 100.0  | 300 SF          |  |
| Custodial Closet                   | 1    | 80.0   | 80 SF           |  |
| Restrooms                          |      |        |                 |  |
| Single Occupancy                   | 4    | 80.0   | 320 SF          |  |
| Food & Beverage                    | 6    |        | 1:250 POS/Seat  |  |
| Concessions                        | 3    | 150.0  | 413 SF          |  |
| Concessions                        | 3    | 120.0  | 330 SF          |  |
| Bar                                | 2    | 300.0  | 600 SF          |  |
| Merchandise - Jacks Store          | -    | 500.0  | 0 SF            | Shared with Baseball                     |
| Jacks Kiosks                       | 2    | 40.0   | 80 SF           |  |
| <b>Tennis Amenities</b>            |      |        |                 | Included in Court Program                |
| Food & Beverage                    | 1    |        | 1:500 POS/Seat  |  |
| Concessions                        | 1    | 150.0  | 75 SF           | Within the South Ops Building            |
| Merchandise - Jacks Store          |      |        |                 |  |
| Jacks Kiosks                       | 1    | 40.0   | 40 SF           | Within the South Ops Building            |
| <b>3.09 Venue Support</b>          |      |        | <b>6,210 SF</b> |  |
| <b>Baseball</b>                    |      |        |                 |  |
| Pressbox                           |      |        |                 |  |
| Game Management / Scoreboard / Ops | 1    | 200    | 200 SF          |  |
| Public Address Announcer           | 1    | 90     | 90 SF           |  |
| Replay Booth                       | 1    | 90     | 90 SF           |  |
| Broadcasting                       | 1    | 90     | 90 SF           |  |
| Home Radio                         | 1    | 90     | 90 SF           |  |
| Visitors Radio                     | 1    | 90     | 90 SF           |  |
| Press / Media                      | 1    | 600    | 600 SF          |  |
| Home Coaches                       | 1    | 120    | 120 SF          |  |
| Visitors Coaches                   | 1    | 120    | 120 SF          |  |
| Press Box Restrooms                |      |        |                 |  |
| Single Occupancy                   |      | 80     | 0 SF            |  |
| IDF Room                           | 1    | 80     | 80 SF           |  |
| Filming - Roof                     | 1    | -      | 0 SF            |  |
| Food & Beverage - Kitchen          | -    | 2,000  |                 | Food provided offsite or in concessions  |
| Ballpark Maintenance               | 1    | 1,000  | 1,000 SF        | Could be shared with Softball            |
| Ballpark Storage                   | 1    | 600    | 600 SF          |  |
| <b>Softball</b>                    |      |        |                 |  |
| Pressbox                           |      |        |                 |  |
| Game Management / Scoreboard / Ops | 1    | 150    | 150 SF          |  |
| Public Address Announcer           | 1    | 90     | 90 SF           |  |
| Replay Booth                       | 1    | 90     | 90 SF           |  |
| Broadcasting                       | 1    | 90     | 90 SF           |  |
| Home Radio                         | 1    | 90     | 90 SF           |  |
| Visitors Radio                     | 1    | 90     | 90 SF           |  |
| Press / Media                      | 1    | 300    | 300 SF          |  |
| Home Coaches                       | 1    | 90     | 90 SF           |  |

## SOUTH OPERATIONS BUILDING PROGRAM - CONTINUED

| Building Function / Space   | Unit | Area  | Extension        | Comments                                |
|---|------|-------|------------------|---|
| Visitors Coaches  | 1    | 90    | 90 SF            |   |
| Press Box Restrooms   |      |       |                  |   |
| Single Occupancy  | 1    | 80    | 80 SF            |   |
| IDF Room  | 1    | 80    | 80 SF            |   |
| Filming - Roof  | 1    | -     | 0 SF             |   |
| Food & Beverage - Kitchen   | -    | 1,000 |                  | Food provided offsite or in concessions |
| Ballpark Maintenance  | 1    | 1,000 | 1,000 SF         | Could be shared with Baseball           |
| Ballpark Storage  | 1    | 500   | 500 SF           |   |
| <b>Tennis</b>   |      |       |                  |   |
| Pressbox  |      |       |                  |   |
| Game Management / Scoreboard / Ops                                | 1    | 100   | 100 SF           |   |
| Public Address Announcer  | -    | 90    | 0 SF             |   |
| Broadcasting  | -    | 90    | 0 SF             |   |
| Home Coaches  | -    | 90    | 0 SF             |   |
| Visitors Coaches  | -    | 90    | 0 SF             |   |
| Press Box Restrooms   |      |       |                  |   |
| Single Occupancy  | -    | 80    | 0 SF             | Listed with Suites                      |
| Filming - Roof  | 1    | -     | 0 SF             |   |
| Court Maintenance & Storage                                       | 1    | 200   | 200 SF           | Could be shared                         |
| <b>4.00 Recreation</b>  |      |       | <b>0 SF</b>      |   |
| <b>5.00 Academics</b>   |      |       | <b>0 SF</b>      |   |
| <b>6.00 Utilities</b>   |      | w/GSF |                  |   |
| <b>7.00 Building Support Spaces</b>                               |      | w/GSF |                  |   |
| <b>Total Net Square Footage</b>                                   |      |       | <b>61,091 SF</b> |   |
| <b>Building Factor - Circulation / Utilities / Shafts / Walls</b> |      | 30%   | <b>26,269 SF</b> |   |
| <b>Total Gross Square Footage</b>                                 |      |       | <b>87,361 SF</b> |   |

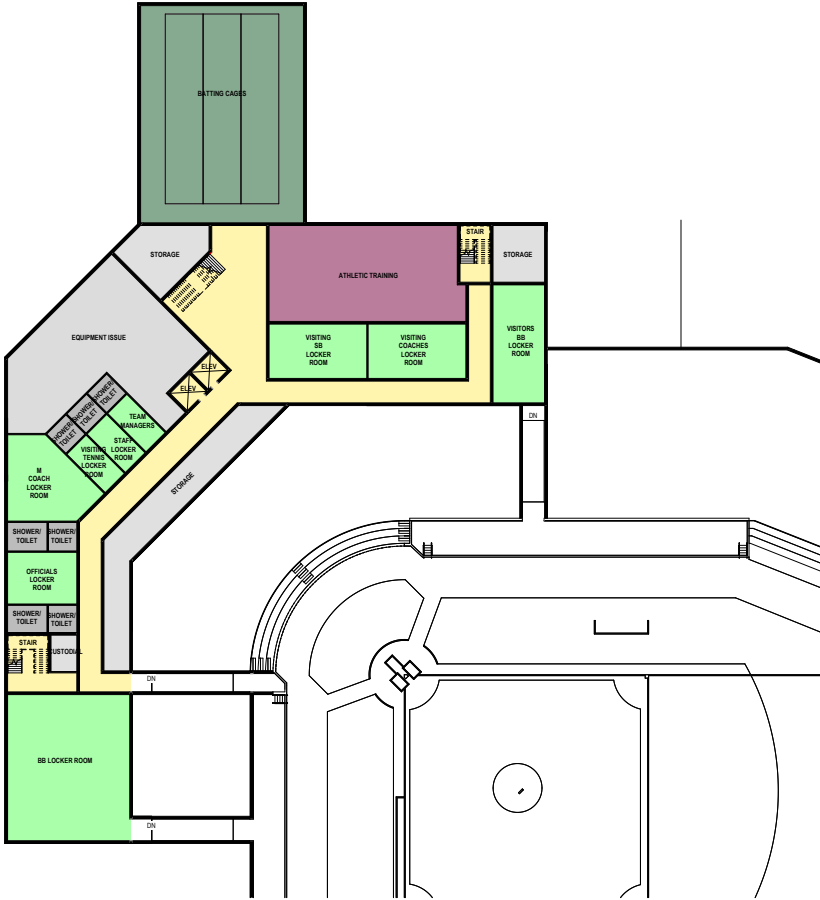


South Campus Operations  
Hall of Fame



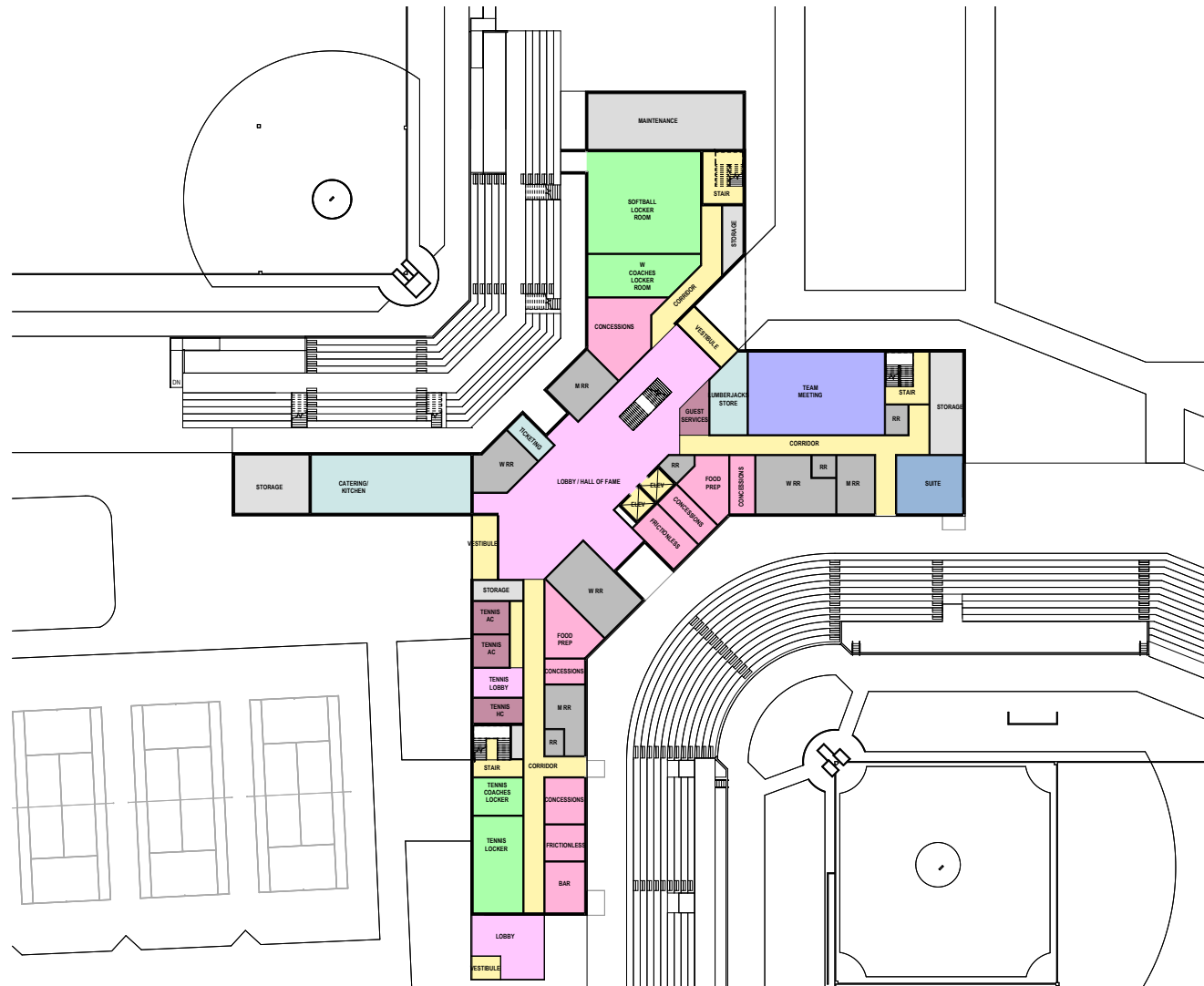


SOUTH OPERATIONS BUILDING FLOOR PLANS



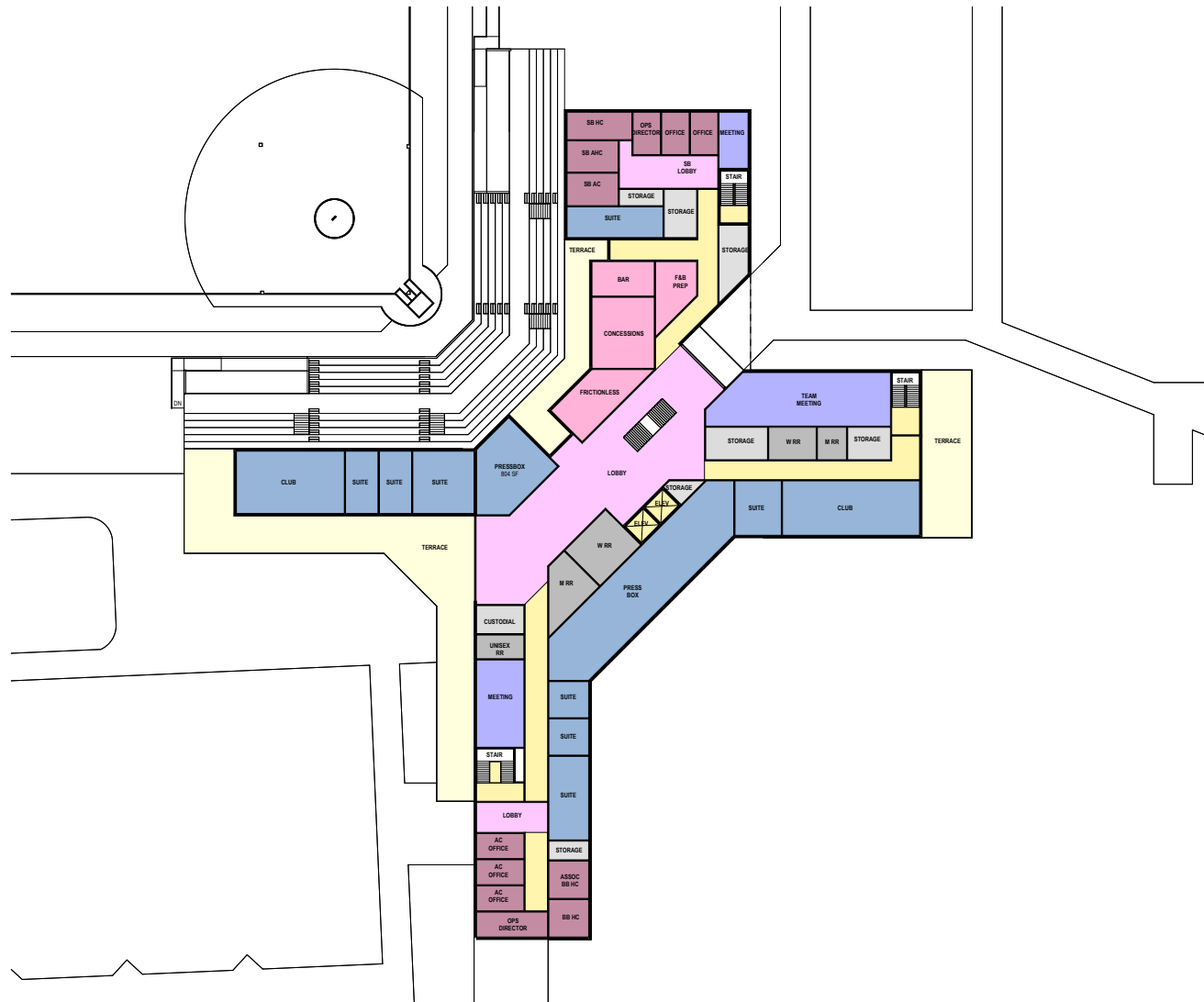
**Figure 38.** South Campus Operations Building Level 1 Floor Plan

Scale: N.T.S. 



**Figure 39.** South Campus Operations Building Level 2 Floor Plan

Scale: N.T.S.



**Figure 40.** South Campus Operations Building Level 3 Floor Plan

Scale: N.T.S.





*South Operations Building Plaza*

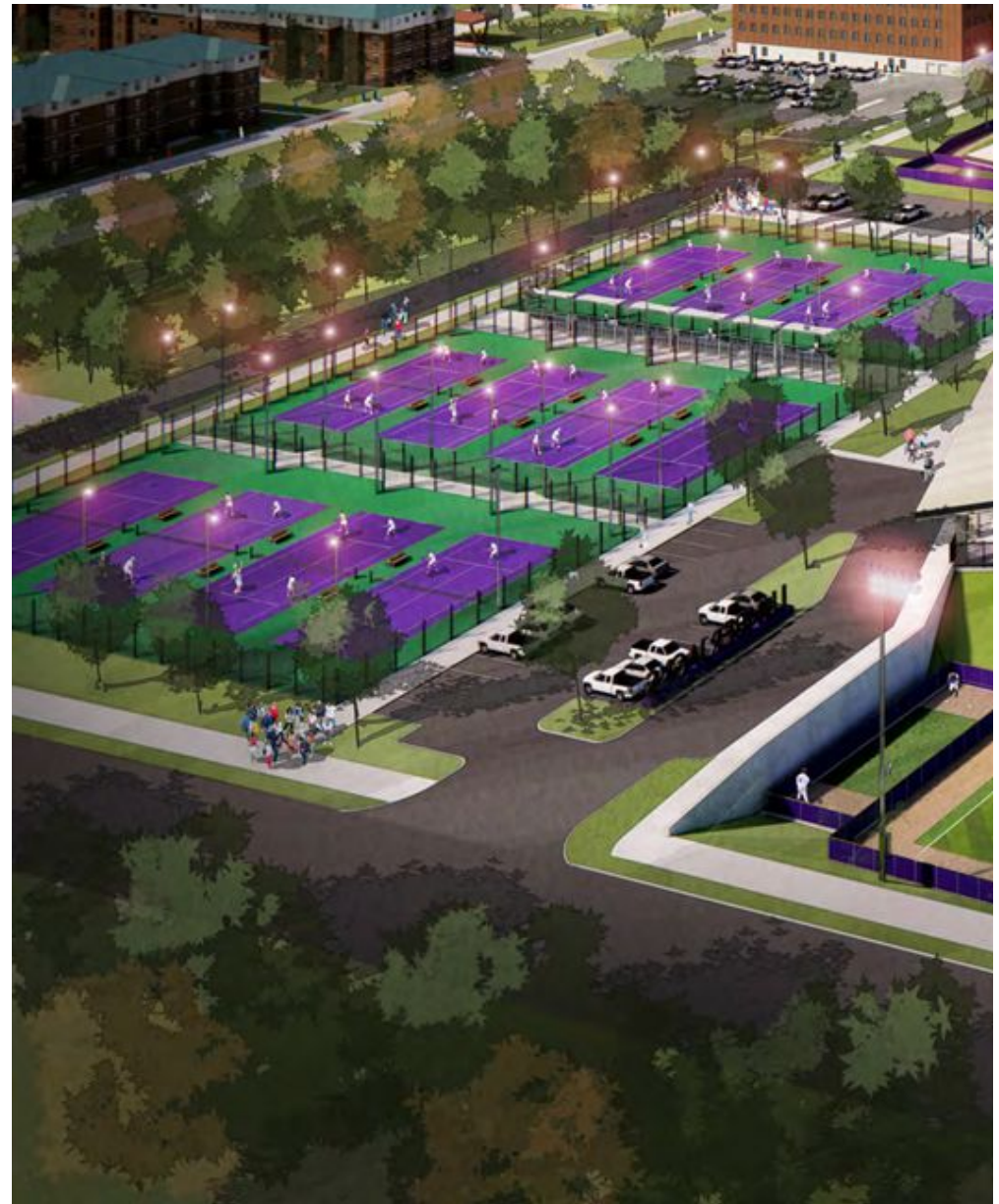


## BASEBALL VENUE

Size: 35,500 GSF

Capacity: 2,285 seats (top-loaded configuration)

The 35,500 GSF venue provides a dedicated, on-campus home for Baseball. The facility features a 130,000 SF field with a synthetic turf infield, natural grass outfield, two bullpens, backstop netting on four poles, field fencing and padding, foul poles, eight sports lighting poles, a scoreboard, sound/PA system, and a 90'x40' batter's eye. Interior batting cages with storage and supporting facilities, including dugouts, hitting and pitching areas, enhanced athlete performance and operations function out of the South Operations Building. Spectator amenities include 2,285 seats. Additional team and spectator support spaces and premium seating are also provided.



SE Aerial of South Campus Athletics District







## BASEBALL VENUE PROGRAM

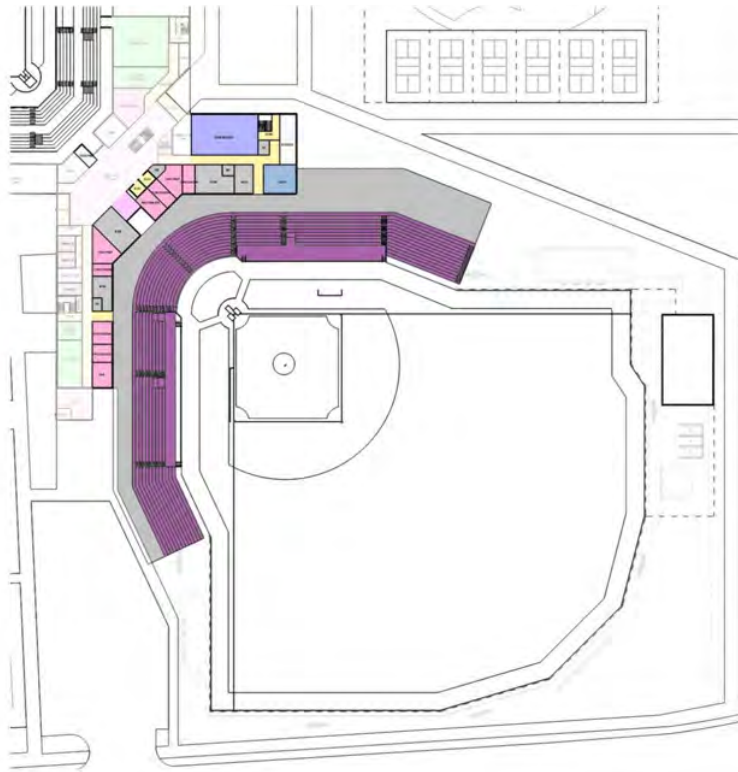
| Building Function / Space                                  | Unit | Area         | Extension          | Comments                             |
|--|------|--------------|--------------------|--------------------------------------|
| <b>1.00 Circulation</b>                                    |      | <b>w/GSF</b> | <b>1,710 SF</b>    | <b>Does not include Exterior SF</b>  |
| Main Entry Plaza / Gates                                   | 1    | 2,000 SF     | 2,000 SF           | Exterior                             |
| Secondary Entry Plaza / Gates                              | 2    | 1,000 SF     | 2,000 SF           | Exterior                             |
| Councourse   | 1    | 10,000 SF    | 10,000 SF          | Exterior                             |
| Elevators  |      |              |                    |                                      |
| Passenger  | 1    | 90 SF        | 90 SF              |                                      |
| Service  | 1    | 120 SF       | 120 SF             |                                      |
| Interior Stairs  | 2    | 750 SF       | 1,500 SF           |                                      |
| Field Level Entry  |      |              |                    | Exterior                             |
| Emergency Responders                                       |      |              |                    | Exterior                             |
| <b>2.00 Public Space</b>                                   |      |              | <b>0 SF</b>        | <b>Within the South Ops Building</b> |
| Guest Services / Information                               | -    | 120 SF       | 0 SF               |                                      |
| Personal Care - Lactation / Medical Room                   | -    | 100 SF       | 0 SF               |                                      |
| Safety / Security  | -    | 150 SF       | 0 SF               |                                      |
| First Aid  | -    | 120 SF       | 0 SF               |                                      |
| Public Restroom(s)   |      |              |                    |                                      |
| Mens Urinals / Water Closets                               | -    | 47 SF        | 0 SF               |                                      |
| Womens Water Closets                                       | -    | 47 SF        | 0 SF               |                                      |
| Single Occupancy   | -    | 80 SF        | 0 SF               |                                      |
| <b>3.00 Athletics</b>                                      |      |              | <b>5,416 SF</b>    |                                      |
| <b>3.01 Team Offices</b>                                   |      |              |                    | Within the South Ops Building        |
| <b>3.02 Staff Offices</b>                                  |      |              |                    | Within the South Ops Building        |
| <b>3.03 Coaches &amp; Staff Locker Room</b>                |      |              |                    | Within the South Ops Building        |
| <b>3.04 Student-Athlete Support</b>                        |      |              | <b>5,416 SF</b>    |                                      |
| Dugouts  |      |              |                    |                                      |
| Sunken Dugout - Bench / Gear                               | 2    | 798 SF       | 1,596 SF           |                                      |
| Storage  | 2    | 70 SF        | 140 SF             |                                      |
| Utility Closet   | 1    | 80 SF        | 80 SF              |                                      |
| Restrooms  | 2    | 50 SF        | 100 SF             |                                      |
| Athletics Event Storage                                    | -    | 500 SF       | 0 SF               | Within the South Ops Building        |
| Field Storage  | -    | 1,000 SF     | 0 SF               | Within the South Ops Building        |
| Maintenance Building                                       | 1    | 3,500 SF     | 3,500 SF           | Standalone Building                  |
| <b>3.05 Training / Performance</b>                         |      |              |                    | Within the South Ops Building        |
| <b>3.08 Spectator Support</b>                              |      |              | <b>0 SF</b>        |                                      |
| Ticketing  | -    | 150 SF       | 0 SF               | Within the South Ops Building        |
| <b>Seating - Total Bowl + Club + Suites + Loge</b>         |      |              | <b>2,285 Seats</b> |                                      |
| <b>Bowl Seating</b>  |      |              | <b>2,285 Seats</b> |                                      |
| Lower Bowl   | 15   | 150 SF       | 2,250 Seats        | 22" Chair Backs                      |
| Upper Bowl   | -    | SF           | 0 Seats            | 22" Chair Backs                      |
| Accessible Seating - Wheelchair + Companion                |      |              | 35 Seats           |                                      |
| <b>Clubs / Suites / Loge Boxes / Terraces</b>              |      |              |                    | Within the South Ops Building        |
| <b>3.09 Venue Support</b>                                  |      |              | <b>0 SF</b>        |                                      |
| Pressbox   |      |              |                    | Within the South Ops Building        |
| <b>4.00 Recreation</b>                                     |      |              | <b>0 SF</b>        |                                      |
| <b>5.00 Academics</b>                                      |      |              | <b>0 SF</b>        |                                      |
| <b>6.00 Utilities</b>                                      |      | <b>w/GSF</b> |                    |                                      |
| <b>7.00 Building Support Spaces</b>                        |      | <b>w/GSF</b> |                    |                                      |
| <b>Total Net Square Footage</b>                            |      |              | <b>5,416 SF</b>    |                                      |
| Building Factor - Circulation / Utilities / Shafts / Walls |      | 30%          | 2,329 SF           |                                      |
| <b>Total Gross Square Footage</b>                          |      |              | <b>7,745 SF</b>    |                                      |
| Total Exterior SF  |      |              | 27,712 SF          |                                      |
| Total Gross Square Footage + Exterior                      |      |              | 35,457 SF          |                                      |

| Building Function / Space               | Unit    | Area       | Extension | Comments                               |
|---|---------|------------|-----------|--|
| <b>8.00 Outdoor Athletic Facilities</b> |         |            |           |  |
| <b>8.01 Venue</b>                       |         |            |           |  |
| Field                                   | 1 Field | 130,000 SF |           |  |
| Synthetic Turf Infield                  | 1 Area  |            |           | 50' Backstop width + 10' into outfield |
| Natural Grass Outfield                  | 1 Area  |            |           | 6' fence, 330' corners, 400' Center    |
| Bullpens                                | 2 Areas |            |           |  |
| Backstop Netting                        | 4 Poles |            |           |  |
| Field Fencing, Padding, Foul Poles      |         |            |           |  |
| Sports Lighting                         | 6 Poles |            |           |  |
| Scoreboard                              | 1 Board |            |           |  |
| Sound / PA System                       |         |            |           |  |
| Batters Eye - 90'x40'                   |         |            |           |  |



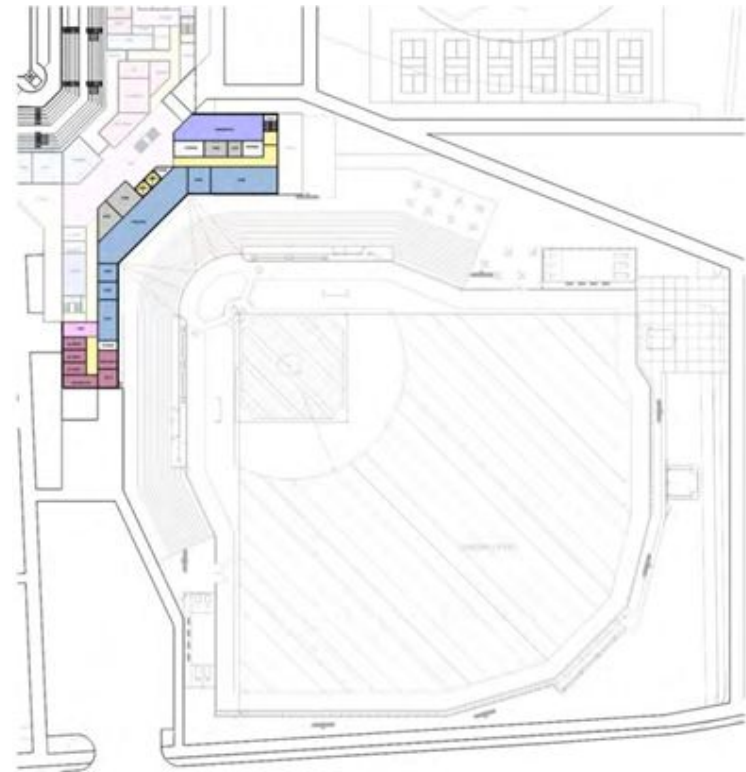
Figure 41. Baseball Venue - Level 01

Scale: N.T.S.



**Figure 42.** Baseball Venue - Level 02

Scale: N.T.S. 



**Figure 43.** Baseball Field - Level 03

Scale: N.T.S. 

## SOFTBALL VENUE

Size: 28,900 GSF

Capacity: 1,370 seats

At approximately 28,900 GSF, the venue provides an on-campus home for Softball. It features a 46,000 SF field with a synthetic turf infield, two bullpens, field fencing and padding, foul poles, six sports lighting poles, a scoreboard, and sound/PA system. Interior batting cages are included and shared with visiting teams inside the South Operations Building. The venue offers 1,370 spectator seats, with additional amenities such as entry plazas, concessions and restrooms. Additional team and spectator support spaces and premium seating are housed in the facility as well.



*NW Aerial of South Campus Athletics District*





## SOFTBALL VENUE PROGRAM

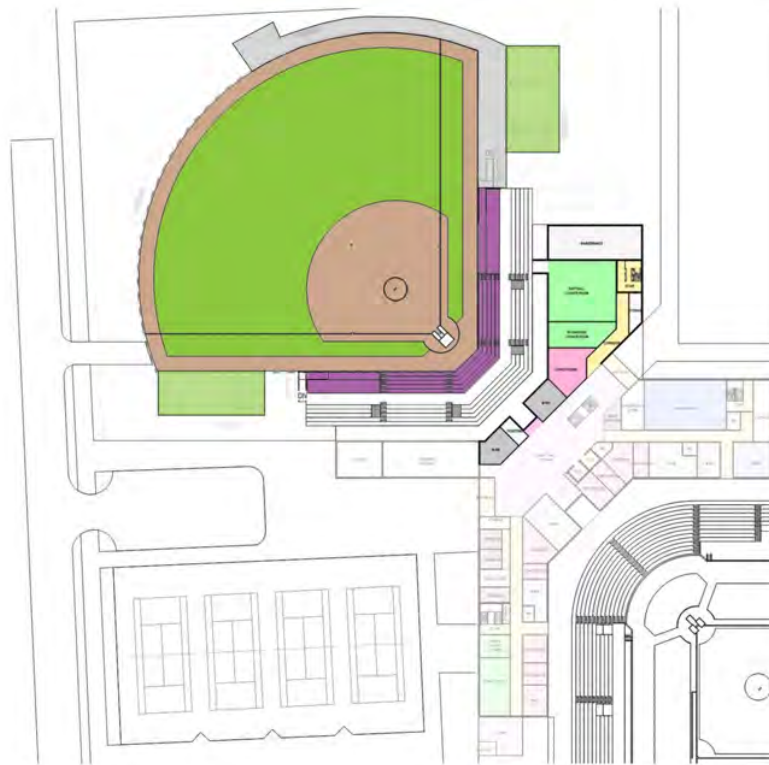
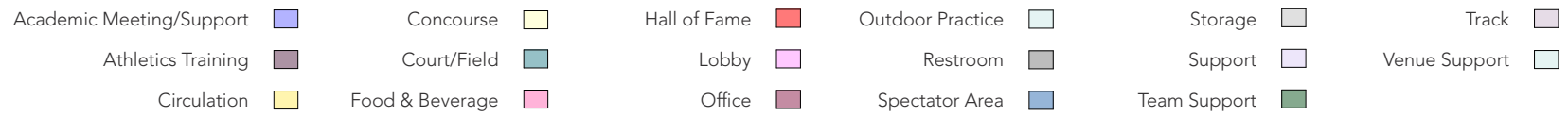
| Building Function / Space                                  | Unit | Area     | Extension          | Comments                             |
|--|------|----------|--------------------|--------------------------------------|
| <b>1.00 Circulation</b>                                    |      | w/GSF    | <b>1,120 SF</b>    | <b>Does not include Exterior SF</b>  |
| Main Entry Plaza / Gates                                   | 1    | 1,500 SF | 1,500 SF           | Exterior                             |
| Secondary Entry Plaza / Gates                              | 2    | 750 SF   | 1,500 SF           | Exterior                             |
| Courcource   | 1    | 6,000 SF | 6,000 SF           | Exterior                             |
| Elevators  |      |          |                    |                                      |
| Passenger  | 1    | 120 SF   | 120 SF             |                                      |
| Service  | -    | 120 SF   | 0 SF               |                                      |
| Interior Stairs  | 2    | 500 SF   | 1,000 SF           |                                      |
| Field Level Entry  |      |          |                    | Exterior                             |
| Emergency Responders                                       |      |          |                    | Exterior                             |
| <b>2.00 Public Space</b>                                   |      |          | <b>0 SF</b>        | <b>Within the South Ops Building</b> |
| Guest Services / Information                               | -    | 120 SF   | 0 SF               |                                      |
| Personal Care - Lactation / Medical Room                   | -    | 100 SF   | 0 SF               |                                      |
| Safety / Security  | -    | 150 SF   | 0 SF               |                                      |
| First Aid  | -    | 120 SF   | 0 SF               |                                      |
| Public Restroom(s)   |      |          |                    |                                      |
| Mens Urinals / Water Closets                               | -    | 47 SF    | 0 SF               |                                      |
| Womens Water Closets                                       | -    | 47 SF    | 0 SF               |                                      |
| Single Occupancy   | -    | 80 SF    | 0 SF               |                                      |
| <b>3.00 Athletics</b>                                      |      |          | <b>4,066 SF</b>    |                                      |
| <b>3.01 Team Offices</b>                                   |      |          |                    | Within the South Ops Building        |
| <b>3.02 Staff Offices</b>                                  |      |          |                    | Within the South Ops Building        |
| <b>3.03 Coaches &amp; Staff Locker Room</b>                |      |          |                    | Within the South Ops Building        |
| <b>3.04 Student-Athlete Support</b>                        |      |          | <b>3,916 SF</b>    |                                      |
| Dugouts  |      |          |                    |                                      |
| Sunken Dugout - Bench / Gear                               | 2    | 798 SF   | 1,596 SF           |                                      |
| Storage  | 2    | 70 SF    | 140 SF             |                                      |
| Utility Closet   | 1    | 80 SF    | 80 SF              |                                      |
| Restrooms  | 2    | 50 SF    | 100 SF             |                                      |
| Athletics Event Storage                                    | -    | 500 SF   | 0 SF               | Within the South Ops Building        |
| Field Storage  | -    | 1,000 SF | 0 SF               | Within the South Ops Building        |
| Ballpark Maintenance                                       | 1    | 2,000 SF | 2,000 SF           | Listed here, within South Ops        |
| <b>3.05 Training / Performance</b>                         |      |          |                    | Within the South Ops Building        |
| <b>3.08 Spectator Support</b>                              |      |          | <b>150 SF</b>      |                                      |
| Ticketing  | 1    | 150 SF   | 150 SF             | Within the South Ops Building        |
| <b>Seating - Total Bowl + Club + Suites + Loge</b>         |      |          | <b>1,373 Seats</b> |                                      |
| <b>Bowl Seating</b>  |      |          | <b>1,373 Seats</b> |                                      |
| Lower Bowl   | 15   | 90 SF    | 1,350 Seats        | 22" Chair Backs                      |
| Upper Bowl   | TBD  | 0 SF     | 0 Seats            | 22" Chair Backs                      |
| Accessible Seating - Wheelchair + Companion                |      |          | 23 Seats           |                                      |
| <b>Clubs / Suites / Loge Boxes / Terraces</b>              |      |          |                    | Within the South Ops Building        |
| <b>3.09 Venue Support</b>                                  |      |          | <b>0 SF</b>        |                                      |
| Pressbox   |      |          |                    | Within the South Ops Building        |
| <b>4.00 Recreation</b>                                     |      |          | <b>0 SF</b>        |                                      |
| <b>5.00 Academics</b>                                      |      |          | <b>0 SF</b>        |                                      |
| <b>6.00 Utilities</b>                                      |      | w/GSF    |                    |                                      |
| <b>7.00 Building Support Spaces</b>                        |      | w/GSF    |                    |                                      |
| <b>Total Net Square Footage</b>                            |      |          | <b>4,066 SF</b>    |                                      |
| Building Factor - Circulation / Utilities / Shafts / Walls |      | 30%      | 1,748 SF           |                                      |
| <b>Total Gross Square Footage</b>                          |      |          | <b>5,814 SF</b>    |                                      |
| Total Exterior SF  |      |          | 17,240 SF          |                                      |
| Total Gross Square Footage + Exterior                      |      |          | 23,054 SF          |                                      |
| <b>8.00 Outdoor Athletic Facilities</b>                    |      |          |                    |                                      |

| Building Function / Space          | Unit    | Area      | Extension | Comments                            |
|------------------------------------|---------|-----------|-----------|-------------------------------------|
| <b>8.01 Venue</b>                  |         |           |           |                                     |
| Field                              | 1 Field | 46,000 SF |           |                                     |
| Synthetic Turf Infield & Outfield  | 1 Area  |           |           | 25' Backstop, 6' fence, 220' Center |
| Bullpens                           | 2 Areas |           |           |                                     |
| Backstop Netting                   | 4 Poles |           |           |                                     |
| Field Fencing, Padding, Foul Poles |         |           |           |                                     |
| Sports Lighting                    | 4 Poles |           |           |                                     |
| Scoreboard                         | 1 Board |           |           |                                     |
| Sound / PA System                  |         |           |           |                                     |
| Exterior Batting Cages             | 2 Cages |           |           | Shared with Vis while Using Indoor  |
| Batting Shell Storage              | 1 Area  |           |           |                                     |



Figure 44. Softball Venue - Level 01

Scale: N.T.S. 



**Figure 45.** Softball Venue - Level 02

Scale: N.T.S. 



**Figure 46.** Softball Field - Level 03

Scale: N.T.S. 



## TENNIS VENUE

Size: 6,350 GSF

Capacity: 200 seats + 5 ADA seats

The Tennis Venue will be a shared facility with Recreation and Athletics. The 6,350 GSF complex will feature 12 lighted courts, a central scoreboard, and seating for 200 spectators along with five accessible seating areas to support larger tournaments.



*Tennis Terrace*

## TENNIS VENUE PROGRAM

| Building Function / Space                                  | Unit     | Area      | Extension        | Comments                             |
|--|----------|-----------|------------------|--------------------------------------|
| <b>1.00 Circulation</b>                                    |          | w/GSF     | <b>0 SF</b>      | <b>Does not include Exterior SF</b>  |
| Main Entry Plaza / Gates                                   | 1        | 200 SF    | 200 SF           | Exterior                             |
| Counourse  | 1        | 4,320 SF  | 4,320 SF         | Exterior                             |
| Field Level Entry  |          |           |                  | Exterior                             |
| Emergency Responders                                       |          |           |                  | Exterior                             |
| <b>2.00 Public Space</b>                                   |          |           | <b>0 SF</b>      | <b>Within the South Ops Buidling</b> |
| Public Restroom(s)   |          |           |                  |                                      |
| Mens Urinals / Water Closets                               | -        | 47 SF     | 0 SF             |                                      |
| Womens Water Closets                                       | -        | 47 SF     | 0 SF             |                                      |
| Single Occupancy   | -        | 80 SF     | 0 SF             |                                      |
| <b>3.00 Athletics</b>                                      |          |           | <b>0 SF</b>      |                                      |
| <b>3.01 Team Offices</b>                                   |          |           |                  | Within the South Ops Building        |
| <b>3.02 Staff Offices</b>                                  |          |           |                  | Within the South Ops Building        |
| <b>3.03 Coaches &amp; Staff Locker Room</b>                |          |           |                  | Within the South Ops Building        |
| <b>3.04 Student-Athlete Support</b>                        |          |           | <b>0 SF</b>      |                                      |
| Team Shells  | 3        | 200 SF    | 600 SF           | Exterior                             |
| Athletics Event Storage                                    | -        | 100 SF    | 0 SF             | Within the South Ops Building        |
| Court Storage  | -        | 200 SF    | 0 SF             | Within the South Ops Building        |
| <b>3.05 Training / Performance</b>                         |          |           |                  | Within the South Ops Building        |
| <b>3.08 Spectator Support</b>                              |          |           | <b>0 SF</b>      |                                      |
| Seating - Total Bowl + Club + Suites + Loge                |          |           |                  |                                      |
| Seating  |          |           | <b>205 Seats</b> |                                      |
| Bleachers / Chairs Bowl                                    | 5        | 40 SF     | 200 Seats        | Focused on (1) Crt + distributed     |
| Accessible Seating - Wheelchair + Companion                |          |           | 5 Seats          |                                      |
| <b>3.09 Venue Support</b>                                  |          |           | <b>0 SF</b>      |                                      |
| Pressbox   |          |           |                  | Within the South Ops Building        |
| <b>4.00 Recreation</b>                                     |          |           | <b>0 SF</b>      |                                      |
| <b>5.00 Academics</b>                                      |          |           | <b>0 SF</b>      |                                      |
| <b>6.00 Utilities</b>                                      |          | w/GSF     |                  |                                      |
| <b>7.00 Building Support Spaces</b>                        |          | w/GSF     |                  |                                      |
| <b>Total Net Square Footage</b>                            |          |           | <b>0 SF</b>      |                                      |
| Building Factor - Circulation / Utilities / Shafts / Walls |          | 0%        | 0 SF             |                                      |
| <b>Total Gross Square Footage</b>                          |          |           | <b>0 SF</b>      |                                      |
| Total Exterior SF  |          |           | 6,350 SF         |                                      |
| Total Gross Square Footage + Exterior                      |          |           | 6,350 SF         |                                      |
| <b>8.00 Outdoor Athletic Facilities</b>                    |          |           |                  |                                      |
| <b>8.01 Venue</b>  |          |           |                  |                                      |
| Tennis Courts  | 12 Crts  | 77,760 SF |                  |                                      |
| Sports Lightings   | 36 Poles |           |                  |                                      |
| Scoreboard   | 1 Board  |           |                  |                                      |
| Sound / PA System  |          |           |                  |                                      |

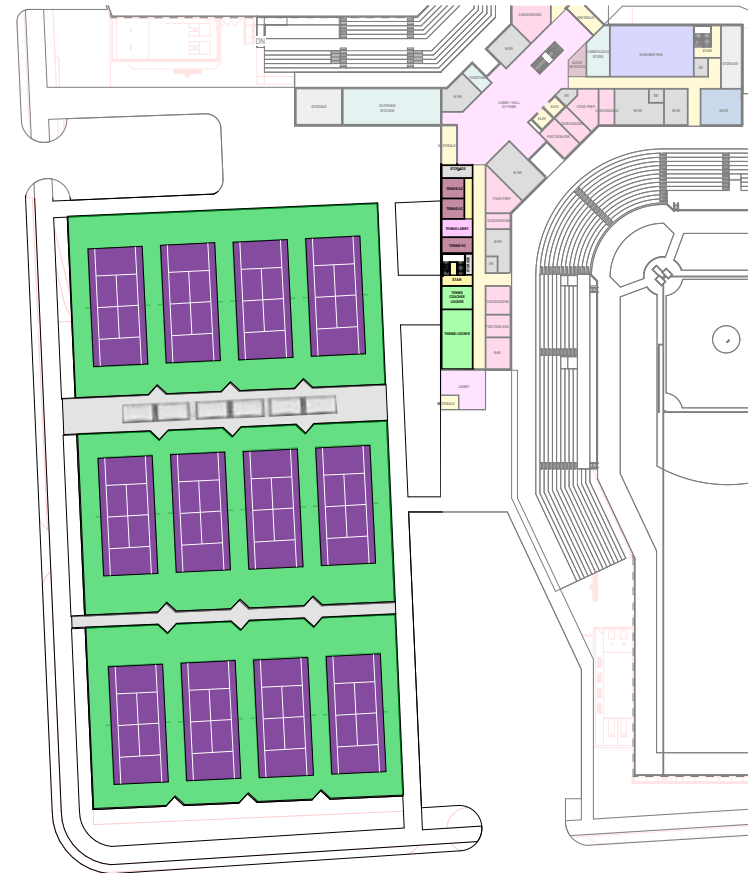


Figure 47. Tennis Venue Floor Plan

Scale: N.T.S. 





Baseball Team Locker Room



Softball Team Locker Room



South Operations Building Dropoff





*Baseball Suite*



*South Operations Southeast Aerial*

# SHELTON GYMNASIUM RENOVATION AND ADDITION

Size: 40,970 GSF renovation and addition

The Shelton renovation and addition project revitalizes a key historic facility, transforming it into a dedicated home for the volleyball program. The design encompasses 38,820 GSF of existing space and 2,150 GSF of renovation and new addition across two stories, blending tradition with modern functionality.

Focused on preserving the character of the original structure while enhancing its performance and usability, the project includes comprehensive renovations to volleyball operations, featuring new locker rooms, team lounges, and coaches' offices.

A new entry and elevator addition will improve accessibility and spectator circulation, while suites, concession areas, and ADA-compliant upgrades elevate the fan experience and ensure universal access.

The result is a reimagined, inclusive athletics environment that honors Shelton's historic legacy while supporting the next generation of student-athletes and fans.

## SHELTON GYM PROGRAM

| Building Function / Space                   | Exstg Area       | Unit | Area   | Extension        |
|---|------------------|------|--------|------------------|
| <b>1.00 Circulation</b>                     | <b>3,780 SF</b>  |      |        | <b>3,780 SF</b>  |
| Circulation                                 | 3,780 SF         | 1    | 3,780  | 3,780 SF         |
| Vertical Circulation                        | incl'd           |      | incl'd |                  |
| <b>2.00 Public Space</b>                    | <b>418 SF</b>    |      |        | <b>1,000 SF</b>  |
| Lobby                                       |                  | 1    | 1,000  | 1,000 SF         |
| Public Restroom(s)                          |                  |      |        |                  |
| Mens Urinals / Water Closets                | 196 SF           | 4    | 47     | 186 SF           |
| Womens Water Closets                        | 222 SF           | 8    | 47     | 371 SF           |
| Single Occupancy                            |                  | 2    | 80     | 160 SF           |
| <b>3.00 Athletics</b>                       | <b>16,940 SF</b> |      |        | <b>19,359 SF</b> |
| <b>3.01 Team Offices</b>                    | <b>297 SF</b>    |      |        | <b>850 SF</b>    |
| <b>Beach Volleyball</b>                     |                  |      |        |                  |
| Head Coach                                  | 149 SF           |      |        |                  |
| Assistant Coaches                           | 148 SF           |      |        |                  |
| <b>Volleyball</b>                           |                  |      |        |                  |
| Lobby                                       |                  | 1    | 100    | 100 SF           |
| Head Coach                                  |                  | 1    | 200    | 200 SF           |
| Associate Head Coach                        |                  | 1    | 150    | 150 SF           |
| Assistant Coaches                           |                  | 2    | 150    | 300 SF           |
| Storage                                     |                  | 1    | 100    | 100 SF           |
| <b>3.03 Staff Offices</b>                   | <b>506 SF</b>    |      |        | <b>600 SF</b>    |
| Sports Medicine                             | 209 SF           |      |        |                  |
| Athletic Offices                            | 297 SF           | 20   | 30     | 600 SF           |
| <b>3.03 Team Locker Rooms</b>               | <b>1,191 SF</b>  |      |        | <b>1,400 SF</b>  |
| <b>Volleyball Locker Room</b>               |                  |      |        |                  |
| Locker Area                                 | 239 SF           | 20   | 35     | 700 SF           |
| Wet Area                                    | 613 SF           | 20   | 15     | 300 SF           |
| Lounge                                      | 339 SF           | 20   | 20     | 400 SF           |
| <b>Visiting Team Locker Room</b>            |                  |      |        |                  |
| <b>Visiting Coaches Locker Room</b>         |                  |      |        |                  |
| <b>Officials Locker Room</b>                |                  |      |        |                  |
| <b>3.04 Coaches &amp; Staff Locker Room</b> | <b>0 SF</b>      |      |        | <b>880 SF</b>    |
| <b>Mens Coaches Locker Room</b>             |                  |      |        |                  |
| Locker Room                                 |                  | 4    | 20     | 80 SF            |
| Wet Area                                    |                  | 4    | 10     | 40 SF            |
| Single Occupancy                            |                  | 2    | 100    | 200 SF           |
| Lounge                                      |                  | 4    | 30     | 120 SF           |
| <b>Womens Coaches Locker Room</b>           |                  |      |        |                  |
| Locker Room                                 |                  | 4    | 20     | 80 SF            |
| Wet Area                                    |                  | 4    | 10     | 40 SF            |
| Single Occupancy                            |                  | 2    | 100    | 200 SF           |
| Lounge                                      |                  | 4    | 30     | 120 SF           |
| <b>Mens and Womens Staff</b>                |                  |      |        |                  |
| Single Occupancy                            |                  | -    | 100    | 0 SF             |

| Building Function / Space                          | Exstg Area       | Unit | Area  | Extension       |
|--|------------------|------|-------|-----------------|
| <b>1.00 Circulation</b>                            | <b>3,780 SF</b>  |      |       | <b>3,780 SF</b> |
| <b>3.04 Training / Performance</b>                 | <b>583 SF</b>    |      |       | <b>1,150 SF</b> |
| Training Room - Satellite                          | 583 SF           |      |       |                 |
| Entry / Check-In Area                              |                  | 1    | 150   | 150 SF          |
| Prehab / Rehab Room                                |                  | 1    | 100   | 100 SF          |
| Taping Area  |                  | 1    | 250   | 250 SF          |
| Treatment Area                                     |                  | 1    | 250   | 250 SF          |
| Hydrotherapy / Wet Room                            |                  | -    | 750   | 0 SF            |
| Drink/Cooler Room for outdoor                      |                  | 1    | 100   | 100 SF          |
| Restroom   |                  | 1    | 80    | 80 SF           |
| Ice Room / Storage                                 |                  | 1    | 120   | 120 SF          |
| Storage  |                  | 1    | 100   | 100 SF          |
| Travel Storage                                     |                  | -    | 200   | 0 SF            |
| <b>3.08 Spectator Support</b>                      | <b>3,175 SF</b>  |      |       | <b>7,145 SF</b> |
| Ticketing  | 283 SF           | 1    | 200   | 200 SF          |
| <b>Seating - Total Bowl + Club + Suites + Loge</b> |                  |      |       | <b>#REF!</b>    |
| Bowl Seating                                       | 2,892 SF         |      |       | 2,892 SF        |
|  | 1,000            |      |       | 948 Seats       |
| Accessible Seating - Wheelchair + Companion        |                  |      |       | 31 Seats        |
| <b>Clubs / Suites / Loge Boxes</b>                 |                  |      |       |                 |
| Club   |                  | 150  | 12.5  | 1,875 SF        |
| Suites   |                  |      |       |                 |
| Small Suite  |                  | 2    | 150   | 300 SF          |
| Medium Suite                                       |                  | 1    | 400   | 400 SF          |
| Large Suite  |                  | 1    | 600   | 600 SF          |
| Food & Beverage Prep                               |                  | 1    | 200   | 200 SF          |
| Storage  |                  | 1    | 100   | 100 SF          |
| Custodial Closet                                   |                  | 1    | 80    | 80 SF           |
| <b>Restrooms</b>                                   |                  |      |       |                 |
| Single Occupancy                                   |                  | 1    | 80    | 80 SF           |
| <b>Food &amp; Beverage</b>                         |                  | 3    |       |                 |
| Concessions  |                  | 1    | 150   | 210 SF          |
| Frictionless                                       |                  | 1    | 120   | 168 SF          |
| Bar  |                  | -    | 300   | 0 SF            |
| <b>Merchandise - Jacks Store</b>                   |                  | -    | 200   | 0 SF            |
| Jacks Kiosks                                       |                  | 1    | 40    | 40 SF           |
| <b>3.09 Venue Support</b>                          | <b>11,188 SF</b> |      |       | <b>7,334 SF</b> |
| Court  |                  |      |       |                 |
| Basketball   | 10,576 SF        | 1    | 6,634 | 6,634 SF        |
| Pressbox   |                  |      |       |                 |
| Game Management / Scoreboard / Ops                 |                  | 1    | 100   | 100 SF          |
| Public Address Announcer                           |                  | -    | -     | 0 SF            |
| Replay Booth                                       |                  | -    | -     | 0 SF            |

| Building Function / Space                    | Exstg Area       | Unit | Area    | Extension        |
|--|------------------|------|---------|------------------|
| <b>1.00 Circulation</b>                      | <b>3,780 SF</b>  |      |         | <b>3,780 SF</b>  |
| Broadcasting                                 |                  | -    | -       | 0 SF             |
| Home Radio                                   |                  | -    | -       | 0 SF             |
| Visitors Radio                               |                  | -    | -       | 0 SF             |
| Press / Media                                |                  | -    | -       | 0 SF             |
| Press Box Restrooms                          |                  |      |         |                  |
| Single Occupancy                             |                  | -    | 80      | 0 SF             |
| Food & Beverage - Kitchen                    |                  | -    | 500     | 0 SF             |
| Venue Storage                                | 612 SF           | 1    | 600     | 600 SF           |
| <b>4.00 Recreation</b>                       | <b>376 SF</b>    |      |         | <b>0 SF</b>      |
| <b>4.05 Recreation Support</b>               | <b>376 SF</b>    |      |         | <b>0 SF</b>      |
| Intramural Storage                           | 376 SF           |      |         |                  |
| Comp Sports Storage                          |                  |      |         |                  |
| <b>5.00 Academics</b>                        | <b>3,741 SF</b>  |      |         | <b>1,285 SF</b>  |
| Subtracted Kinesiology Space                 |                  | 1    | (2,456) | -2,456 SF        |
| <b>6.00 Utilities</b>                        | <b>1,626 SF</b>  |      |         | <b>1,626 SF</b>  |
| <b>7.00 Building Support Spaces</b>          | <b>0 SF</b>      |      |         | <b>0 SF</b>      |
| <b>Total Net Athletics Square Footage</b>    | <b>16,940 SF</b> |      |         | <b>19,359 SF</b> |
| <b>Total Net Recreation Square Footage</b>   | <b>376 SF</b>    |      |         | <b>0 SF</b>      |
| <b>Total Net Square Footage</b>              | <b>26,881 SF</b> |      |         | <b>27,050 SF</b> |
| Building Factor - Misc Circ / Shafts / Walls | 11,939 SF        |      | 34%     | 13,920 SF        |
| <b>Total Gross Square Footage</b>            | <b>38,820 SF</b> |      |         | <b>40,970 SF</b> |



SHELTON GYM FLOOR PLANS

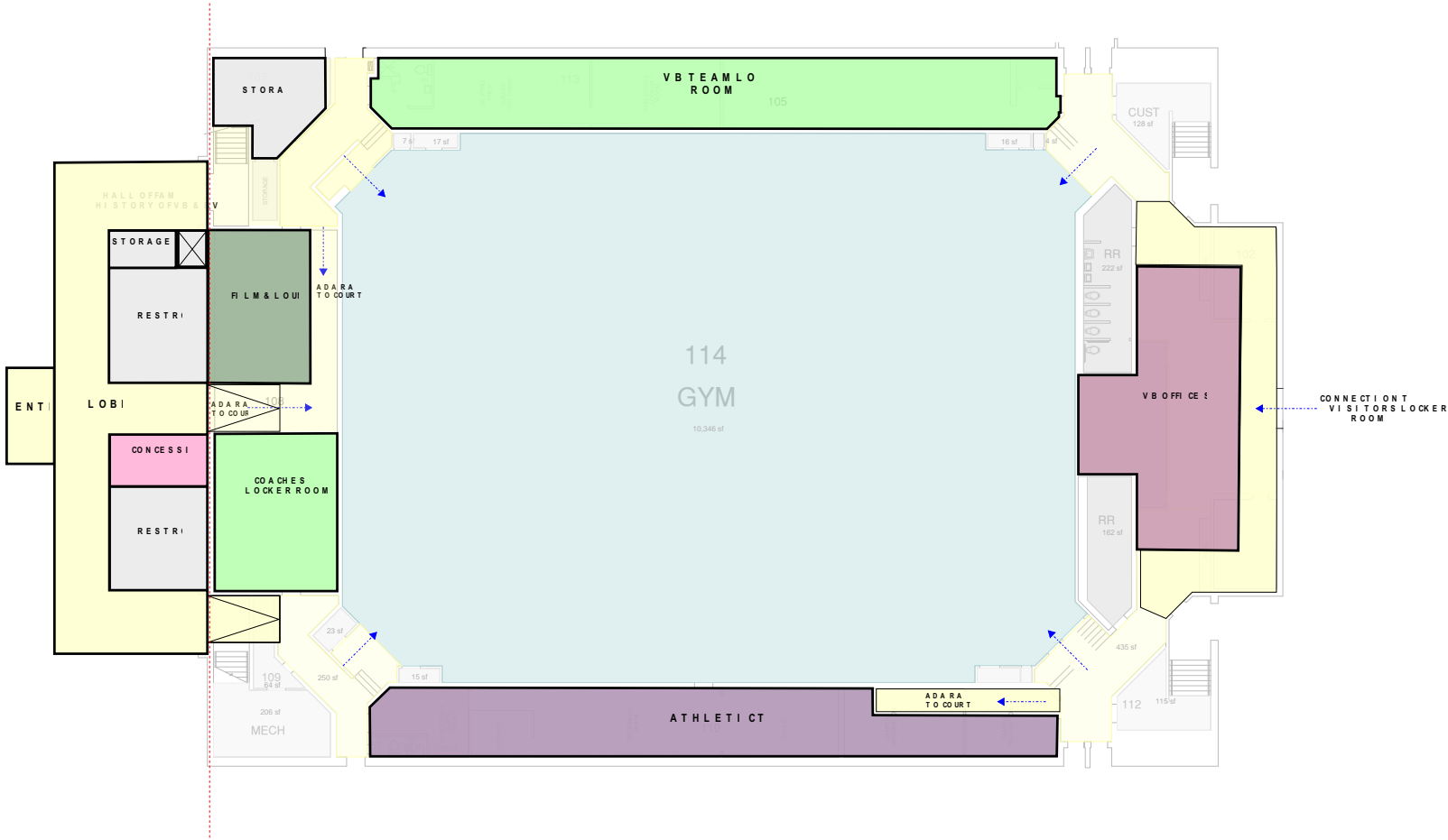
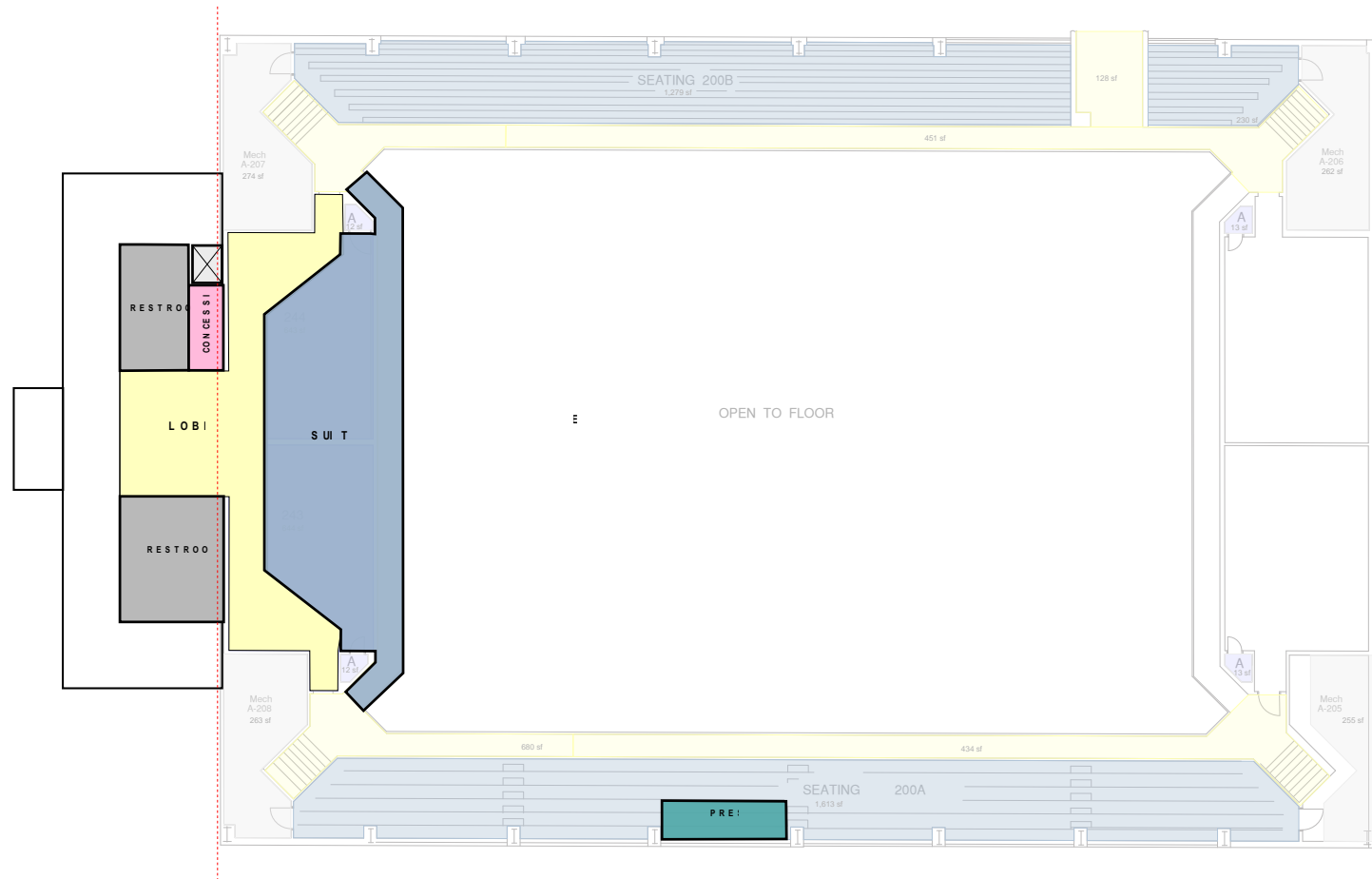
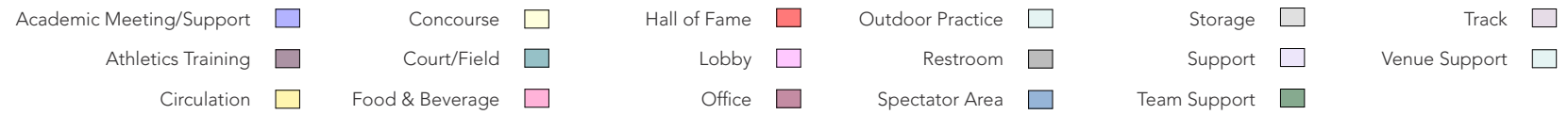


Figure 48. Shelton Gym Level 1 Floor Plan

Scale: N.T.S. 



**Figure 49.** Shelton Gym Level 2 Floor Plan

Scale: N.T.S. 



## HEALTH AND PHYSICAL EDUCATION (HPE)

Size: 134,550 GSF existing, renovation and addition.

The proposed HPE facility renovation includes a new east entry near the existing staircase, improving access and circulation. Recreation upgrades feature an enhanced fitness center with a powerlifting zone, expanded group and yoga studios, a new spin studio, multipurpose studios, and renovated locker rooms for men and women.

Athletics improvements include new locker rooms for visiting athletes and coaches who are competing in Shelton and on the South Campus athletics field/courts.

Academic upgrades focus on revitalizing kinesiology spaces. The gym and pool will also be upgraded to address acoustical issues, and gym spaces will be upgraded to better support the cheer and dance programs, ensuring the facility serves the entire campus more effectively.



## HPE PROGRAM

| Building Function / Space                 | Exstg Area       | Unit | Area      | Extension        |
|---|------------------|------|-----------|------------------|
| <b>1.00 Circulation</b>                   | <b>12,253 SF</b> |      |           | <b>12,253 SF</b> |
| Circulation                               | 10,709 SF        | 1    | 10,709 SF | 10,709 SF        |
| Vertical Circulation                      | 1,544 SF         | 1    | 1,544 SF  | 1,544 SF         |
| <b>2.00 Public Space</b>                  | <b>803 SF</b>    |      |           | <b>300 SF</b>    |
| Lobby                                     |                  | 1    | 300 SF    | 300 SF           |
| Public Restroom(s)                        |                  |      |           |                  |
| Mens Urinals / Water Closets              | 373 SF           | 1    | 573 SF    | 573 SF           |
| Womens Water Closets                      | 387 SF           | 1    | 587 SF    | 587 SF           |
| Single Occupancy                          | 43 SF            | 1    | 123 SF    | 123 SF           |
| <b>3.00 Athletics</b>                     | <b>8,751 SF</b>  |      |           | <b>8,546 SF</b>  |
| <b>3.03 Team Locker Rooms</b>             | <b>2,625 SF</b>  |      |           | <b>2,020 SF</b>  |
| <b>Visiting Team Locker Room</b>          | 2,625 SF         |      |           |                  |
| Locker & Wet Room - Volleyball 01         |                  | 20   | 30 SF     | 600 SF           |
| Locker & Wet Room - Volleyball 02         |                  | 20   | 30 SF     | 600 SF           |
| <b>Visiting Coaches Locker Room</b>       |                  |      |           |                  |
| Locker Area - Open Shared                 |                  | 6    | 20        | 120 SF           |
| Single Occupancy - Wet Area               |                  | 3    | 100       | 300 SF           |
| <b>Officials Locker Room</b>              |                  |      |           |                  |
| Locker Area - Open Shared                 |                  | 4    | 20        | 80 SF            |
| Single Occupancy - Wet Area               |                  | 2    | 100       | 200 SF           |
| Lounge                                    |                  | 4    | 30        | 120 SF           |
| <b>3.07 Indoor Practice Field / Court</b> | <b>6,126 SF</b>  |      |           | <b>6,526 SF</b>  |
| Cheer / Dance                             | 6,126 SF         | 1    | 6,126 SF  | 6,126 SF         |
| Cheer / Dance Storage                     | 607 SF           | 1    | 400       | 400 SF           |
| <b>4.00 Recreation</b>                    | <b>24,525 SF</b> |      |           | <b>29,949 SF</b> |
| <b>4.01 Locker Room</b>                   | <b>2,625 SF</b>  |      |           | <b>2,400 SF</b>  |
| <b>Women's Locker Room</b>                | 1,313 SF         |      |           |                  |
| Locker & Wet Room - General               |                  | 60   | 20 SF     | 1,200 SF         |
| <b>Men's Locker Room</b>                  |                  |      |           |                  |
| Locker & Wet Room - General               | 1,313 SF         | 60   | 20 SF     | 1,200 SF         |
| <b>Single Toilet / Shower</b>             |                  |      |           |                  |
| <b>4.02 Offices</b>                       | <b>151 SF</b>    |      |           | <b>151 SF</b>    |
| Lifeguard Office(s)                       | 151 SF           | 1    | 151 SF    | 151 SF           |
| <b>4.03 Fitness</b>                       | <b>2,267 SF</b>  |      |           | <b>5,467 SF</b>  |
| <b>Weights</b>                            |                  |      |           |                  |
| Strength                                  | 2,267 SF         | 1    | 2,267 SF  | 2,267 SF         |
| Added Weights / Strength / Cardio         |                  | 1    | 3,200 SF  | 3,200 SF         |
| <b>4.04 Indoor Recreation</b>             | <b>18,964 SF</b> |      |           | <b>20,613 SF</b> |
| Welcome Desk / Control                    |                  | 1    | 100 SF    | 100 SF           |
| Lounge / Passive Rec                      |                  | -    | 200 SF    |                  |
| Indoor Aquatics                           | 9,187 SF         | 1    | 9,187 SF  | 9,187 SF         |
| <b>Indoor Courts</b>                      |                  |      |           |                  |
| Bball / VBall / Open Gym                  | 6,126 SF         | 1    | 6,126 SF  | 6,126 SF         |

| Building Function / Space                    | Exstg Area        | Unit | Area     | Extension         |
|--|-------------------|------|----------|-------------------|
| Handball / Racquetball                       |                   |      |          |                   |
| Climbing                                     | 1,851 SF          |      |          |                   |
| GX - Multipurpose Studio(s) Large            |                   | 1    | 2,400 SF | 2,400 SF          |
| GX - Multipurpose Studio(s) Small            |                   | 2    | 800 SF   | 1,600 SF          |
| GX - Yoga                                    |                   | 1    | 1,200 SF | 1,200 SF          |
| GX - Martial Arts                            | 1,800 SF          |      |          |                   |
| <b>4.05 Recreation Support</b>               | <b>519 SF</b>     |      |          | <b>1,319 SF</b>   |
| Aquatics Storage                             | 232 SF            | 1    | 232 SF   | 232 SF            |
| Recreation Storage                           | 287 SF            | 1    | 287 SF   | 287 SF            |
| Intramural Storage                           |                   |      |          |                   |
| Competitive Sports Storage                   |                   | 1    | 800 SF   | 800 SF            |
| <b>5.00 Academics</b>                        | <b>38,758 SF</b>  |      |          | <b>39,567 SF</b>  |
| Added Kinesiology Space                      |                   | 1    | 5,000    | 5,000 SF          |
| Subtracted Kinesiology Space                 |                   | 1    | (4,191)  | -4,191 SF         |
| <b>6.00 Utilities</b>                        | <b>5,183 SF</b>   |      |          | <b>5,183 SF</b>   |
| <b>7.00 Building Support Spaces</b>          | <b>13,307 SF</b>  |      |          | <b>13,307 SF</b>  |
| <b>Total Net Athletics Square Footage</b>    | <b>8,751 SF</b>   |      |          | <b>8,546 SF</b>   |
| <b>Total Net Recreation Square Footage</b>   | <b>24,525 SF</b>  |      |          | <b>29,949 SF</b>  |
| <b>Total Net Square Footage</b>              | <b>103,581 SF</b> |      |          | <b>109,105 SF</b> |
| Building Factor - Misc Circ / Shafts / Walls | 29,770 SF         |      | 19%      | 25,445 SF         |
| <b>Total Gross Square Footage</b>            | <b>133,350 SF</b> |      |          | <b>134,550 SF</b> |

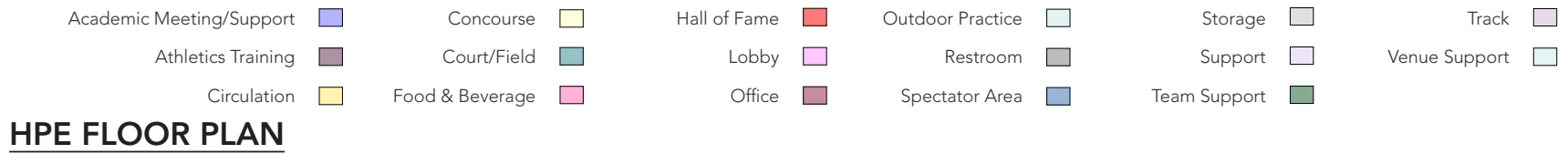


Figure 50. HPE Level 1 Floor Plan

Scale: N.T.S. 









# SCHEDULE

# SCHEDULE

The Intercollegiate Athletics Master Plan (IAMP) establishes a comprehensive 15-year phased implementation strategy organized into three distinct timeframes: 0-5 years, 6-10 years, and 11-15 years. This deliberate planning provides critical time for the University to secure funding and all needed considerations prior to proceeding on proposed work. The durations outline magnitude windows of time to design and construct the desired capital improvements. The periods for planning, design/production, and construction were developed and

prioritized by the planning team in collaboration with the University leadership and reflect current 2025 average time requirements on similar projects.

The approach reflects the University's strategic direction while ensuring continuous operations during implementation and addressing the most critical deficiencies first.

Short-term (0–5 year) investments focus on consolidating fragmented operations, building new infrastructure and delivering core student-athlete support spaces that directly influence

recruitment and competitive performance.

Mid-term (6–10 year) projects build on early successes by expanding program capacity, modernizing secondary venues, and elevating spectator and event experiences.

Long-term (11–15 year) initiatives complete the comprehensive vision by fully integrating facilities across campus to support sustained growth and competitive positioning.

## IAMP IMPLEMENTATION SCHEDULE

| Facilities   | SHORT-TERM |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
|--|------------|----|----|----|------|----|----|----|------|----|----|----|------|----|----|----|------|----|----|----|
|  | 2026       |    |    |    | 2027 |    |    |    | 2028 |    |    |    | 2029 |    |    |    | 2030 |    |    |    |
|  | 1Q         | 2Q | 3Q | 4Q | 1Q   | 2Q | 3Q | 4Q | 1Q   | 2Q | 3Q | 4Q | 1Q   | 2Q | 3Q | 4Q | 1Q   | 2Q | 3Q | 4Q |
| Fieldhouse   |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Baseball & Softball Parks with Operations & Locker Rooms     |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Football Stadium   |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Soccer Venue with Operations & Locker Rooms                  |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Modernize Johnson Coliseum                                   |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Track & Field Venue with Operations & Locker Rooms           |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Modernize Shelton Gym with Operations, Coaches, Locker Rooms |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Relocated Tennis Venue                                       |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Norton HPE Complex   |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |
| Indoor Practice / Turf Facility                              |            |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |      |    |    |    |

Note: Projects can slide within phase window.



## CONSTRUCTION PHASES

With facilities separated across North Campus and South Campus locations, the work can be constructed in multiple major phases allowing SFA Athletics to maintain continuous operations during construction. Concurrent phasing of existing facility renovations would be scheduled to minimize conflicts with active programs and competition schedules. The following construction strategy should be employed:

- Early Bid Package(s) for demolition, rough grading, site preparation, site utilities, and foundations.
  - North Campus construction including the Fieldhouse, Stadium, Soccer Venue, Track and Field, and Johnson Coliseum renovation
  - South Campus construction including Baseball, Softball, and Tennis Venues, and the South Campus Operations Building
  - Shelton Gym and Norton HPE Complex renovations with temporary program accommodations
  - Building tie-ins between new construction and existing facilities ensuring operational continuity
- COLOR LEGEND**

Planning

### COLOR LEGEND

**Planning**

 Design & Production

 Construction

[illegible]

# **APPENDIX D**

## **CAMPUS RECREATION MASTER PLAN**



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# CAMPUS RECREATION MASTER PLAN STEPHEN F. AUSTIN STATE UNIVERSITY

December 11, 2025





# TABLE OF CONTENTS

Acknowledgments.....5

Visioning .....6

Background Context.....10

Basis of Need.....30

Proposed Scope.....60

Schedule .....76





# ACKNOWLEDGMENTS

We would like to express our sincere appreciation to all those who contributed their time, insight, and expertise to the development of this Master Plan. The thoughtful input from University leadership and recreation staff was invaluable in shaping a shared vision for the future of recreation on campus. Their collaboration and commitment to excellence have made this plan a true reflection of the University's dedication to its students and community.

## **MASTER PLAN COMMITTEE**

### University Leadership

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Jescelyn Madrigal, Assistant Director Fitness and Wellness  
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Anine Hermansen, Coordinator Aquatics and Safety  
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## **CONSULTANT TEAM**

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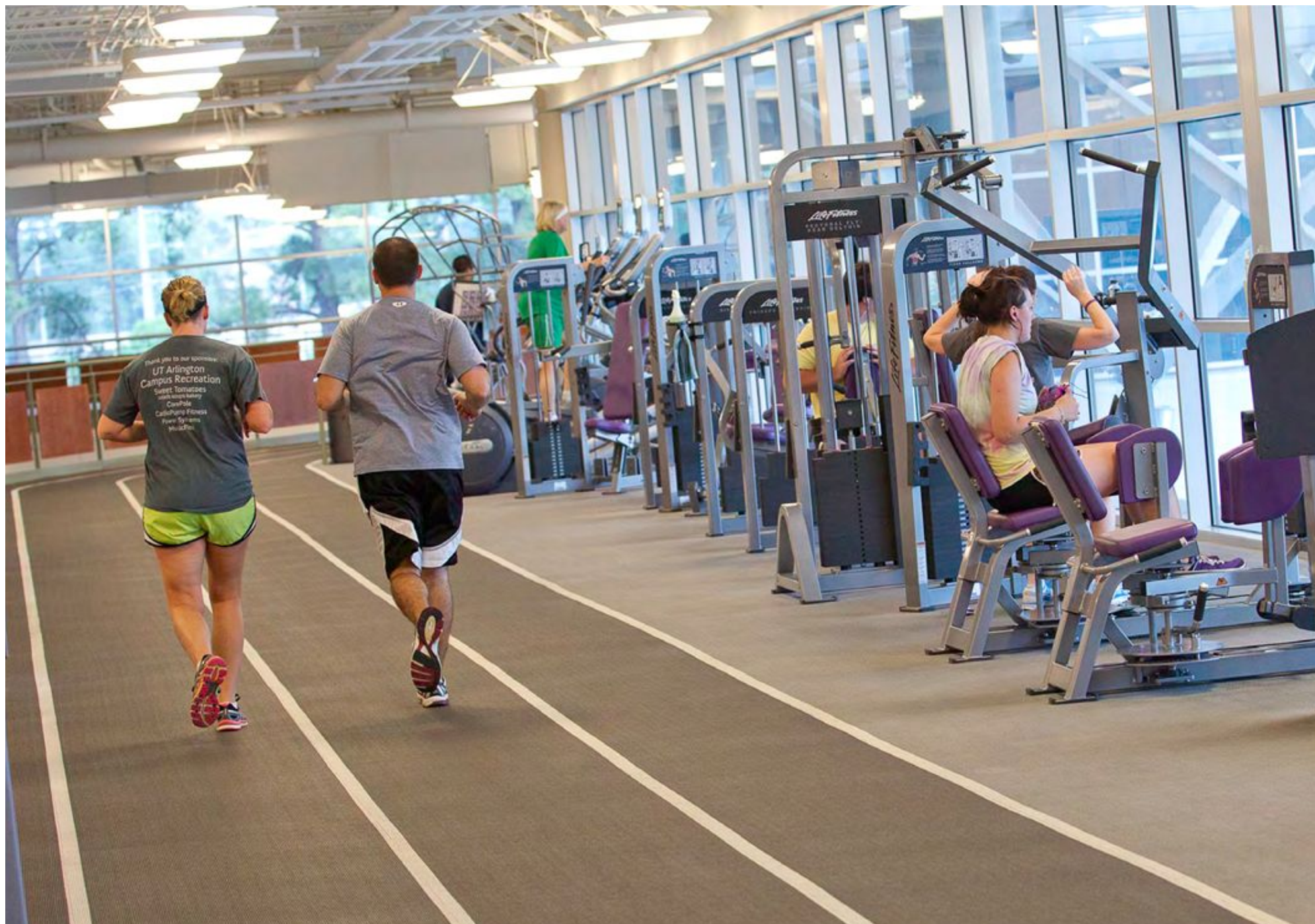
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Gail Ferry Katalenas, Campus Master Plan  
Assistant Project Manager  
Chris Rice, Campus Master Plan Senior Advisor  
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Blaine Perau, Design Architect  
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Quinn Lyons, Designer







# VISIONING

# VISIONING

## MISSION

Stephen F. Austin State University's Campus Recreation department focuses on programming, staffing, facilities, and space needs to support the University's wellness journey for each Lumberjack student, faculty and staff member. Campus Recreation provides a dynamic network of interconnected fitness resources that are actively and passively accessible to all students and the broader Nacogdoches community. Campus Recreation's inclusive tools will help the campus reach prospective students and keep current students engaged. We will endeavor to eliminate barriers for users to help them find success on their unique health journey. We will cultivate an impactful environment to develop our employees' and staff's professional and personal growth, creating lasting impacts.

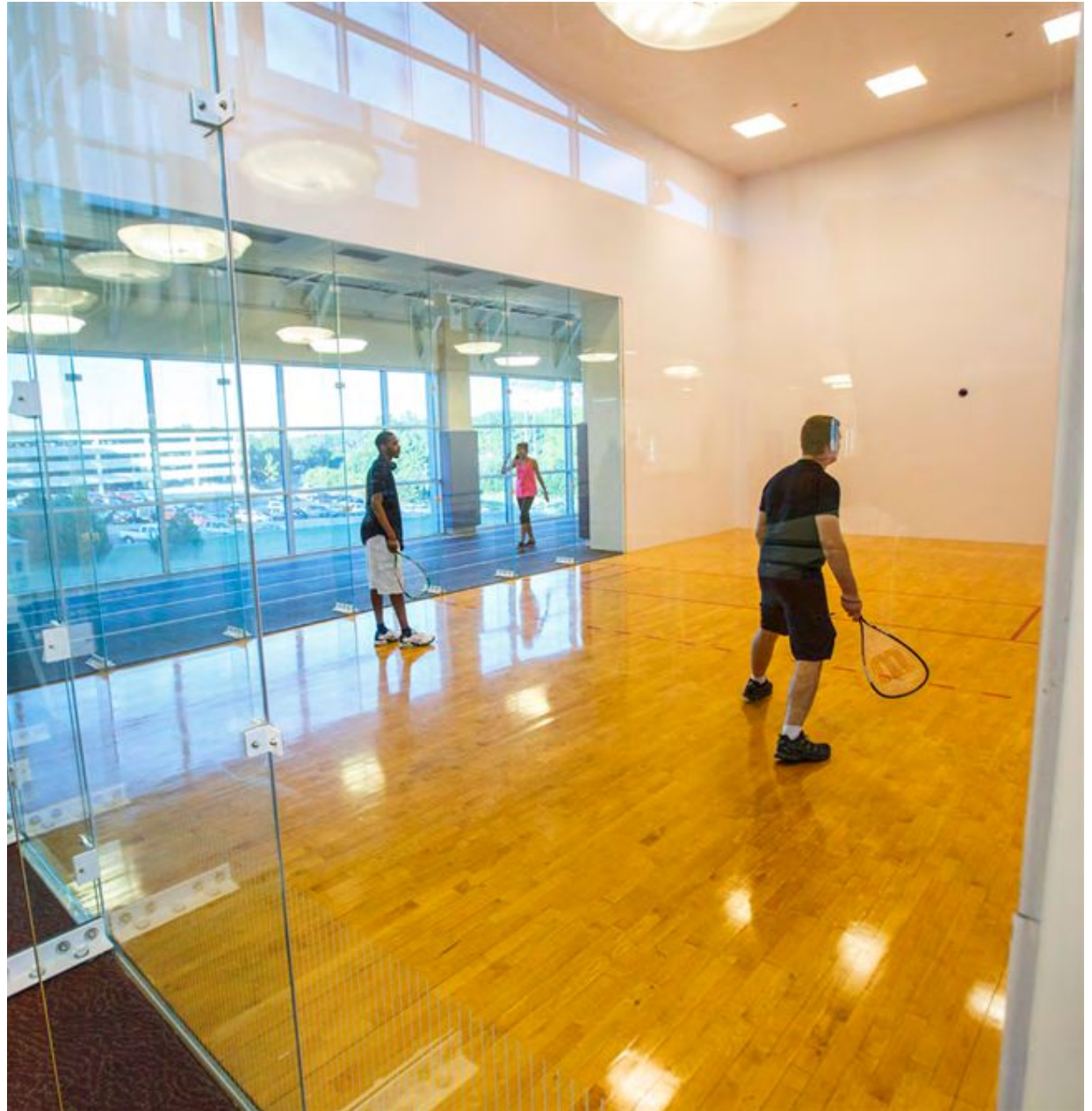
## GOALS

1. **Impact:** Increase the number of unique users and repeat users on campus with sustainable strategic decisions that can support growth with increased opportunities, space, resources and staffing.
2. **Growth:** Campus Recreation can play a direct and indirect role in helping recruit and retain students. The Student Recreation Center and other facilities are pivotal nodes for prospective students on campus tours. Internal and external activities can find new ways to impact students' lives.
3. **Connection:** Get more folks in the doors to showcase all Campus Recreation has to offer users! Adding student-focused space will increase the lobby's storefront aspects and increase activity. Connecting and showcasing outdoor recreation will drive Campus Recreation's impact on students' lives.
4. **Culture:** Maintain or increase the demand and desire to be a student worker. Campus Recreation prides itself on the connections it makes with its full-time and part-time staff. Develop strategies to bridge the current barriers to find continued success.

## OBJECTIVES

1. **Fields:** Critical to the overall impact of supporting as many students as possible, the current fields should be renovated to provide the most available playing surface, a full-size field with synthetic turf and lighting. Support facilities should be provided to meet users' needs.
2. **Outdoor Pool:** Throughout the hot months, the campus and the larger community rely on the pool. It is a crucial activity zone for Campus Recreation and needs to be renovated and repaired to maintain functionality and potentially increase offerings.
3. **Recreation/Fitness:** To keep up with the increased student population, the facility should be renovated to provide a multi-activity court (MAC), increased fitness space with high-performance training activities, climbing upgrades, wellness space, esports, passive recreation, outdoor amenities, personal training, and potential intra-campus partnerships.
4. **Teams Ropes Course:** Upgrade the current course with modern amenities to increase offerings and revenue streams.
5. **Tennis and Pickleball Courts:** Explore adding pickleball court space and enhancing current facilities with lighting.

6. **Renovation:** Create a new operations model for recreation that can maximize usage of Lucille Norton Health and Physical Education (HPE) complex and Shelton Gym by providing a better connection to the Student Recreation Center (SRC) and campus. Increase the features within the space with added storage and technology.











# BACKGROUND CONTEXT

# BACKGROUND CONTEXT

## INTRODUCTION

Stephen F. Austin State University's Campus Recreation program serves as a vital component of student life and community engagement, providing comprehensive recreational, fitness, and wellness opportunities for the University community and broader East Texas region. The recreational facilities at SFA are designed to support the University's mission of student development while promoting lifelong wellness habits and community connections.

SFA's recreational infrastructure reflects the institution's commitment to holistic student development, recognizing that physical wellness, social engagement, and experiential learning through recreation are essential components of the college experience. The facilities serve multiple constituencies including traditional students, student-athletes, faculty, staff, and community members, creating a shared space for health and wellness activities.

The Campus Recreation program encompasses approximately 103,000 net square feet and operates under the philosophy of developing a culture of Lumberjack wellness through excellent facilities and inclusive experiences across four primary areas: adventure programming, fitness and wellness, recreational sports, and community engagement. This comprehensive approach ensures that recreational programming meets diverse interests, skill levels, and schedules while maintaining high standards for safety, accessibility, and educational value.

Located in Nacogdoches, Texas, these facilities take advantage of the natural East Texas environment while providing modern indoor amenities that operate year-round. The integration of indoor and outdoor recreational opportunities allows programming to adapt to seasonal variations and weather conditions while maximizing the unique geographical advantages of the University's location in the Piney Woods region.

The recreational facilities described in this report represent significant investments in student life infrastructure, community partnerships, and regional recreational programming that extend SFA's impact beyond traditional academic boundaries. These facilities serve as gathering places for the campus community while also functioning as venues for regional events, youth programming, and community wellness initiatives.



- 1 Advancement Annex
- 2 Agricultural Mechanics Shop
- 3 Agriculture Building
- 4 Agriculture Greenhouse
- 5 Art Building
- 6 Art Studio
- 7 Art Studio Annex
- 8 Athletics Ticket Office
- 9 Austin Building
- 10 Baker Pattillo Student Center
- 11 Biology Greenhouse
- 12 Boynton Building
- 13 Brundrett Conservation Education Building
- 14 Bush Mathematical Sciences Building
- 15 Central Stores and Receiving, Housing Operations
- 16 Cole STEM Building
- 17 Construction Management
- 18 Culinary Cafe
- 19 Dugas Liberal Arts North
- 20 Eatery on East
- 21 Education Annex
- 22 Environmental Health, Safety and Risk Management
- 23 Ferguson Building
- 24 Field House
- 25 Forestry Building
- 26 Forestry Greenhouse
- 27 Forestry Laboratories
- 28 Griffith Fine Arts Building
- 29 Griffith Hall
- 30 Grounds and Transportation
- 31 Hall 10
- 32 Hall 14
- 33 Hall 20
- 34 Homer Bryce Stadium
- 35 Human Sciences Building North
- 36 Human Sciences Building South
- 37 Human Services Building
- 38 Janice A. Pattillo Early Childhood Research Center
- 39 Johnson Coliseum
- 40 Juanita Curry Boynton House/President's House



- 41 Kennedy Auditorium
- 42 Kerr Hall
- 43 Kingham Children's Garden
- 44 Lehmann Chemistry Building
- 45 Lumberjack Landing
- 46 Lumberjack Lodge
- 47 Lumberjack Village Community Building
- 48 Lumberjack Village (Buildings 1, 2, 3 and 4)
- 49 McGee Business Building
- 50 McKibben Education Building
- 51 McKinney Fine Arts Annex
- 52 Military Science Building
- 53 Miller Science Building
- 54 Murphy Wellness Center
- 55 Music Prep House
- 56 Naymola Basketball Performance Center
- 57 North Hall
- 58 Norton HPE Complex
- 59 Parking Services
- 60 Pearman Alumni Center
- 61 Physical Plant
- 62 Pinewoods Dining Hall
- 63 The Plantery
- 64 Press Box
- 65 Rusk Building
- 66 Schief Tennis Complex
- 67 SFA Theatre Scene Shop
- 68 Shelton Gym
- 69 Social Work Building
- 70 South Hall
- 71 Steen Hall
- 72 Steen Library
- 73 Stone Fort Museum
- 74 Student Recreation Center
- 75 Ticket Booth
- 76 Tucker Building/Health and Wellness Hub
- 77 University Police Department
- 78 Wildlife Habitat and Silviculture Laboratory
- 79 Wisely Hall
- 80 Wright Music Building

**Map 1.** Existing Campus Recreation Facilities Map (facilities outlined and marked in orange)

Scale: N.T.S.

## CAMPUS INTRAMURAL AND RECREATION FIELDS

- **Name:** Campus Intramural/Competitive Fields Complex
- **Location:** North of Starr Avenue
- **Primary Uses:** Intramural sports leagues, club sport activities, outdoor group fitness, recreational field activities, special events.
- **Surface Types:** Natural grass
- **Lighting:** Selected fields equipped for evening programming.



*Campus Intramural and Recreation Fields*

## HISTORY & DEVELOPMENT

The Campus Intramural and Recreation Fields provide expansive outdoor spaces for a wide range of recreational and competitive activities. Designed to accommodate larger-scale sports and group activities than indoor facilities allow, these fields form the backbone of SFA's intramural and club sports programming. They also serve as flexible venues for campus events, community engagement, and outdoor fitness initiatives.

The intramural fields were established to meet the growing demand for organized and casual outdoor recreational opportunities at SFA. Developed in multiple phases, the fields have evolved alongside the University's campus recreation programs, offering space for intramural leagues, club sports, and special events that require large, open areas. Their placement near residential areas ensures easy access for students, enhancing participation and campus engagement.

## FEATURES

The complex consists of multiple fields with natural grass surface, configured for sports such as soccer, flag football and ultimate frisbee. Facilities support extensive intramural league programming across the academic year, accommodating recreational and competitive participants alike. Features include:

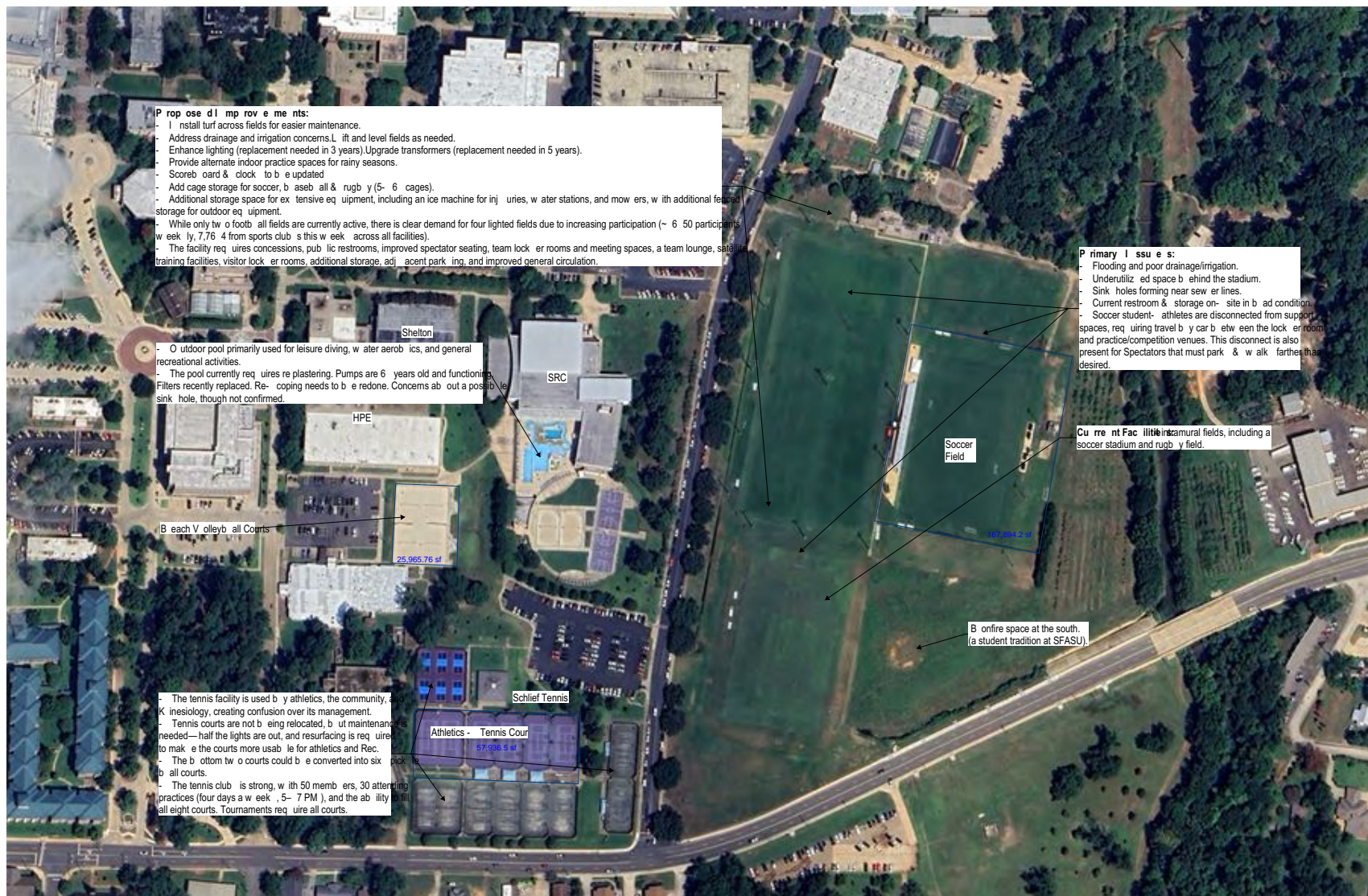
- **Seasonal Sports Leagues:** Flag football, soccer, softball, ultimate frisbee, and other intramural sports.
- **Tournament Events:** Single-elimination and round-robin competitions throughout the year.
- **Club Sports Support:** Fields provide practice and competition space for student sport clubs.
- **Community and Special Events:** Available for campus-wide recreational activities, festivals, and special programming.
- **Flexible Usage:** Field layouts can be adapted to suit seasonal and sport-specific requirements.

Maintenance and operations are integral to the facility's functionality, including mowing, aerating, overseeding, surface repairs, weather monitoring, and safety inspections. On-site equipment storage supports efficient field upkeep and programming.

## GAPS & POTENTIAL IMPROVEMENTS

- **Visitor Field Maintenance Coordination:** Peak usage periods can strain maintenance schedules, risking surface quality.
- **Lighting Expansion:** Not all fields are equipped for evening play, limiting programming during shorter daylight months.
- **Spectator Amenities:** No seating, shade structures, and viewing areas reduce the experience for supporters.
- **Drainage:** Fields are in a floodplain and not adequately drained which creates major problems during weather events.
- **Storage and Operations:** Additional storage for equipment and maintenance supplies would improve operational efficiency.





**Figure 1.** Analysis Diagram of Campus Intramural and Recreation Fields

## STUDENT RECREATION CENTER (SRC)

- **Name:** Student Recreation Center (SRC)
- **Opened:** 2007
- **Location:** On campus, north of Schlieff Tennis Complex and west of the Campus Intramural and Recreation fields.
- **Primary Uses:** Campus fitness and wellness (cardio/weight rooms); intramurals; group fitness classes; climbing wall; aquatics; outdoor program coordination; event rentals; community outreach programs.
- **Annual Membership:** Students are members per their fees. Memberships are available to the community.



*Student Recreation Center*



## **HISTORY & DEVELOPMENT**

The Student Recreation Center stands as the flagship facility of SFA's Campus Recreation program, serving as the primary hub for fitness, wellness, and recreational activities on campus. As the newest and most comprehensive recreational facility, the SRC embodies the University's commitment to student wellness and serves as a model for modern campus recreation centers in the region.

The Student Recreation Center opened in 2007 as part of SFA's commitment to student wellness and campus life enhancement. The facility was developed to serve the growing student body's recreational needs and to provide a modern, comprehensive recreation hub that would support both physical fitness and social engagement. It was intentionally sited to preserve the Pinewoods on campus and to cluster outdoor and indoor recreation into a single precinct, giving students a modern, multi-discipline recreation hub. Since opening the SRC has served as the primary place for day-to-day student fitness, intramurals, and outdoor program staging.

## **FEATURES**

The SRC is a comprehensive, multi-component facility designed to serve a wide range of student recreation and wellness needs.

Indoor features include:

- Extensive fitness areas with modern free-weight and machine strength training, dedicated cardio zones, and functional training spaces.
- Multipurpose courts for basketball, volleyball, and other recreational sports.
- Specialized climbing wall facilities, including a bouldering cave and roped climbing areas, with instruction and belay certification programs.
- Multipurpose rooms for group classes and instructional programming.
- Locker rooms, equipment checkout areas, and support spaces designed to enhance user experience.

Outdoor features coordinated by the SRC include:

- Sand volleyball courts and turf workout pads for recreation and intramurals.
- Army ROTC with ropes and challenge course elements for leadership development, team-building, and outdoor adventure programs.
- An outdoor swimming pool supporting lap swimming, aquatics classes, and recreational swim, available for both SRC and HPE Complex users.

Programming spans a diverse range of activities, including intramural leagues, drop-in recreational play, group exercise classes, climbing instruction and certification, lifeguarded aquatics programming, Army ROTC, and special events for student organizations. These programs support SFA's mission to cultivate a culture of Lumberjack wellness by providing inclusive and engaging fitness, sport, and adventure experiences.



## **GAPS & POTENTIAL IMPROVEMENTS**

- **Peak-Time Crowding:** Fitness areas, courts, and studios experience high utilization during peak hours; scheduling adjustments or expansions would improve access.
- **Recovery and Wellness Zones:** Adding passive recreation, lounges, stretching, or quiet recovery spaces could modernize the wellness offerings.
- **Wayfinding and Orientation:** Improved signage between outdoor and indoor facilities would assist first time users.
- **Maintenance and Life Cycle Planning:** Continued investment in pool systems, climbing wall elements, and fitness equipment ensures longevity and safety.
- **Program Visibility and Accessibility:** Expanding awareness campaigns and inclusive programming can increase student participation, especially for outdoor adventure and challenge course activities.



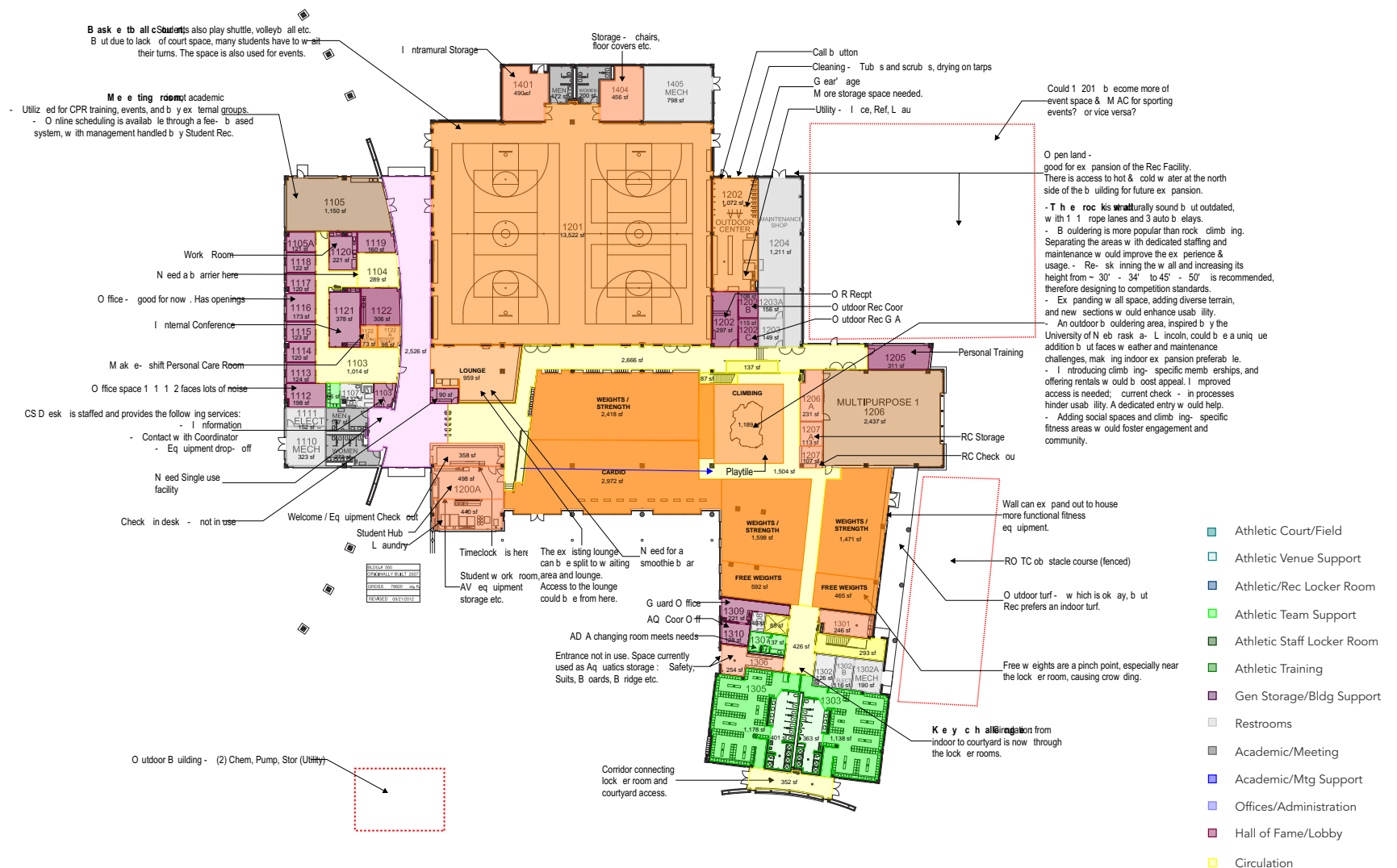


Figure 2. Student Recreation Center Level 1 Floor Plan

Scale: N.T.S.

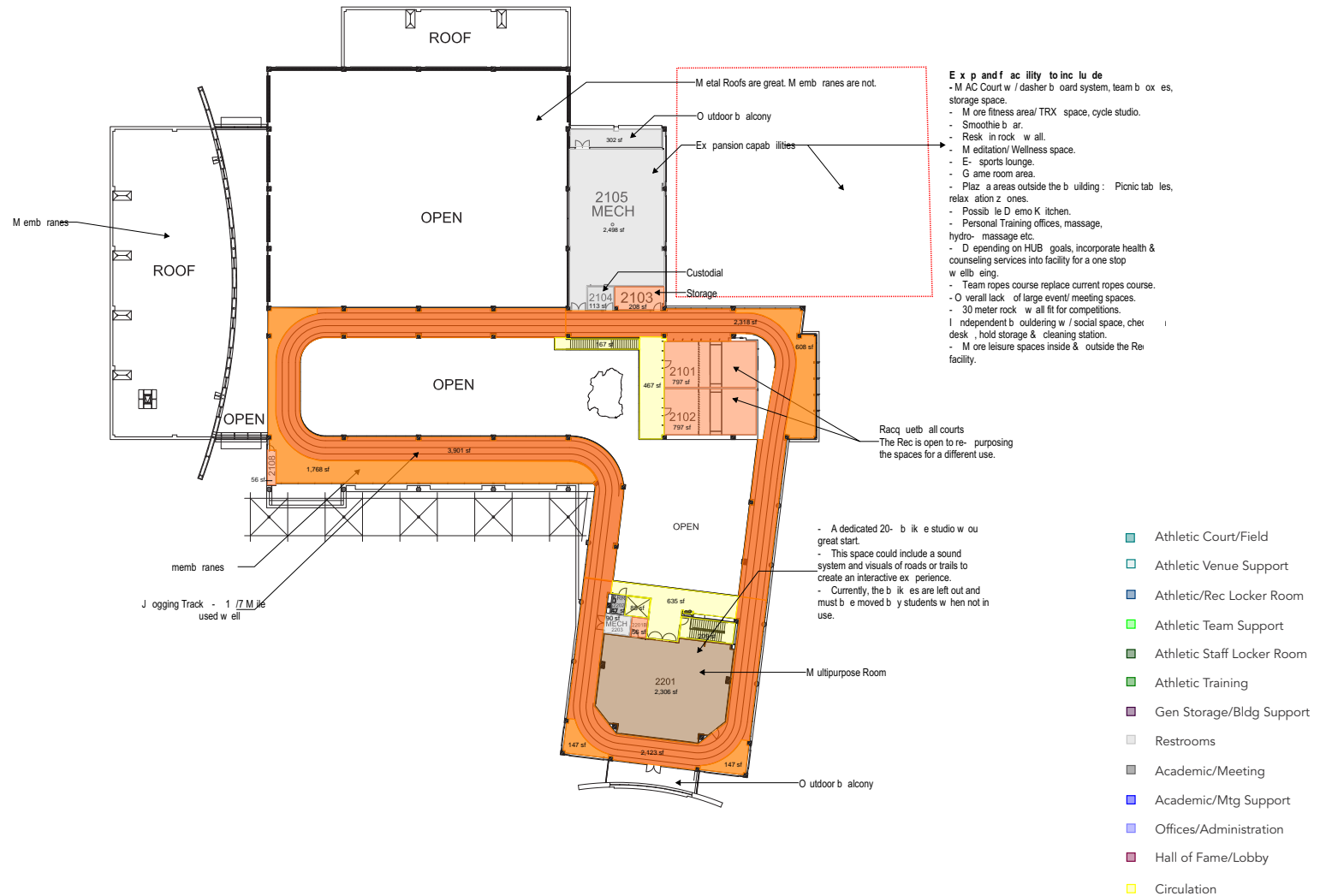


Figure 3. Student Recreation Center Level 2 Floor Plan

Scale: N.T.S.



## SFA OUTDOOR PURSUITS PROGRAM

- **Name:** SFA Outdoor Pursuits Program Facilities
- **Location:** Located in the SRC
- **Primary Uses:** Outdoor equipment rental and storage, adventure programming, outdoor education, recreational trips, leadership development
- **Service Area:** On-campus programs, regional day trips, and extended adventure excursions



*SFA Outdoor Pursuits Program*

## HISTORY & DEVELOPMENT

SFA's Outdoor Pursuits Program provides students and the campus community with structured access to outdoor recreation opportunities, leveraging the Piney Woods region's unique natural environment. By combining equipment rental, educational workshops, and adventure-based programming, the program fosters leadership development, environmental stewardship, and experiential learning outside traditional indoor recreation spaces.

Established as part of SFA's comprehensive campus recreation initiative, the Outdoor Pursuits Program complements the Student Recreation Center's indoor amenities by connecting students with local and regional natural resources. The program was developed to enhance student wellness, promote engagement with outdoor recreation, and provide hands-on learning in leadership, risk management, and environmental awareness. Since its inception, the program has grown to include structured trips, outdoor skill workshops, and specialized equipment rental services. SFA's Outdoor Pursuits program offers a variety of activities, including hiking, biking, climbing, canoeing, and backpacking trips, as well as team-building challenge courses and adventure clinics. Opportunities range from local trail biking and hiking to more extensive trips such as New Mexico National Park Tours and multi-day hikes.

## FEATURES

The program operates from the SRC but extends to multiple outdoor sites around campus and the East Texas region. Features and programming include:

- **Rental Inventory:** Camping gear, hiking equipment, climbing gear, water sports equipment, and specialized outdoor recreation items.
- **Maintenance and Safety:** Regular inspection, cleaning, and equipment replacement cycles ensure reliability and participant safety.
- **Educational Workshops:** Equipment orientation sessions, skill-building clinics, and safety training accompany rentals and trips.
- **Trip Support:** Staff assist with route planning, safety procedures, and permits for off-campus excursions.
- **Programming:** Organized day trips, multi-day regional excursions, outdoor leadership development activities, and skill-building workshops.

The program emphasizes safe, responsible engagement with outdoor recreation while cultivating teamwork, problem-solving, and leadership skills.

## GAPS & POTENTIAL IMPROVEMENTS

- **Adventure Infrastructure:** Additional on-campus challenge course elements or adventure features located in spaces visible to the public would enhance programming options.
- **Weather Contingencies:** Indoor backup activities are needed during periods of inclement weather or peak storm seasons.
- **Equipment storage and Life Cycle Management:** Dedicated expansion is necessary to accommodate both storage and multi-functional needs. Ongoing investment in equipment replacement and facility growth is crucial to ensure quality and safety standards are maintained.

## SFA CHALLENGE COURSE

- **Name:** SFA Challenge Course (High / Low Ropes and Team-Building Course)
- **Capacity:** Designed for flexible groups including single team sessions (8–20 participants) up to back-to-back sessions for larger groups; site can host multiple small groups concurrently depending on staffing and element layout.
- **Location:** Across University Drive, part of the outdoor recreation precinct on campus.
- **Primary Uses:** Team-building, leadership training, first-year and leadership orientations, contingency problem solving, confidence building, community group programming, corporate retreats, experiential education credit programs.



*SFA Challenge Course*



## HISTORY & DEVELOPMENT

The SFA Challenge Course was implemented as part of a growing emphasis on experiential education and outdoor leadership within campus recreation programming. It was built to provide structured opportunities for students, campus groups, and external partners to participate in facilitated activities that develop trust, leadership, communication and problem solving. Over time, the course expanded from basic low-elements (ground-level trust and problem-solving features) to include high-ropes elements, belayed challenges, and portable initiatives for off-site facilitation.

## FEATURES

- **Low Elements:** Ground-level problem-solving features (e.g., trust fall platforms, log balance beams, team traverse, spider web) used for ice-breakers and progressive group challenges.
- **High Elements:** Elevated ropes, zip elements, and belayed platforms that provide personal challenge under trained supervision. Safety systems and anchors are maintained to industry standards.
- **Facilitation and Curriculum:** Programming is used for team bonding, first-year orientation, leadership retreats, fraternity/sorority training, and community group development.
- **Staffing and Training:** Facilitators are trained in ropes safety, belay certification, and group facilitation techniques; ongoing staff training and recertification maintain safety and program quality.
- **Safety and Compliance:** The course follows industry standards for challenge courses such as regular inspections, personal protective equipment (PPE) checks, written emergency action plans, staff credentials.

## GAPS & POTENTIAL IMPROVEMENTS

- **Element Life Cycle and Modernization:** Hardware or wooden elements are aging; scheduled capital replacement and modernization (composite treads, modern anchors) will sustain safety and reduce maintenance downtime.
- **Adaptive/Inclusive Access:** Adaptive programming is currently limited; enhancements such as additional equipment and staff training are needed to better serve participants with mobility or sensory disabilities, including harnessed transfers and wheelchair-accessible low elements.
- **Program Diversification:** Expand curriculum into credit-bearing leadership courses, certification tracks (e.g., facilitator certification), and corporate partnership packages to increase utilization and revenue.
- **Marketing and Visibility:** The course is under-utilized relative to capacity because awareness among student groups and academic departments is uneven; improved outreach and integration into first-year programs would increase traffic.

## LUCILLE NORTON HEALTH & PHYSICAL EDUCATION (HPE) COMPLEX

- **Name:** Lucille Norton Health & Physical Education Complex (HPE)
- **Opened:** Mid-20th century (renamed in 1977); modernizations since then.
- **Capacity:** Building capacity varies by room; gymnasium spaces handle standard class and lab sizes.
- **Location:** On campus (central academic/physical-education campus) across from the Student Recreation Center
- **Primary Uses:** Academic instruction for health and kinesiology, movement labs, teacher education in physical education, recreation, and community workshops.



*HPE Complex*

## HISTORY & DEVELOPMENT

The Lucille Norton Health and Physical Education (HPE) Complex, serves as a home for SFA's Physical Education and Exercise Science and Campus Recreation programs. The complex contains teaching classrooms, movement and biomechanics labs with observation windows, multi-use gymnasia for techniques and pedagogy, faculty offices, and an aquatic facility. The pool provides a versatile space for both uses, featuring lap lanes and instructional space suitable for swimming lessons, water fitness, and kinesiology course instruction. Pool-only memberships allow users to access the facility based on availability. Programming is coordinated with the SRC pool to maximize overall aquatic access for the campus community.

## FEATURES

- **Fitness and Group Studio Space:** HPE offers a variety of spaces for fitness, recreation and academic needs.
- **Lap Lanes and Instructional Space:** Suitable for swimming lessons, water fitness, and kinesiology course instruction.
- **Academic Integration:** Supports courses in kinesiology, health science, and physical education while providing research opportunities.
- **Dual-Use Scheduling:** Coordination between academic classes and recreational programming maximizes facility efficiency.
- **Practical Teaching Environment:** Student teachers and research projects gain real-world experience in a controlled aquatic setting.

## GAPS & POTENTIAL IMPROVEMENTS

- **Space Reallocation:** The racquetball courts and climbing/gymnastics areas are significantly underutilized and could be renovated or repurposed. These spaces are currently inactive or temporarily used for Judo and Jiu-Jitsu activities.
- **Student Integration:** Create dedicated student collaboration / project spaces tied to HPE research and community outreach.
- **Schedule Coordination:** Recreational users may encounter conflicts with use of facilities; optimization could improve access for all users.
- **Modernization Opportunities:** Upgrades to energy efficiency, pool filtration systems, and user amenities would enhance facility performance.
- **Systems Modernization:** HVAC, acoustics, and accessibility modernizations would improve learning comfort.
- **Deck and Spectator Areas:** Improved pool deck layouts and spectator seating would support class observations and enhance user comfort.
- **Accessibility and Wayfinding:** Clear signage and access routes between Shelton, HPE and SRC aquatic facilities could improve ease of use for users.







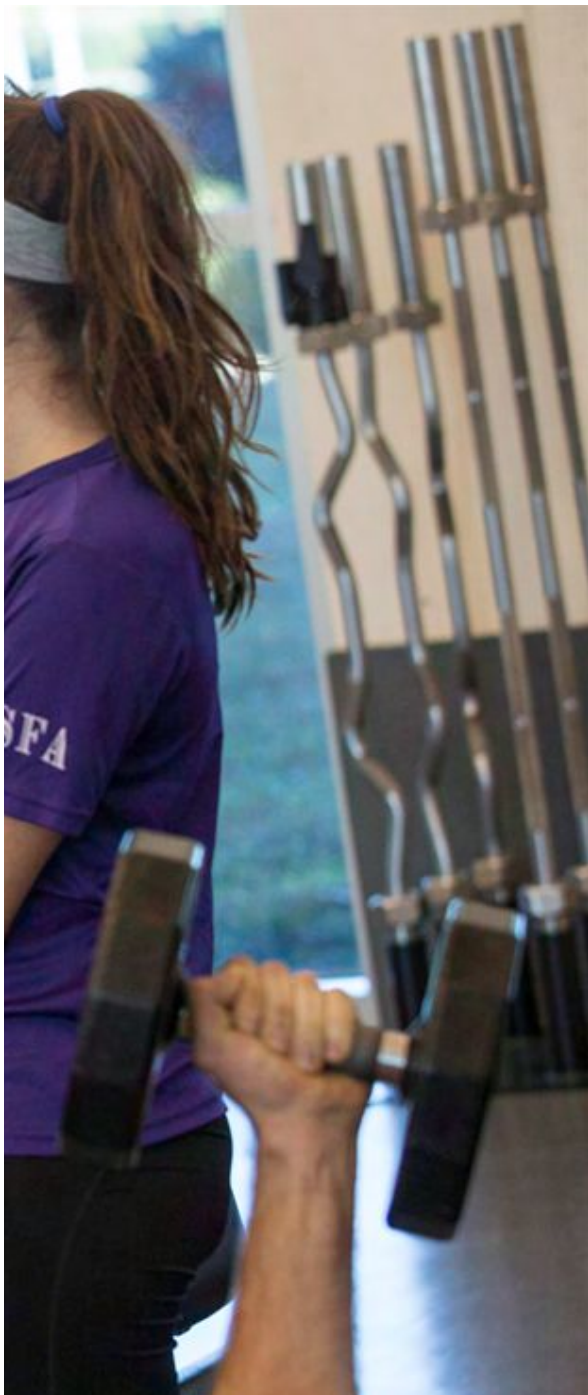
- Athletic Court/Field
- Athletic Venue Support
- Athletic/Rec Locker Room
- Athletic Team Support
- Athletic Staff Locker Room
- Gen Storage/Bldg Support
- Restrooms
- Academic/Meeting
- Academic/Mtg Support
- Offices/Administration
- Hall of Fame/Lobby
- Circulation

**Figure 5.** HPE Level 2 Floor Plan

Scale: N.T.S.







# BASIS OF NEED

# BASIS OF NEED

## CAMPUS RECREATION MASTER PLAN PRIORITIES

Through a series of planning workshops, stakeholder interviews, and program assessments conducted in close collaboration with the University, the planning team identified key needs and opportunities across the recreation facilities. This comprehensive programming process included an evaluation of existing facility conditions, peer benchmarking, and an understanding of how facilities align with the mission, goals and objective. Current recreation facilities operate at close to maximum capacity demonstrating strong demand that exceeds existing infrastructure capabilities. They were built for a campus that has grown and continues to grow for the future.

The evaluation revealed critical deficiencies in field quantity and quality, inadequate indoor fitness and wellness spaces, limited climbing and outdoor pursuits facilities, and insufficient support amenities for programs serving the broader campus community. The resulting priorities reflect a unified vision developed with campus stakeholders to elevate the student recreation experience, broaden program variety, improve accessibility and functionality, and reinforce Campus Recreation as a vital contributor to student well-being and sense of community at SFA.

| Priority | Project Name                                      | 0-5 Years | 6-10 Years |
|----------|---|-----------|------------|
| 1.       | Intramural / Competitive Sports Fields            | X         |            |
| 2.       | Recreation Field Services Building                | X         |            |
| 3.       | Student Recreation Center Renovation and Addition |           | X          |
| 4.       | Loop Trail and Challenge Course                   |           | X          |
| 5.       | Norton HPE Complex Renovation and Addition        |           | X          |

**Figure 6.** Campus Recreation Master Plan Priorities Summary

## **PRIORITY 1: INTRAMURAL / COMPETITIVE SPORTS FIELDS**

### **0-5 YEAR TIMELINE**

The current intramural, competitive sports and recreation fields are not meeting the baseline needs for Campus Recreation. Challenges exist with the size of fields, quantity of field space, hours of use and field type. Synthetic fields will provide a more flexible and durable surface that will be available during/directly after inclement weather without damaging playing surface.

### **LOCATION**

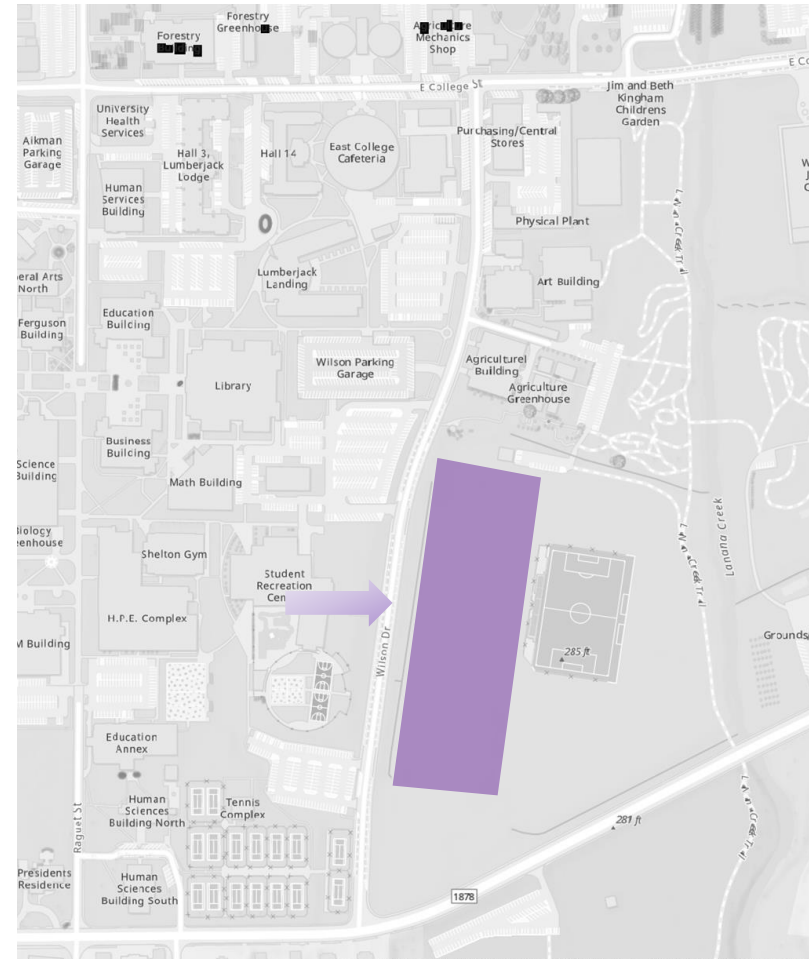
- Existing site on South Campus – planning did not explore alternate locations.

### **ADDITIONAL CONSIDERATIONS**

- The existing athletic soccer field sits approximately in the middle of the complex and could be relocated. It is likely Campus Recreation may have to share field space with the Athletics Department.
- The bonfire site adjacent to Starr Avenue creates an informal student activity zone.

### **PRELIMINARY PROGRAM**

- Synthetic Turf: 318,000 Gross Square Feet
- Natural Grass: 216,000 Gross Square Feet



**Figure 7.** Priority 1. Intramural/Competitive Fields Test Fit

Scale: N.T.S. 



## **PRIORITY 2: RECREATION FIELD SERVICES BUILDING**

### **0-5 YEAR TIMELINE**

The existing recreation field services building is situated north of the recreation field. The new facility includes cage storage for soccer, baseball, and rugby (approximately 5-6 cages), along with additional space to accommodate extensive equipment needs. This includes provisions for an ice machine for injury treatment, water stations, and mowers, as well as a fenced area for outdoor equipment. While only two football fields are currently in use, participation continues to grow, averaging around 650 weekly participants and 7,764 from sports clubs, indicating a clear need for four lighted fields. To support this growth and enhance user experience, the facility also requires concessions, public restrooms, improved spectator seating, team locker rooms and meeting spaces, a team lounge, satellite training facilities, visitor locker rooms, expanded storage, adjacent parking, and better overall site circulation.

### **LOCATION**

- The proposed facility is planned northwest of the recreation field, with no alternate locations currently under consideration.

### **ADDITIONAL CONSIDERATIONS**

- This project will be a new construction aimed at enhancing and contributing to the overall efficiency and functionality of the facility.

### **PRELIMINARY PROGRAM**

- 4,000 gross square feet



**Figure 8.** Priority 3. Intramural and Recreation Field Services Building Test Fit

Scale: N.T.S. 

## **PRIORITY 3: STUDENT RECREATION CENTER RENOVATION & ADDITION**

### **6-10 YEAR TIMELINE**

The SRC renovation and addition include the following elements in consideration:

- **Outdoor Aquatics / Pool:** The existing pool shell currently requires re-plastering. The whirlpool has a leak that appears to be under the pool and needs to be located. Re-coping work needs to be done to correct some wear issues. There are concerns raised about a possible sinkhole adjacent to the pool that should be examined and ruled out or confirmed.
- **Wellness Suite:** Current offerings are off the beaten path within the Campus Recreation office and underused with limited promotion. There is a desire from students for wellness focused activities, and having a storefront type of holistic wellness massage, rest, recovery space is needed. The aesthetics and ambiance should feel like a spa that is visible and able to be promoted for student, staff, faculty and members.
- **Tennis and Pickleball Courts:** The existing tennis courts need to be repaired and resurfaced to promote safe play and increase usage. There are currently eight courts that could be renovated. The existing two pickleball courts have been recently created.
- **MAC Court:** The existing Student Recreation Center is missing additional multi-use indoor court space, and the addition of multi-activity court (MAC) can provide flexible indoor space needed for non-basketball/volleyball programming and provide relief to the crowded existing gymnasium. A MAC court will draw interest from existing users but also create new/different alternate fitness users like roller hockey or indoor lacrosse. Offering a double court space will increase participation and functionality. The space would allow Campus Recreation to host Showcase Saturdays and fairs without shutting down their current wood court gymnasium space. The MAC would have a durable resilient rubber floor that could be used for these events. The scale for events is larger than the current gym space as well with over 5,000 occupants.
- **Weights and Functional Fitness:** Strength and conditioning, free weights and functional fitness space is rising in popularity on SFA campus and nationwide. Review and benchmarking of the current square footage allocated to these programs reveals a deficiency of space. The current weight room and core fitness space should be expanded to provide more offerings.
- **Climbing Social Space and Bouldering:** Popularity for climbing is stable, based on the current offerings. There is a core group of students that use the space and wall. The current wall square footage and lanes for top roping are adequate but the wall is missing social space for prepping to climb, waiting to use the wall and watching climbing. There is a need to provide an ante space and dedicated bouldering area. The bouldering space will open up climbing for entry users and give Campus Recreation a wall that does not require full staffing.
- **Outdoor Fitness:** The East Texas climate is conducive for outdoor fitness space. The current space is popular but undersized. There is an unneeded adjacency to underutilized obstacle course equipment that limits the overall functionality of the space. The outdoor recreation space could be expanded or relocated to maximize functionality.
- **Jogging Track Extension:** Increase the length of the track to be approximately 1/8 of a mile.

### **LOCATION**

- **Existing Outdoor Pool:** Planning did not explore alternate locations.
- **Wellness Suite:** SRC, Planning did not explore alternate locations.
- **Tennis and Pickleball Courts:** The existing South Campus location is at the corner of Starr Avenue and Wilson Drive. Alternate

locations for the fields could be off Raguet Street South of HPE or across Wilson Drive on the existing intramural fields on the South Campus or part of a combined Athletics and Campus Recreation Facility on North Campus.

- **MAC Court:** SRC - Planning did not explore alternate locations.
- **Weights and Functional Fitness:** SRC - Planning did not explore alternate locations, less HPE.
- **Climbing Social Space and Bouldering:** SRC - Planning did not explore alternate locations.
- **Outdoor Fitness:** SRC - Planning did not explore alternate locations.

#### ADDITIONAL CONSIDERATIONS

- **Existing Outdoor Pool:** There could be additional exterior recreation components that could be added to support the outdoor offerings at the SRC.
- **Wellness Suite:** SRC - Likely a renovation of the existing underutilized space.
- **Tennis and Pickleball Courts:** Depending on the Intercollegiate Athletics basis of need, the tennis courts could be relocated. Alternately, the tennis courts could be located on top of a parking garage to maximize available land.
- **MAC Court:** The existing HPE Space could be used for the Showcase Saturdays and fairs.
- **Weights and Functional Fitness:** There could be additional interior recreation components that are added to support the weight and fitness programs at the SRC. The HPE is likely available for expansion of the weight and fitness spaces.
- **Climbing Social Space and Bouldering:** Increase bouldering and maximize functionality.

- **Outdoor Fitness:** There could be additional exterior recreation components that are added to support the outdoor offerings at the SRC.

#### PRELIMINARY PROGRAM

- Student Recreation Center overall renovation and addition: 112,754 gross square feet

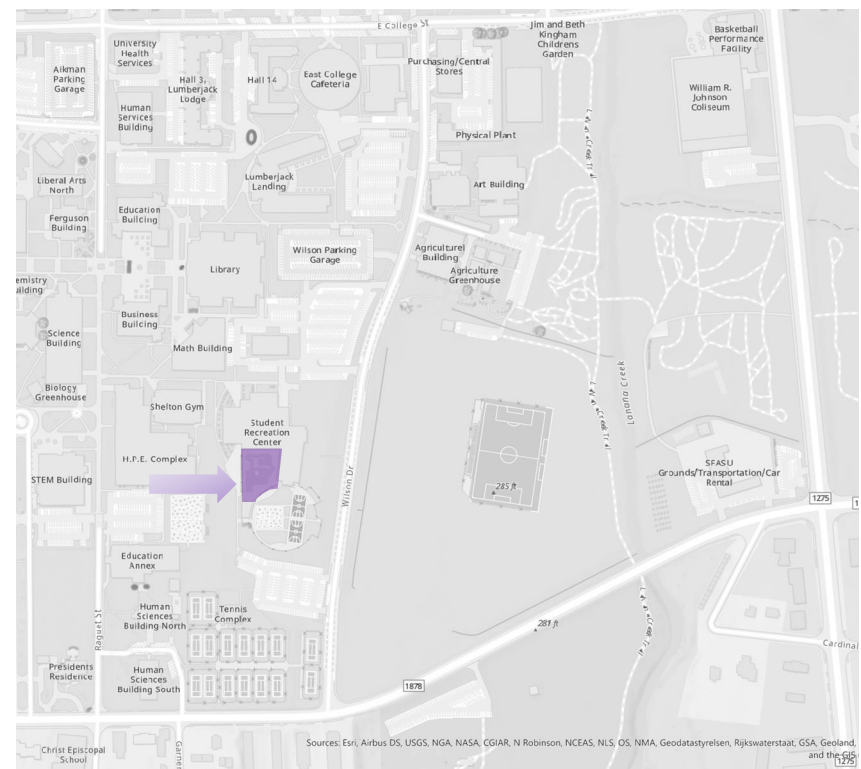
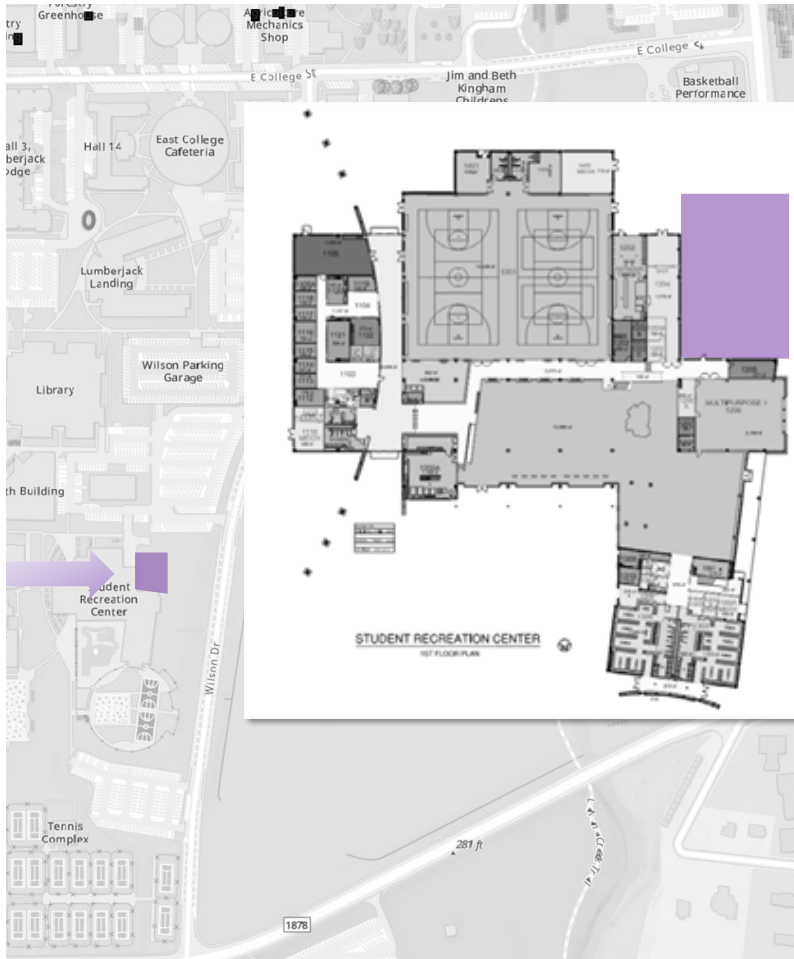



Figure 9. Priority 2. Outdoor Pool Test Fit

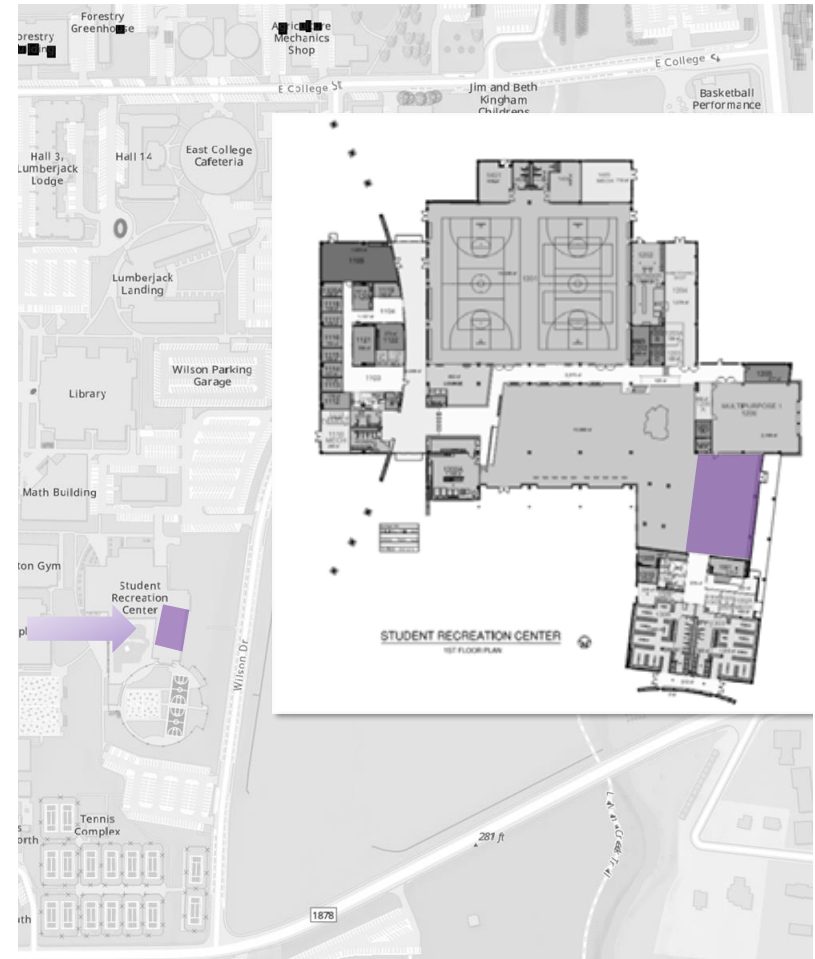
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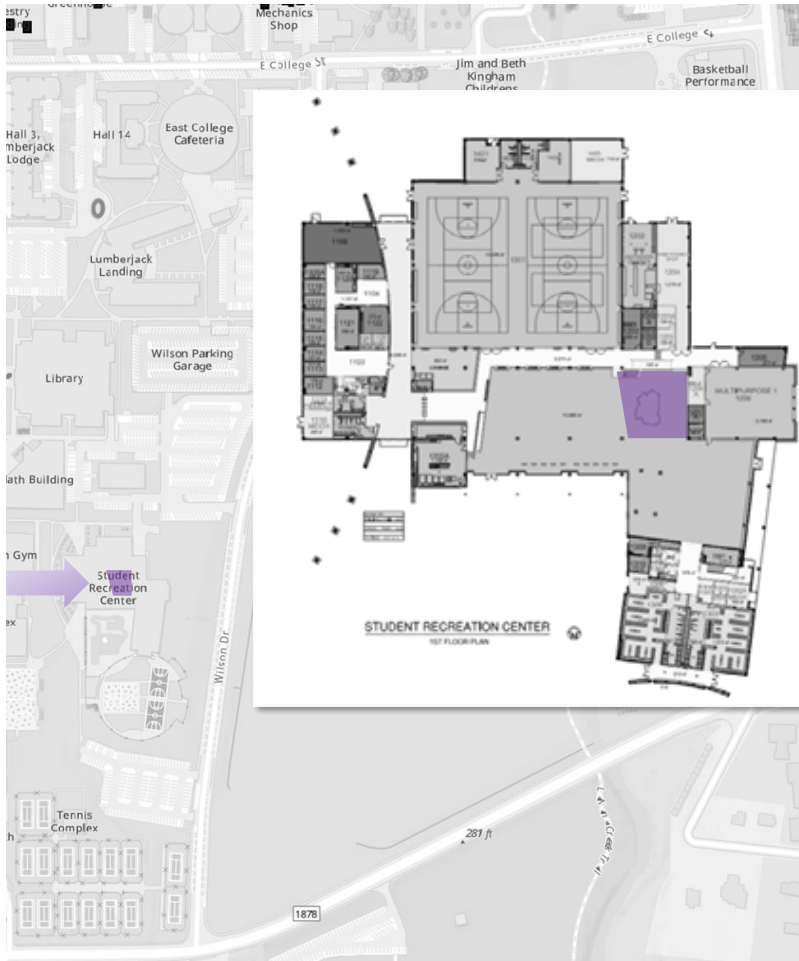


**Figure 10.** Priority 2. MAC Court Test Fit

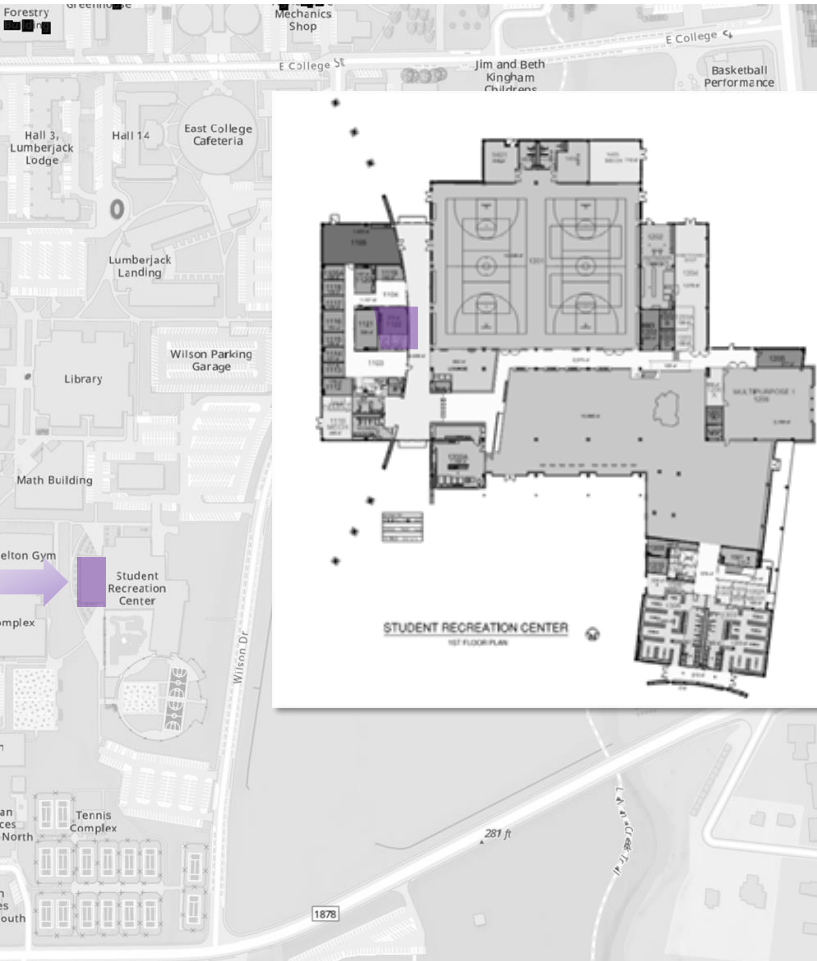
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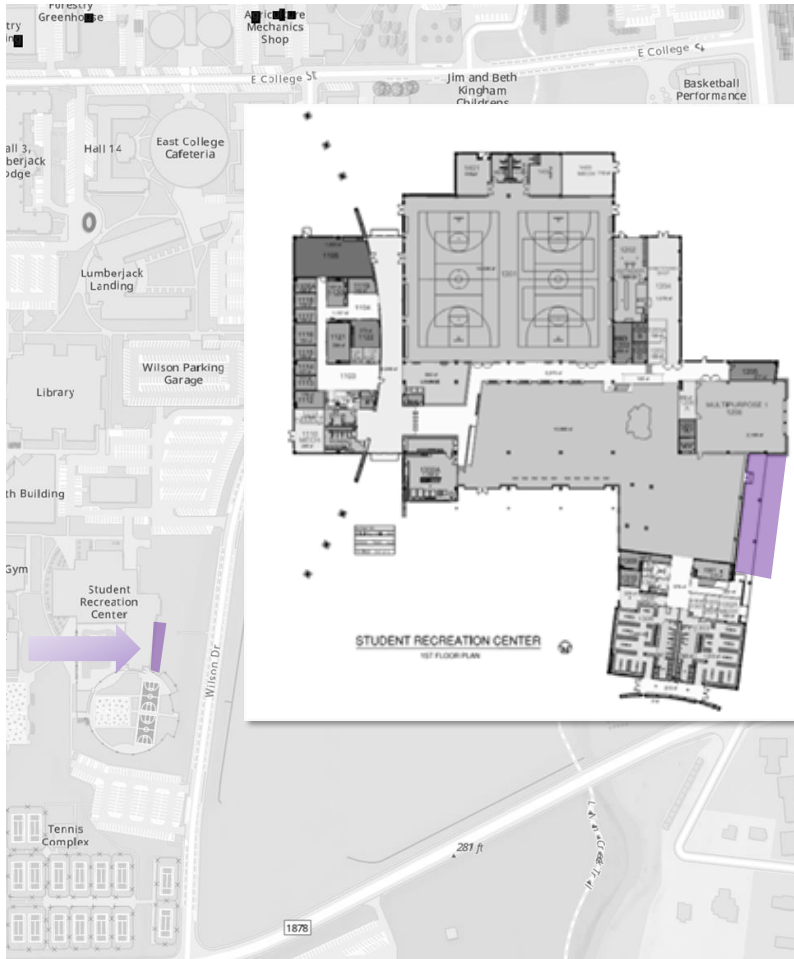
**Figure 11.** Priority 2. Weights and Functional Fitness Test Fit Scale: N.T.S. 



**Figure 12.** Priority 2. Climbing and Bouldering Test Fit Scale: N.T.S.



**Figure 13.** Priority 2. Wellness Suite Test Fit Scale: N.T.S.




**Figure 14.** Priority 2. Outdoor Fitness Test Fit

Scale: N.T.S. 



**Figure 15.** Priority 2. Tennis and Pickleball Courts Test Fit

Scale: N.T.S. 



## **PRIORITY 4: LOOP TRAIL AND CHALLENGE COURSE**

### **6-10 YEAR TIMELINE**

The Challenge Course is part of Outdoor Pursuits within SFA's Campus Recreation. It's designed for groups seeking team building, leadership development, communication and problem solving. Typical users include student organizations, academic programs, athletic units, and professional groups. Key Elements include low-ropes (outdoor) and high-ropes (indoor) elements. Low-ropes courses are problem-solving, and communication focused, often at ground level; the high-ropes elements include things like a 30-foot elevated rope course or crate stacking, plus the climbing wall for more physically challenging experiences. The course serves as a complement to indoor recreation and athletics by offering unique outdoor experiential learning. It has fallen into some disrepair and needs to be brought back to life. Upgrades would see both tower elements renovated and expanded to accommodate student and outside groups. The entirety of the course needs to be more visible and made marketable to meet the revenue potential.

### **LOCATION**

- High-Ropes Course, across N. University Drive, adjacent to the recreation fields.

### **ADDITIONAL CONSIDERATIONS**

- There is a network of adjacent trails that could be part of the site.
- There is a great watershed off the site from the east flowing west that needs to be understood and addressed.

### **PRELIMINARY PROGRAM**

- 160,000 gross square feet



**Figure 16.** Priority 4. Ropes Course and Zipline Test Fit

Scale: N.T.S. 

## PRIORITY 5: HPE GYM

### 6-10 YEAR TIMELINE

The current HPE facility is a functioning partnership of academics, Campus Recreation and Athletics. With some strategic modifications, the facility could better serve all stakeholders. There is a vast amount of locker room space that could be renovated, allowing academics to move out of the fixed sized racquetball courts. The locker rooms would be renovated to include kinesiology laboratories, Athletics visitors' locker rooms and Campus Recreation general locker rooms. The racquetball courts would then allow recreation to expand group studios and weights space. The large, under-utilized gymnasium space could be repurposed for bowling lanes or revitalized as an academic/recreation resource. The space would allow SFA to host Showcase Saturdays and fairs without shutting down the SRC. Challenges related to the quality of space and acoustics need to be addressed. The HPE location is desirable and could be a major asset for campus if modernized.

### LOCATION

- HPE – planning did not explore alternate locations. All tertiary locations were deemed not to be desirable.

### ADDITIONAL CONSIDERATIONS

- The connection to Shelton Gymnasium has current shared space that could be reallocated to further benefit to Campus Recreation and Athletics.

### PRELIMINARY PROGRAM

- Existing: 133,000 gross square feet
- Recreation (Renovation/Addition ): 25,000 gross square feet

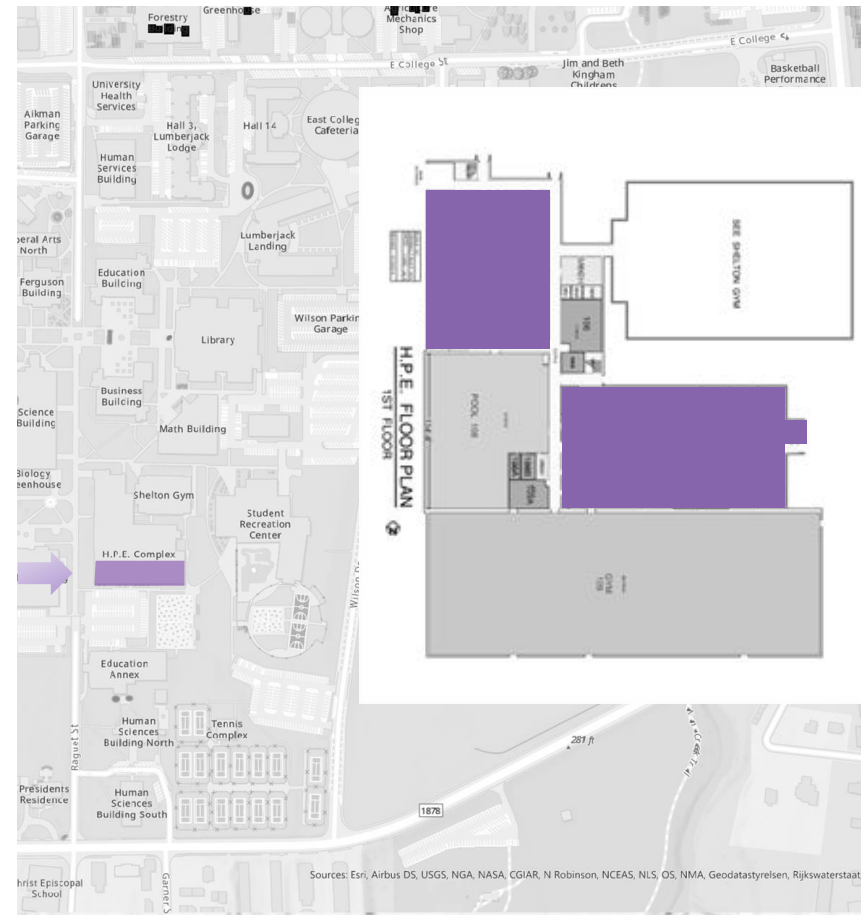


Figure 17. Priority 5. HPE Gym Test Fit

Scale: N.T.S. 

## PEER BENCHMARKING ANALYSIS

Peer benchmarking provides a critical framework for understanding how an institution's recreation facilities and programs compare to those of its competitive and aspirational peers. By examining factors such as facility quality, program offerings, and resource allocation, the benchmarking process helps identify both strengths and gaps relative

to institutions of similar profile and ambition. This analysis ensures that future investments are strategically aligned to elevate the University's competitive position and support its long-term recreation and wellness goals.

| Universities             | # of Under-graduates | % Live On-Campus | # Live On-Campus | % Fem | % Male | Faculty/Staff | % Students Active w/ Stud Rec | Daily Users | Community Access    | Paying Members - Non Affiliated |
|--------------------------|----------------------|------------------|------------------|-------|--------|---------------|-------------------------------|-------------|---------------------|---------------------------------|
| Stephen F. Austin        | 9,905                | 37%              | 3,664            | 63%   | 37%    | 1,632         |                               | 1,232       | A, W, R, T          | 435                             |
| Sacramento State         | 27,640               | 32%              | 8,845            | 55%   | 45%    | 3,400         | 78%                           | 3,500       | A, W, R             |                                 |
| Sam Houston State        | 18,179               | 23%              | 4,181            | 63%   | 37%    | 2,391         |                               |             | Sponsor             |                                 |
| UT Tyler                 | 7,287                | 24%              | 1,748            | 60%   | 40%    | 1,745         | 35%                           | 450         | Membership          | 1,200                           |
| James Madison University | 21,008               | 32%              | 6,723            | 56%   | 43%    | 4,456         |                               |             | No                  | N/A                             |
| Texas A&M                | 59,993               | 21%              | 12,560           | 53%   | 47%    | 10,701        | 92%                           | 8,341       | Member & Guest Pass | 745                             |

| Universities             | Guest Passes/ Yr | Size - Sq. Footage | SF/Daily User | SF/Student & Staff | Generated Revenue/ YR | Student Fee Revenue/ YR | Student Rec FTEs | Student Rec GAs | Student Rec Students/ PTEs | Student Rec Maint/ Custodial | # of Indoor Rec Facilities |
|--------------------------|------------------|--------------------|---------------|--------------------|-----------------------|-------------------------|------------------|-----------------|----------------------------|------------------------------|----------------------------|
| Stephen F. Austin        |                  | 140,688            | 114 sf        | 12 sf              | \$400,000             | \$2,377,200             | 7                | 4               | 80-100                     | 5                            | 3                          |
| Sacramento State         |                  | 260,263            | 74 sf         | 8.4 sf             |                       | \$525,160               |                  |                 |                            |                              | 1                          |
| Sam Houston State        |                  | 77,000             |               | 3.75 sf            |                       | \$3,635,800             |                  |                 |                            |                              | 1                          |
| UT Tyler                 |                  | 50,000 sf          | 111 sf        | 5.5 sf             | \$100,000             | \$1,020,180             | 6                | 0               | 40                         |                              | 1                          |
| James Madison University |                  | 278,515            |               | 11 sf              |                       | \$20,419,776            |                  |                 |                            |                              | 2                          |
| Texas A&M                | 99,979           | 686,146            | 82.5 sf       | 9.7 sf             | \$3,340,300           | 17,720,000              | 35               | 3               | 900                        |                              | 4                          |



| Universities             | Recent Project        | Clubs | Intra | Track             | Pool                         | Indoor Courts    | Indoor Turf | Outdoor Courts | Outdoor BVB Courts |
|--------------------------|-----------------------|-------|-------|-------------------|------------------------------|------------------|-------------|----------------|--------------------|
| Stephen F. Austin        | Light upgrades        | 17    | 17    | 3 Lane; 1/7 Mile  | Outdoor & Indoor             | 8 <sup>(5)</sup> | N/A         | 2              | 2                  |
| Sacramento State         | Yes                   | 18    | 9     | 3 Lane            | Outdoor; 25 Y, 6 Lanes       | 4                | N/A         | 0              | 4                  |
| Sam Houston State        | Yes                   | 25    | 41    | 1/8th Mile        | Outdoor 25 Y, 4 lanes        | 5                | N/A         | 5              | 2                  |
| UT Tyler                 | No                    | 7     | 15    | 3 lane; 1/11 Mile | Outdoor 2 lanes & zero entry | 3                | N/A         | 1              | 0                  |
| James Madison University | 2017 (Dbl'd Fac Size) | 400   | 17    | 4 Lane; 1/6 Mile  | Indoor; 8 lanes              | 16               | Yes         | 2              | 2                  |
| Texas A&M                | Yes                   | 39    | 61    | 4 Lane; 1/4 Mile  | 4 pools & 1 Diving Well      | 10               | Yes         | 2              | 6                  |

| Universities             | MAC | Weight Rooms | Cardio/<br>Fitness/<br>MP | Spin         | Studios | Climbing Wall | Bouldering Wall/Cave | RB Crts | Sq Crts | F-Fit Trng | Esports | Meeting Rooms | Demo Kitchen | Pharmacy |
|--------------------------|-----|--------------|---------------------------|--------------|---------|---------------|----------------------|---------|---------|------------|---------|---------------|--------------|----------|
| Stephen F. Austin        | 0   | 2            | 2                         | 1            |         | 39 feet       | 1; 13 feet           | 7       | 0       | N/A        | Remote  | 1             | No           | N/A      |
| Sacramento State         | 1   |              | 5                         | 1            | 5       | 39 feet       | 1; 13' x 15'         | 4       | 0       | N/A        | Remote  | 7             | No           | On-site  |
| Sam Houston State        | 0   | 10,000 sf    | 1                         | 1            | 3       | 34 feet       | 1                    | 3       | 0       | New        | Remote  | 0             | No           | Remote   |
| UT Tyler                 | 0   | 6,340 sf     | 1                         | 1            | N/A     | N/A           | N/A                  | 2       | 0       | Yes        | Remote  | 0             | No           | Remote   |
| James Madison University | 2   |              | 2                         | 1            | 6       | Yes           | 1                    | 7       | 0       |            | Remote  | 3             | Yes          | Remote   |
| Texas A&M                | 2   | 85,000 sf    | 12                        | 1 - 31 Bikes | 4       | 1; 44 feet    | 2; 950 sf & 1,150 sf | 14      | 2       | 2          | On-Site | 22            | No           | Remote   |

| Universities             | Health Services | # of Fitness Classes | Outdoor Challenge Course | # of Intra Fields | # of Tnns Crts | Out PB Crts  | Trails    | Athletic Division | FCS/FBS | Athletic Conference | Public/Private University |
|--------------------------|-----------------|----------------------|--------------------------|-------------------|----------------|--------------|-----------|-------------------|---------|---------------------|---------------------------|
| Stephen F. Austin        | PT & Massage    | 12                   | Yes                      | 4                 | 8              | 0; 6 shared  | 5 Miles   | I                 | FCS     | Southland           | Public                    |
| Sacramento State         | On-site         | 70 +                 | Yes                      | 4                 | 10             | 0; 10 shared |           | I                 | FCS     | Big Sky             | Public                    |
| Sam Houston State        | Remote          | 22                   | Yes                      | 6                 | 8              | 0; 8 shared  |           | I                 | FBS     | Conf USA            | Public                    |
| UT Tyler                 | Remote          | 15                   | N/A                      | 1                 | 8              | 0; 8 shared  | 4.5 Miles | II                | N/A     | Lone Star           | Public                    |
| James Madison University | Wellness        | 100                  | Yes                      | 7; 1 syn          | 4              | 0; 4 shared  | 3 Miles   | I                 | FBS     | Sun Belt            | Public                    |
| Texas A&M                | Remote          | 100                  | Yes                      | 13; 4 syn         | 15             | 10 dedicated | No        | I                 | FBS     | SEC                 | Public                    |

## SPACE NEEDS COMPARISON TO NIRSA



Student Enrollment at SFA  
Future Enrollment at SFA

|        |          |       |
|--------|----------|-------|
| 11,327 | Students | 11.33 |
| 15,000 | Students | 11.33 |

NIRSA Factor

| NIRSA Benchmarking + RDG Historical information   |  |                                      |        |           |                       |                     |          |            |          | Exist + Proposed |        |
|---|--|--------------------------------------|--------|-----------|-----------------------|---------------------|----------|------------|----------|------------------|--------|
|   |  | NIRSA Ratio                          | Needs  | RDG Adj   | Working - NIRSA Total | Adj Area (NSF)      | Existing | Difference |          | SRC              | HPE    |
| Total Indoor Recreation Space   |  |                                      |        |           |                       | A                   | B        | B-A = C    |          | D                | E      |
| 01  | Locker Room Space (Traditional)          | ASF per 1,000 students               | 177.00 | 2,005 ASF | 1.0                   | 2,005               | 5,705    | 3,700      |          | 3,080            |        |
|   | Locker Room Space (Individual)           |                                      |        | 4         | 120                   | 480                 | 137      | (343)      |          | 137              | 2,400  |
| 02  | Staff / Administration / Offices         |                                      |        | 1 Qty     | 3,000                 | 3,000               | 2,868    | (132)      |          | 2,761            |        |
|   | Aquatic Office, Lifeguard, First Aid     |                                      |        | 1 Qty     | 500                   | 500                 | 500      | 0          |          | 349              | 151    |
|   | Outdoor - Offices                        |                                      |        | 1 ASF     | 400                   | 400                 | 520      | 120        |          | 520              |        |
|   | Staff Lockers / Wet Area                 |                                      |        | 1 Qty     | 400                   | 400                 | 198      | (202)      |          | 198              |        |
| 03  | Cardio Equipment Space                   | ASF per 1,000 students               | 440.00 | 4,984 ASF | 1.4                   | 39% of Total        | 6,977    |            |          |                  |        |
|   | Free Weight Space                        | ASF per 1,000 students               | 295.00 | 3,341 ASF | 1.6                   | 30% of Total        | 5,346    |            |          |                  |        |
|   | Strength Equipment Space                 | ASF per 1,000 students               | 309.00 | 3,500 ASF | 1.4                   | 27% of Total        | 4,900    |            |          |                  |        |
|   | Stretching and Core Exercise Space       | ASF per 1,000 students               | 50.00  | 566 ASF   | 1.4                   | 4% of Total         | 793      |            |          |                  |        |
|   | Jogging Track                            |                                      |        | 3 Lanes   | 3,000                 | 9,000               | 8,342    | (658)      |          | 10,642           |        |
|   | Personal Training                        |                                      |        | 1 Ea ASF  | 650                   | 650                 | 311      | (339)      |          | 682              |        |
| 04  | Welcome Desk/Control                     |                                      |        | 1 Qty     | 200                   | 200                 | 224      | 24         |          | 224              | 100    |
|   | Social Spaces                            |                                      |        | 1         | 1,000                 | 1,000               | 480      | (521)      |          | 602              |        |
|   | Passive Rec - Table Tennis Tables        | Tables per 1,000 students            | 0.31   | 4 Tables  | 300                   | 1,053               | 480      | (574)      |          | 1,048            |        |
|   | Nutrition Services                       |                                      |        | 1         | 400                   | 400                 |          | (400)      |          | 503              |        |
|   | Juice Bar / Healthy Snacks               |                                      |        | 1         | 600                   | 600                 |          | (600)      |          |                  |        |
|   | Student HUB                              |                                      |        | 1 Qty     | 600                   | 600                 | 498      | (102)      |          | 498              |        |
|   | Equipment Issue                          |                                      |        | 1 Qty     | 150                   | 150                 |          |            |          |                  |        |
|   | Equipment Issue Storage                  |                                      |        | 1 Qty     | 350                   | 350                 | 224      | (276)      |          | 224              |        |
|   | Indoor Lap Pool                          | Lanes per 1,000 students             | 0.92   | 10 Lanes  | 900                   | 9,379               | 9,187    | (192)      |          |                  | 9,187  |
|   | Indoor Recreation Pool                   |                                      |        | - Qty     | 4,000                 | -                   |          | 0          |          |                  |        |
|   | Steam Room (All Gender, clothed)         |                                      |        | - ASF     | 350                   | -                   |          | 0          |          |                  |        |
|   | Sauna (All Gender, clothed)              |                                      |        | - ASF     | 350                   | -                   |          | 0          |          |                  |        |
|   | Basketball Courts (Gymnasia Courts)      | Courts per 1,000 students            | 0.45   | 5 Courts  | 6,800                 | 34,661              | 19,648   | (15,013)   |          | 13,522           | 6,126  |
|   | Multipurpose Activity Court (MAC)        |                                      |        | 1         | 15,000                | 15,000              |          | (15,000)   |          | 15,000           |        |
|   | Racquetball Courts                       | Courts per 1,000 students            | 0.39   | 2 Courts  | 800                   | 1,600               | 1,592    | (8)        |          | 1,592            |        |
|   | Squash Courts                            | Courts per 1,000 students            | 0.05   | 1 Courts  | -                     | -                   |          | 0          |          | -                |        |
| 05  | Indoor Bouldering Walls                  | SF of Climbing surface per 1,000 stu | 36.00  | 408 SF    | 2.5                   | 73 LF of Bouldering | 1,019    |            |          | 1,000            |        |
|   | Indoor Climbing Walls                    | Number of top ropes per 1,000 stu    | 0.55   | 10 Ropes  | 120                   | 80 LF of Climbing   | 1,200    | 3,040      | 821      | 1,189            |        |
|   | Outdoor - Storage / Trip / Rental Equip  | ASF per 1,000 students               | 184.00 | 2,084 ASF | 1                     | 2,084               | 1,072    | (1,012)    |          | 1,722            |        |
|   | GX / MP Space                            | ASF per 1,000 students               | 351.00 | 3,976 ASF | 1                     | 3,976               | 6,543    | 2,567      |          | 4,743            | 5,200  |
|   | Group Indoor Cycling Space               | ASF per 1,000 students               | 72.00  | 816 ASF   | 0.6                   | 489                 |          | (489)      |          |                  |        |
|   | Multiuse Space - FFit, Meeting           | ASF per 1,000 students               | 415.00 | 4,701 ASF | 1                     | 4,701               | 1,150    | (3,551)    |          |                  |        |
|   | Wellness - Massage, Counsel, Mtg, Social |                                      |        | 1 ASF     | 1,000                 | 1,000               | 477      | (523)      |          | 528              |        |
|   | Aquatics Storage                         |                                      |        | 1 Qty     | 1,000                 | 1,000               | 524      | (476)      |          | 798              | 232    |
|   | Recreation Storage                       |                                      |        | 1         | 2,000                 | 2,000               | 1,484    | (517)      |          | 1,992            | 287    |
|   | Laundry (Commercial Eq)                  |                                      |        | 1 Qty     | 500                   | 500                 | 440      | (60)       |          | 440              |        |
|   | Maintenance / Repair                     |                                      |        | 1 Qty     | 1,000                 | 1,000               | 1,211    | 211        |          | 1,211            |        |
|   | Comp Sports - IM and Club Storage        |                                      |        | 1 ASF     | 1,200                 | 1,200               | 866      | (334)      |          | 490              | 800    |
| Projected Total Assignable Building Space (NSF) of Recreation - Does not include other Building Program |  |                                      |        |           |                       | NSF                 | 111,629  | 82,151     | (40,272) | 84,820           | 29,950 |
| Net to Gross Ratio - Walls / Circulation, Core/Shafts   |  |                                      |        | 70%       | Actual                | 80%                 |          |            |          |                  |        |
| Projected Total Building Area* (GSF), Rounded (Based on Partial usage)                                  |  |                                      |        |           |                       | 14.04 SF/Student    | 159,000  | 103,000    | (56,000) | 130,623          | 31,448 |
|   |  |                                      |        |           |                       |                     |          |            |          | 162,070          |        |



## PLAN OPTIONS

Developing plan options is an essential step in translating vision, identified needs and priorities into actionable, physical solutions. Through an iterative design process, multiple combinations of facility locations, layouts, and program relationships were explored to evaluate

### OPTION A

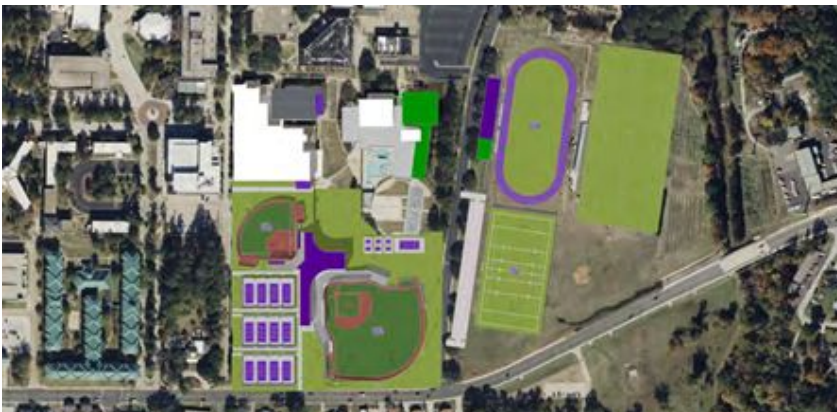
their functional, operational, and aesthetic impacts. This approach allowed the planning team and stakeholders to compare alternatives, refine ideas, and ultimately arrive at a balanced solution that best supports SFA's recreation and wellness vision and long-term growth.



South Campus SW Aerial View - Option A



South Campus NE Aerial View - Option A



South Campus Master Plan - Option A





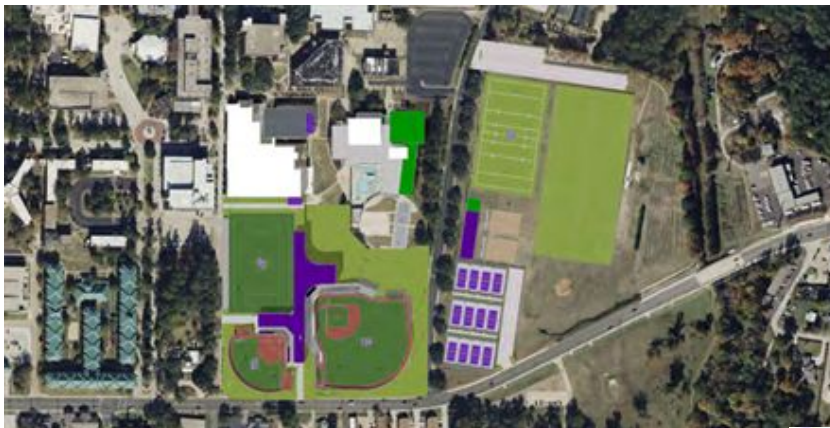
## OPTION B



*South Campus SW Aerial View - Option B*



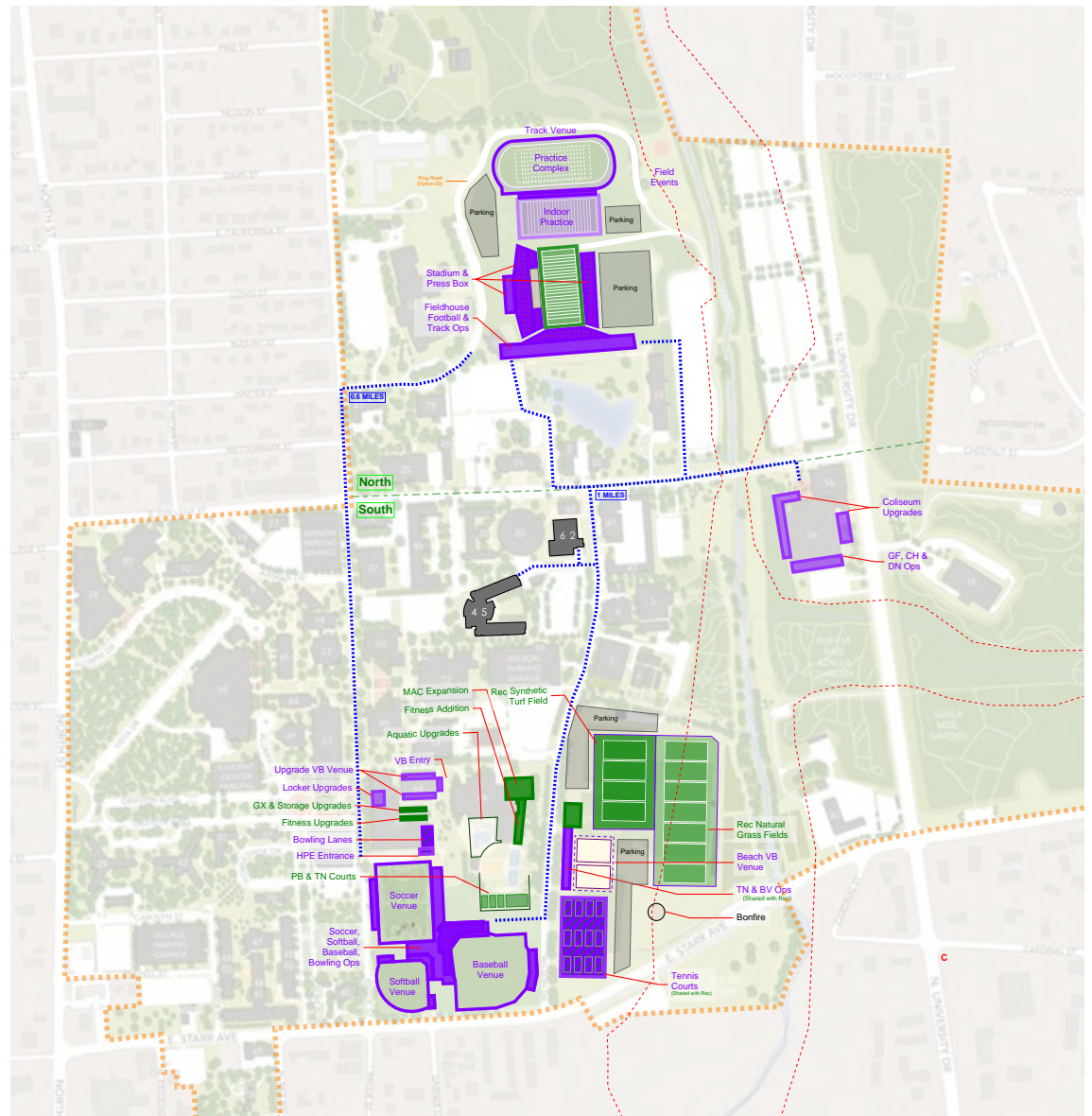
*South Campus NE Aerial View - Option B*




*South Campus Master Plan - Option B*



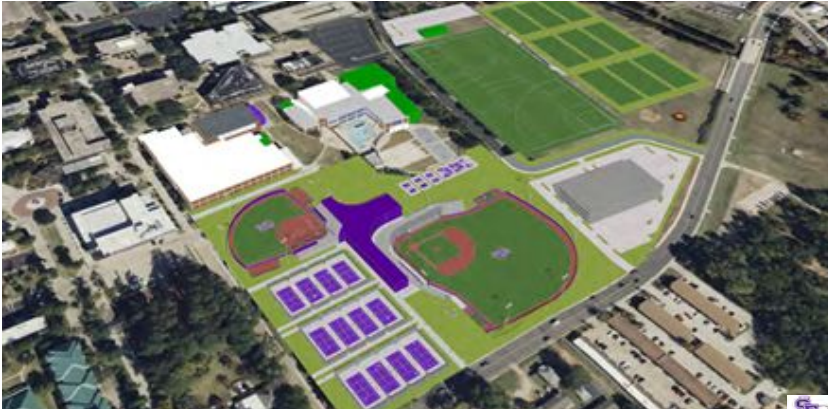
- Athletic Legend - Timeline**
- 0-5 Year
  - 5-10 Year
  - 10-15 Year
- Recreation Legend - Timeline**
- 0-5 Year
  - 5-10 Year
  - 10-15 Year



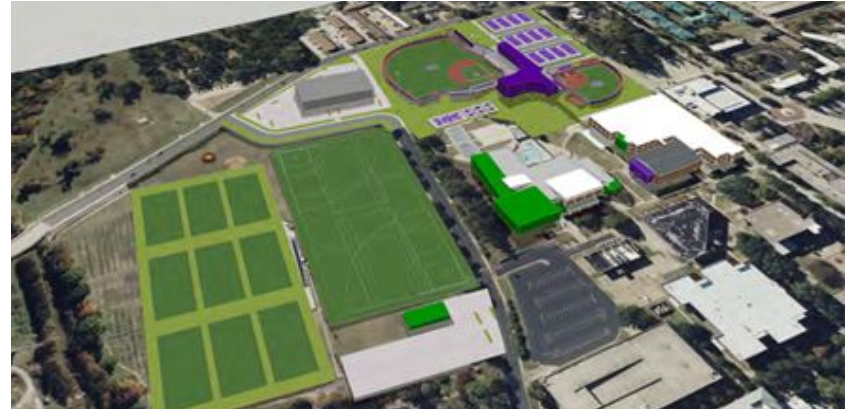
**Map 3.** Campus Recreation and Athletics Master Plan Option B

Scale: N.T.S. 

## OPTION C



*South Campus SW Aerial View - Option C*



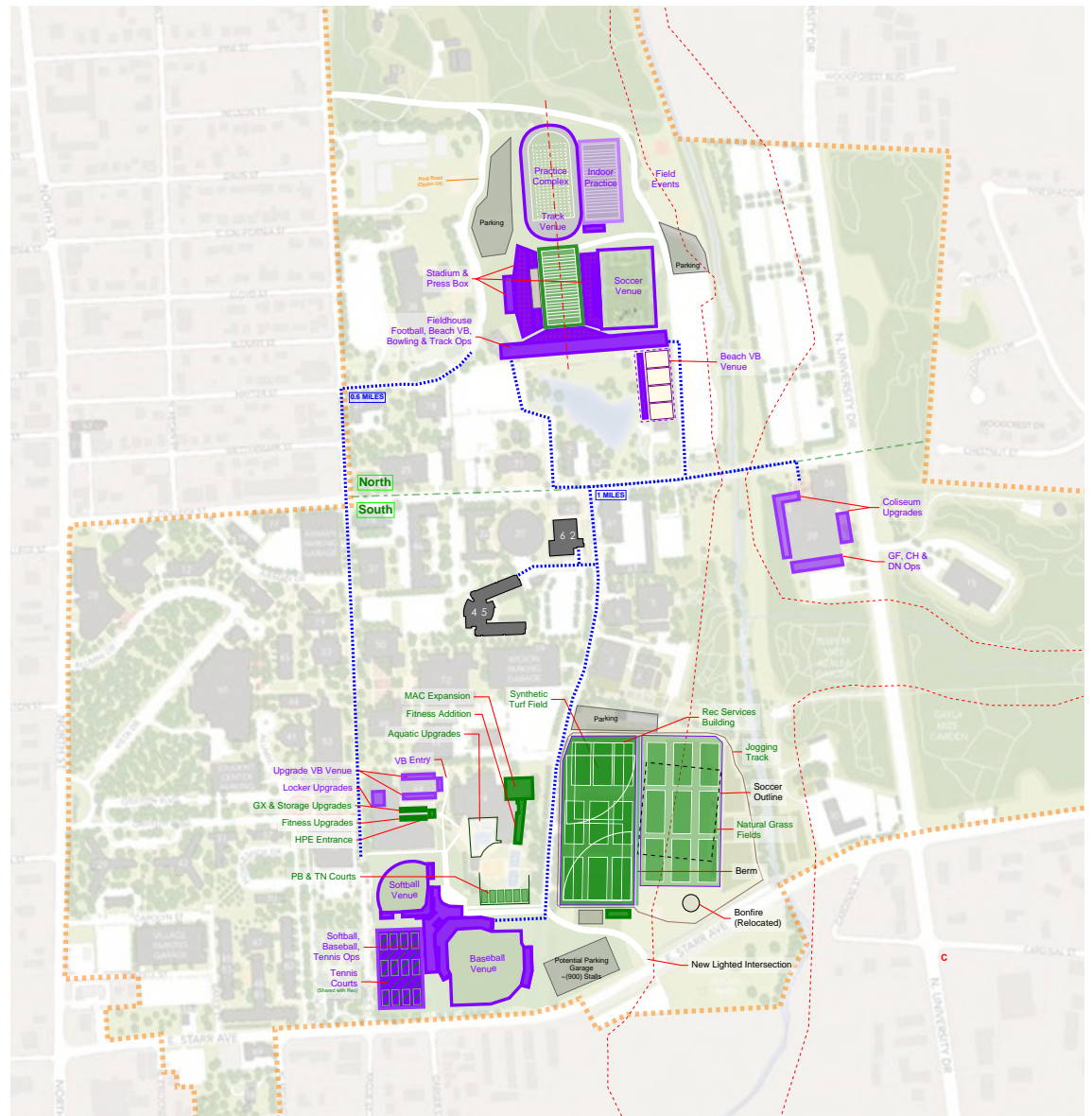
*South Campus NE Aerial View - Option C*



*South Campus Master Plan - Option C*



- Athletic Legend - Timeline**
- 0-5 Year
  - 5-10 Year
  - 10-15 Year
- Recreation Legend - Timeline**
- 0-5 Year
  - 5-10 Year
  - 10-15 Year

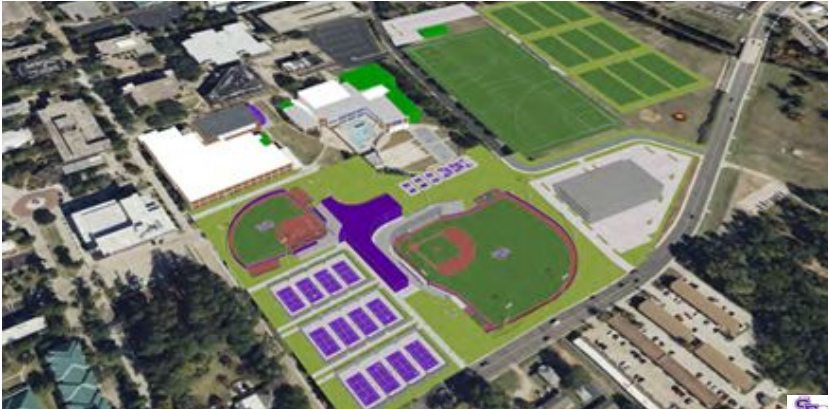


**Map 4.** Campus Recreation and Athletics Master Plan Option C

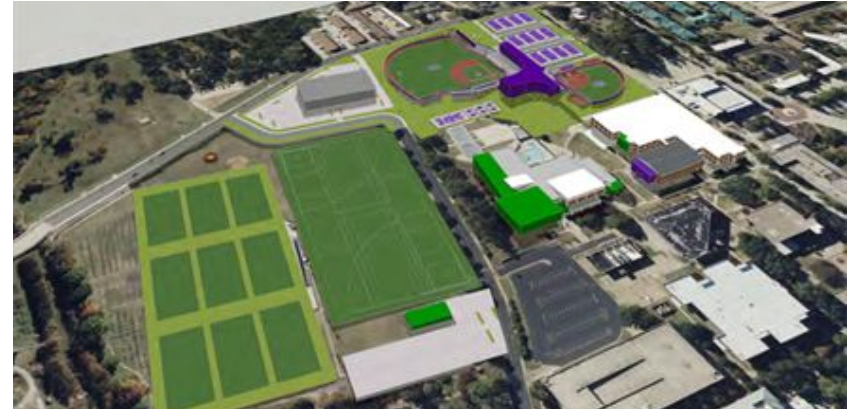
Scale: N.T.S.



## OPTION D



*South Campus SW Aerial View - Option D*

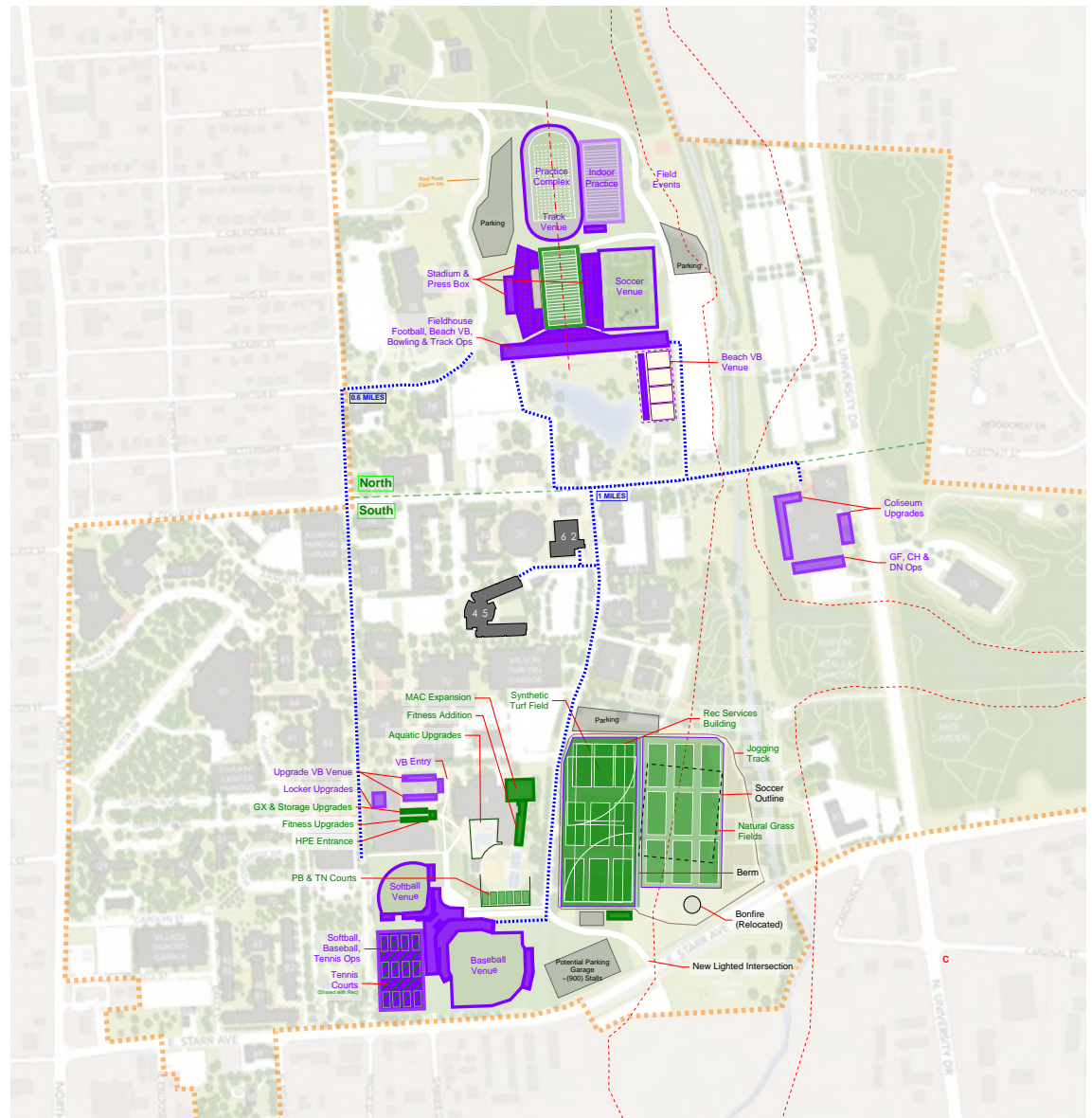


*South Campus NE Aerial View - Option D*



*South Campus Master Plan - Option D*

- Athletic Legend - Timeline**
- 0-5 Year
  - 5-10 Year
  - 10-15 Year
- Recreation Legend - Timeline**
- 0-5 Year
  - 5-10 Year
  - 10-15 Year



**Map 5.** Campus Recreation and Athletics Master Plan Option D

Scale: N.T.S.  N





## OPTION EVALUATION MATRIX

The planning team, in collaboration with University stakeholders, developed conceptual options that were systematically evaluated against established criteria in the form of a matrix. The review tool included the visioning, programmatic needs and how well each option served the broader student body, faculty, and staff. Campus Recreation facilities have the potential to be renovated and expanded to maximize the existing spaces as well as address the need for overall student wellness programs.

Each option was assessed using a strength-to-challenge rating system where strengths scored the highest points and challenges scored lower point values. The evaluation assessed critical factors such as Student Recreation Center expansion and renovation feasibility, integration with HPE Complex improvements, outdoor recreation field quantity and quality, connectivity to intramural and competitive sports venues, student entry and circulation patterns, administrative staff access and operational efficiency, and provision for outdoor pursuits programming. The matrix also assessed conflicts with campus attributes such as floodway limitations affecting field placement, topography impacting accessibility and construction

costs, and adjacencies to future housing development opportunities that could limit recreation facility utilization and student engagement.

Option D provided the most comprehensive solution for expanding the Student Recreation Center with optimal placement of wellness suites, upgraded climbing wall, fitness areas, and indoor multi-activity courts. The design excelled in addressing intramural and competitive sports field deficiencies by strategically positioning them with an elevated synthetic turf outside the floodway with proper drainage, a relocated Wilson Drive and a lower natural grass fields. The configuration integrated the Recreation Support Field Services Building to serve users and annual sports club participants, incorporating the Loop Trail and Challenge Course. Option D creates a cohesive recreation infrastructure that promotes lifelong wellness habits, supports diverse student needs, and enhances overall campus engagement while maintaining operational efficiency and financial sustainability.



## OPTION EVALUATION MATRIX

| Category                        | Sub Category / Item             | Athletic and Recreation Site Plan Options - Strength (3) / Challenge (1) |            |           |            |           |            |           |            |
|---------------------------------|---------------------------------|--|------------|-----------|------------|-----------|------------|-----------|------------|
|                                 |                                 | Option A   |            | Option B  |            | Option C  |            | Option D  |            |
|                                 |                                 | Athletics  | Recreation | Athletics | Recreation | Athletics | Recreation | Athletics | Recreation |
| Vision / Goals / Objectives     | Showcase Athletics              | 2  |            | 3         |            | 2         |            | 3         |            |
|                                 | Showcase Recreation             |  | 2          |           | 2          |           | 2          |           | 3          |
|                                 | Revenue Generation              | 3  |            | 2         |            | 2         |            | 3         |            |
|                                 | Enhance Recruitment & Retention | 2  | 1          | 3         | 2          | 1         | 2          | 3         | 3          |
|                                 | Enhance Membership              |  | 2          |           | 2          |           | 2          |           | 2          |
|                                 | Enhance Program Culture         | 2  | 2          | 3         | 2          | 2         | 2          | 3         | 3          |
|                                 | Planning Goals                  | 2  | 2          | 2         | 2          | 2         | 2          | 3         | 3          |
|                                 | Planning Objectives             | 2  | 1          | 2         | 2          | 2         | 2          | 2         | 3          |
| Impact on Campus Infrastructure | General Parking                 | 2  | 2          | 3         | 2          | 1         | 3          | 3         | 3          |
|                                 | Student Pedestrian Flow         | 2  | 2          | 2         | 2          | 2         | 2          | 3         | 3          |
|                                 | Emergency/Life Safety           | 2  | 2          | 2         | 2          | 2         | 2          | 2         | 2          |
| Access                          | Student-Athletes                | 2  |            | 2         |            | 3         |            | 3         |            |
|                                 | Students                        | 2  | 2          | 2         | 2          | 2         | 2          | 3         | 3          |
|                                 | Staff                           | 2  | 2          | 3         | 2          | 2         | 2          | 2         | 2          |
|                                 | Spectators                      | 2  | 2          | 3         | 2          | 1         | 3          | 3         | 3          |
|                                 | Outside Rental                  | 3  | 2          | 1         | 2          | 2         | 2          | 2         | 2          |
|                                 | Community Membership            |  | 2          |           | 2          |           | 2          |           | 2          |
| Stadium Connection Nodes        | Stadium Spectator Entry         | 2  |            | 3         |            | 2         |            | 3         |            |
|                                 | Ticketing                       |  |            |           |            |           |            |           |            |
|                                 | ADA/ Elevator                   |  |            |           |            |           |            |           |            |
|                                 | Stadium VIP Entry               |  |            |           |            |           |            |           |            |
|                                 | VIP Ticketing                   |  |            |           |            |           |            |           |            |
|                                 | VIP ADA/ Elevator               |  |            |           |            |           |            |           |            |
|                                 | Stadium Team Entry              |  |            |           |            |           |            |           |            |
|                                 | Home - Team Practice            |  |            |           |            |           |            |           |            |
|                                 | Home - Team Competition         |  |            |           |            |           |            |           |            |
|                                 | Visitor - Team Competition      |  |            |           |            |           |            |           |            |
|                                 | Band Entry                      | 2  |            | 2         |            | 2         |            | 2         |            |
|                                 | Maintenance Entry               | 2  |            | 2         |            | 2         |            | 2         |            |
|                                 | Emergency/Life Safety Entry     | 2  |            | 2         |            | 2         |            | 2         |            |
|                                 | Fieldhouse                      | 2  |            | 1         |            | 2         |            | 2         |            |

## OPTION EVALUATION MATRIX - CONTINUED

| Category                               | Sub Category / Item                | Athletic and Recreation Site Plan Options - Strength (3) / Challenge (1) |            |           |            |           |            |           |            |
|--|------------------------------------|--|------------|-----------|------------|-----------|------------|-----------|------------|
|  |                                    | Option A   |            | Option B  |            | Option C  |            | Option D  |            |
|  |                                    | Athletics  | Recreation | Athletics | Recreation | Athletics | Recreation | Athletics | Recreation |
| Fieldhouse Connection Nodes            | Student-Athlete: Housing Proximity | 2  |            | 2         |            | 2         |            | 2         |            |
|  | Student-Athlete: Parking Proximity | 1  |            | 3         |            | 3         |            | 2         |            |
|  | Performance Center Proximity       | 2  |            | 2         |            | 2         |            | 2         |            |
|  | Training/Recovery Center Proximity | 2  |            | 2         |            | 2         |            | 2         |            |
|  | Strength & Conditioning Proximity  | 2  |            | 2         |            | 2         |            | 2         |            |
|  | Academic Center Proximity          | 2  |            | 2         |            | 2         |            | 2         |            |
| South Athletic Campus Connection Nodes | Spectator Entry                    |  |            |           |            |           |            |           |            |
|  | Parking                            | 2  |            | 1         |            | 1         |            | 3         |            |
|  | Ticketing                          |  |            |           |            |           |            |           |            |
|  | ADA/Ramps                          |  |            |           |            |           |            |           |            |
|  | VIP Entry                          |  |            |           |            |           |            |           |            |
|  | Parking                            |  |            |           |            |           |            |           |            |
|  | VIP Ticketing                      |  |            |           |            |           |            |           |            |
|  | VIP ADA                            |  |            |           |            |           |            |           |            |
|  | Team Entry                         |  |            |           |            |           |            |           |            |
|  | Home - Practice                    |  |            |           |            |           |            |           |            |
|  | Home - Competition                 |  |            |           |            |           |            |           |            |
|  | Visitor - Competition              |  |            |           |            |           |            |           |            |
|  | Stadium Rentals                    |  |            |           |            |           |            |           |            |
|  | Maintenance Entry                  |  |            |           |            |           |            |           |            |
|  | Emergency Entry                    |  |            |           |            |           |            |           |            |
|  | North Athletic Campus Fieldhouse   |  |            |           |            |           |            |           |            |
|  | Wilson Drive Crossing              | 2  |            | 2         |            | 2         |            | 3         |            |

## OPTION EVALUATION MATRIX - CONTINUED

| Category  | Sub Category / Item              | Athletic and Recreation Site Plan Options - Strength (3) / Challenge (1) |            |           |            |           |            |           |            |
|---|----------------------------------|--|------------|-----------|------------|-----------|------------|-----------|------------|
|   |                                  | Option A   |            | Option B  |            | Option C  |            | Option D  |            |
|   |                                  | Athletics  | Recreation | Athletics | Recreation | Athletics | Recreation | Athletics | Recreation |
| South Athletic Campus<br>Connection Nodes                           | Spectator Entry                  |  |            |           |            |           |            |           |            |
|   | Parking                          | 2  |            | 1         |            | 1         |            | 3         |            |
|   | Ticketing                        |  |            |           |            |           |            |           |            |
|   | ADA/Ramps                        |  |            |           |            |           |            |           |            |
|   | VIP Entry                        |  |            |           |            |           |            |           |            |
|   | Parking                          |  |            |           |            |           |            |           |            |
|   | VIP Ticketing                    |  |            |           |            |           |            |           |            |
|   | VIP ADA                          |  |            |           |            |           |            |           |            |
|   | Team Entry                       |  |            |           |            |           |            |           |            |
|   | Home - Practice                  |  |            |           |            |           |            |           |            |
|   | Home - Competition               |  |            |           |            |           |            |           |            |
|   | Visitor - Competition            |  |            |           |            |           |            |           |            |
|   | Stadium Rentals                  |  |            |           |            |           |            |           |            |
|   | Maintenance Entry                |  |            |           |            |           |            |           |            |
|   | Emergency Entry                  |  |            |           |            |           |            |           |            |
|   | North Athletic Campus Fieldhouse |  |            |           |            |           |            |           |            |
|   | Wilson Drive Crossing            | 2  |            | 2         |            | 2         |            | 3         |            |
| Loddie Naymola Basketball<br>Performance Center<br>Connection Nodes | Spectator Entry                  |  |            |           |            |           |            |           |            |
|   | Ticketing                        | 2  |            | 2         |            | 2         |            | 2         |            |
|   | ADA                              | 2  |            | 2         |            | 2         |            | 2         |            |
|   | VIP Entry                        |  |            |           |            |           |            |           |            |
|   | Ticketing                        | 2  |            | 2         |            | 2         |            | 2         |            |
|   | Team Entry                       |  |            |           |            |           |            |           |            |
|   | Home - Practice                  |  |            |           |            |           |            |           |            |
|   | Home - Competition               |  |            |           |            |           |            |           |            |
|   | Visitor - Competition            |  |            |           |            |           |            |           |            |
|   | D/C & Golf Access                | 1  |            | 1         |            | 1         |            | 1         |            |
|   | D/C & Golf Parking               | 1  |            | 1         |            | 1         |            | 1         |            |
|   | Arena Rentals                    |  |            |           |            |           |            |           |            |
|   | State                            |  |            |           |            |           |            |           |            |
|   | Shows                            | 1  |            | 1         |            | 1         |            | 1         |            |
|   | Administrative Staff Entry       |  |            |           |            |           |            |           |            |
|   | Staff Parking                    | 2  |            | 2         |            | 2         |            | 2         |            |
|   | Visitor - Access                 | 2  |            | 2         |            | 2         |            | 2         |            |
|   | Visitor - Parking                | 2  |            | 2         |            | 2         |            | 2         |            |



## OPTION EVALUATION MATRIX - CONTINUED

| Category                          | Sub Category / Item        | Athletic and Recreation Site Plan Options - Strength (3) / Challenge (1) |            |           |            |           |            |           |            |
|-----------------------------------|----------------------------|--|------------|-----------|------------|-----------|------------|-----------|------------|
|                                   |                            | Option A   |            | Option B  |            | Option C  |            | Option D  |            |
|                                   |                            | Athletics  | Recreation | Athletics | Recreation | Athletics | Recreation | Athletics | Recreation |
| SRC + HPE + IM/Comp Sports Fields | Student Entry              |  |            |           |            |           |            |           |            |
|                                   | Lobby                      |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Passive Rec                |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Wellness                   |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Fitness & Weights          |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Group Studios              |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Courts / Gymnasia / MAC's  |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Climbing / Bouldering      |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Outdoor Pursuits           |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | IM / Comp Sports Fields    |  | 1          |           | 2          |           | 2          |           | 3          |
|                                   | Tennis / Pickle Ball       |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Aquatics                   |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | Administrative Staff Entry |  | 2          |           | 2          |           | 2          |           | 2          |
|                                   | <b>Sub-Total</b>           | <b>70</b>  | <b>26</b>  | <b>74</b> | <b>28</b>  | <b>67</b> | <b>30</b>  | <b>82</b> | <b>37</b>  |
| Conflicts                         | Campus Attributes          |  |            |           |            |           |            |           |            |
|                                   | LaNana Creek Floodway      | NO   | YES        | NO        | YES        | NO        | YES        | NO        | YES        |
|                                   | Ag Pond                    | YES  | NO         | YES       | NO         | YES       | NO         | YES       | NO         |
|                                   | Wilson Drive               | YES  | YES        | YES       | YES        | YES       | YES        | NO        | YES        |
|                                   | Topography                 | YES  | NO         | YES       | NO         | YES       | NO         | YES       | NO         |
|                                   | Janice Pattillo ECRC       | YES  | NO         | YES       | NO         | YES       | NO         | YES       | NO         |
|                                   | Raguet Elementary          | YES  | NO         | YES       | NO         | YES       | NO         | YES       | NO         |
|                                   | President's Residence      | NO   | NO         | NO        | NO         | YES       | NO         | NO        | NO         |
|                                   | Utilities                  |  |            |           |            |           |            |           |            |
|                                   | Water                      |  |            |           |            |           |            |           |            |
|                                   | Sanitary                   |  |            |           |            |           |            |           |            |
|                                   | Storm                      |  |            |           |            |           |            |           |            |
|                                   | Gas                        |  |            |           |            |           |            |           |            |
|                                   | Electric                   |  |            |           |            |           |            |           |            |
|                                   | Communications             |  |            |           |            |           |            |           |            |
|                                   | Lighting                   |  |            |           |            |           |            |           |            |
|                                   | Future Development         |  |            |           |            |           |            |           |            |
|                                   | Housing                    | YES  | NO         | NO        | NO         | NO        | NO         | NO        | NO         |
|                                   | Parking                    |  |            |           |            |           |            |           |            |
|                                   | Rugby                      |  | NO         |           | NO         |           | NO         |           | NO         |

## OPTION EVALUATION MATRIX - CONTINUED

| Category    | Sub Category / Item | Athletic and Recreation Site Plan Options - Strength (3) / Challenge (1) |            |           |            |           |            |           |            |
|-------------|---------------------|--|------------|-----------|------------|-----------|------------|-----------|------------|
|             |                     | Option A   |            | Option B  |            | Option C  |            | Option D  |            |
|             |                     | Athletics  | Recreation | Athletics | Recreation | Athletics | Recreation | Athletics | Recreation |
| Big Picture | Phasing             | 2  | 2          | 1         | 2          | 3         | 2          | 3         | 2          |
|             | Investment          | 2  | 2          | 1         | 2          | 3         | 2          | 2         | 3          |
|             | ROI                 |  |            |           |            |           |            |           |            |
|             | Sub- Total          | 4  | 4          | 2         | 4          | 6         | 4          | 5         | 5          |
|             | Grand Total         | 74   | 30         | 76        | 32         | 73        | 34         | 87        | 42         |

3











# PROPOSED SCOPE

# PROPOSED SCOPE

## RECREATION PROJECT SCOPE SUMMARY

The Campus Recreation planning efforts includes comprehensive improvements to recreational facilities serving the broader campus community. The scope encompasses renovations and expansions to existing recreation facilities, development of new outdoor recreation amenities, and enhance intramural and club sports infrastructure.

Major initiatives include expansion of the Student Recreation Center adding wellness suites, climbing social spaces, extended jogging tracks, expanded weights and functional fitness areas, and a new indoor multi-activity court (MAC) for flexible programming. Outdoor improvements feature six new pickleball courts, renovation of existing aquatics areas, and enhanced outdoor fitness facilities.

The upgraded and new 4,000 GSF Recreation Support Field Services Building provides essential public restrooms, expanded equipment storage with divisible cages for soccer, softball, and rugby, and support infrastructure for the adjacent upgraded field complex serving over 650 weekly users various sports club participants.

Upgraded intramural fields address current inadequacies in field size, lighting, ease of maintenance, type, and flood resilience.

An asphalt trail will loop around the Recreation Fields and provide access to a challenge course with a program footprint featuring low-ropes courses at ground level and high-ropes elements including crate stacking and a climbing wall.

Norton HPE Complex renovations create a modernized multi-use facility serving athletics, recreation, and academic programs. Campus Recreation plans to abandon all space within Shelton Gymnasium.

The comprehensive recreational facilities scope encompassing growth to 125,000 net square feet, or 21% growth, ensures the campus recreation infrastructure serves diverse student needs into the future. It will promote lifelong wellness habits, support intramural and club sports growth, and creates versatile spaces for both structured programming and informal recreation activities that enhance overall student life and campus engagement.

## BUILDING & FACILITY INITIATIVES

### Academic

- A** Science Building
- B** Long-Term Building Site
- C** McKibben Building Renovation
- D** Boynton Music Expansion
- E** Art Building
- F** Facilities Services & Operations + Academic Building
- G** Agriculture Building Renovation
- H** Long-Term Military Science & Aviation Sciences Expansion
- I** Greenhouses
- J** Social Work Building Renovation

### Athletic/Recreation

- K** Tennis Venue
- L** South Operations Venue
- M** Baseball Venue
- N** Softball Venue
- O** Norton HPE Renovation & Addition
- P** Shelton Renovation & Addition
- Q** Student Recreation Center Renovation & Addition
- R** Recreation Support - Field Services Bldg.
- S** Loop Trail & Challenge Course
- T** Recreation Fields - Intramural & Competitive Sports
- U** Johnson Coliseum Renovation & Addition
- V** Fieldhouse Building
- W** Football Stadium
- X** Soccer Stadium
- Y** Indoor Practice
- Z** Track & Field + Practice

### Student Experience

- AA** Auditorium/Welcome Center
- BB** R.W. Steen Library Renovation
- CC** Student Housing A
- DD** Student Housing B
- EE** Student Housing C
- FF** Student Housing D

### Garages

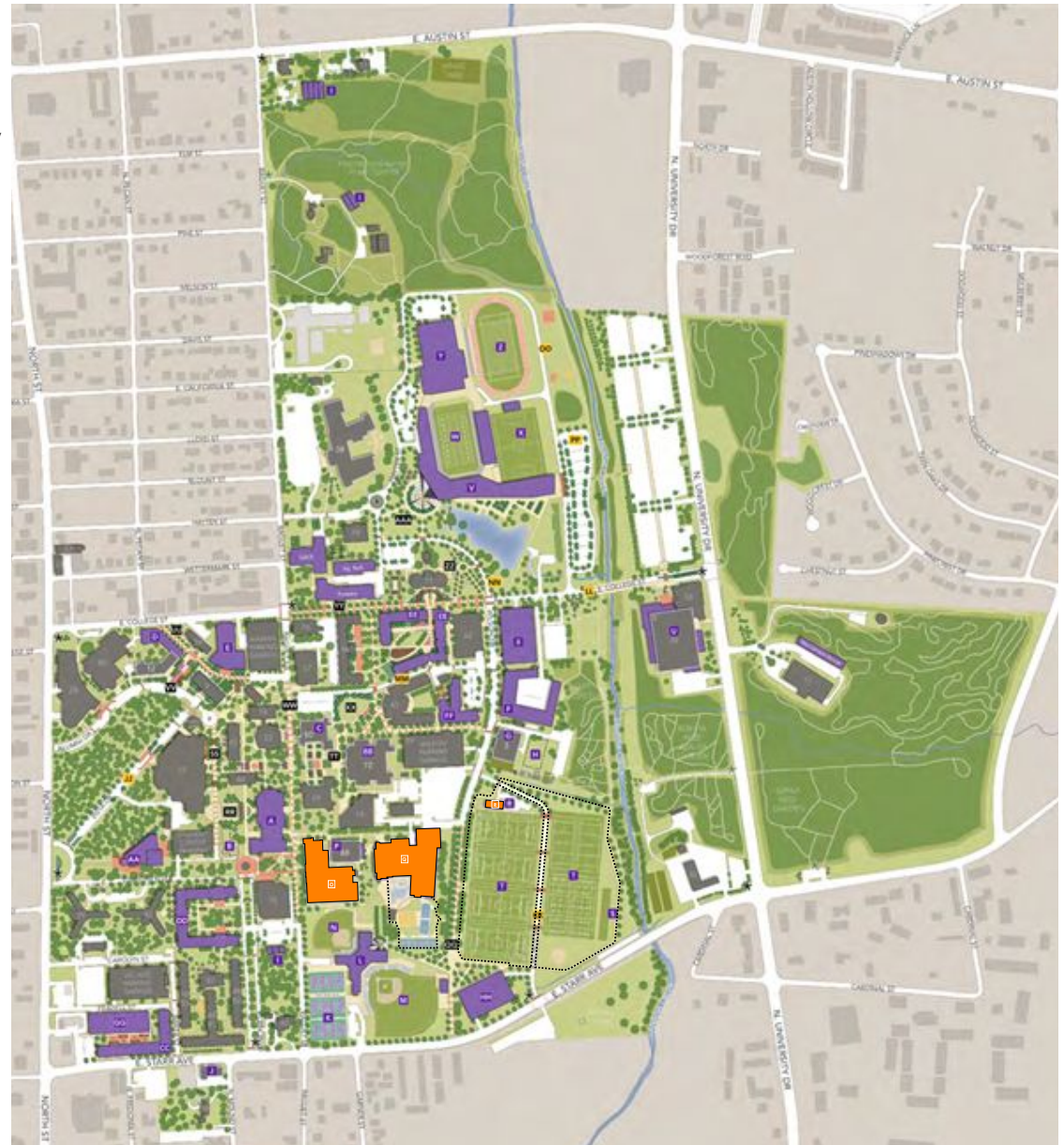
- GG** Garage A
- HH** Garage B
- II** Garage C + University Police Facility

### TRANSPORTATION INITIATIVES (areas not included in other facility initiatives)

- JJ** Vista Drive & Alumni Drive Street Modifications
- KK** Wilson Drive Realignment
- LL** College Street Modifications
- MM** McKibben/Library Access Road
- NN** North Wilson Drive Extension
- OO** Stadium Loop Drive
- PP** East Stadium Parking

### LANDSCAPE INITIATIVES

- QQ** Wilson Mall
- RR** Central Quad
- SS** Student Center Mall Enhancements
- TT** Central Mall Area
- UU** Aikman Mall
- VV** Austin Plaza
- WW** Raguet Mall Extension
- XX** Steen Open Space
- YY** College Mall
- ZZ** Steen Hall Courtyards
- AAA** Lumberjack Quad & Stadium Plaza
- ★ ★** Gateway Signage



**Map 6.** Campus Master Plan with Recreation spaces marked in orange-

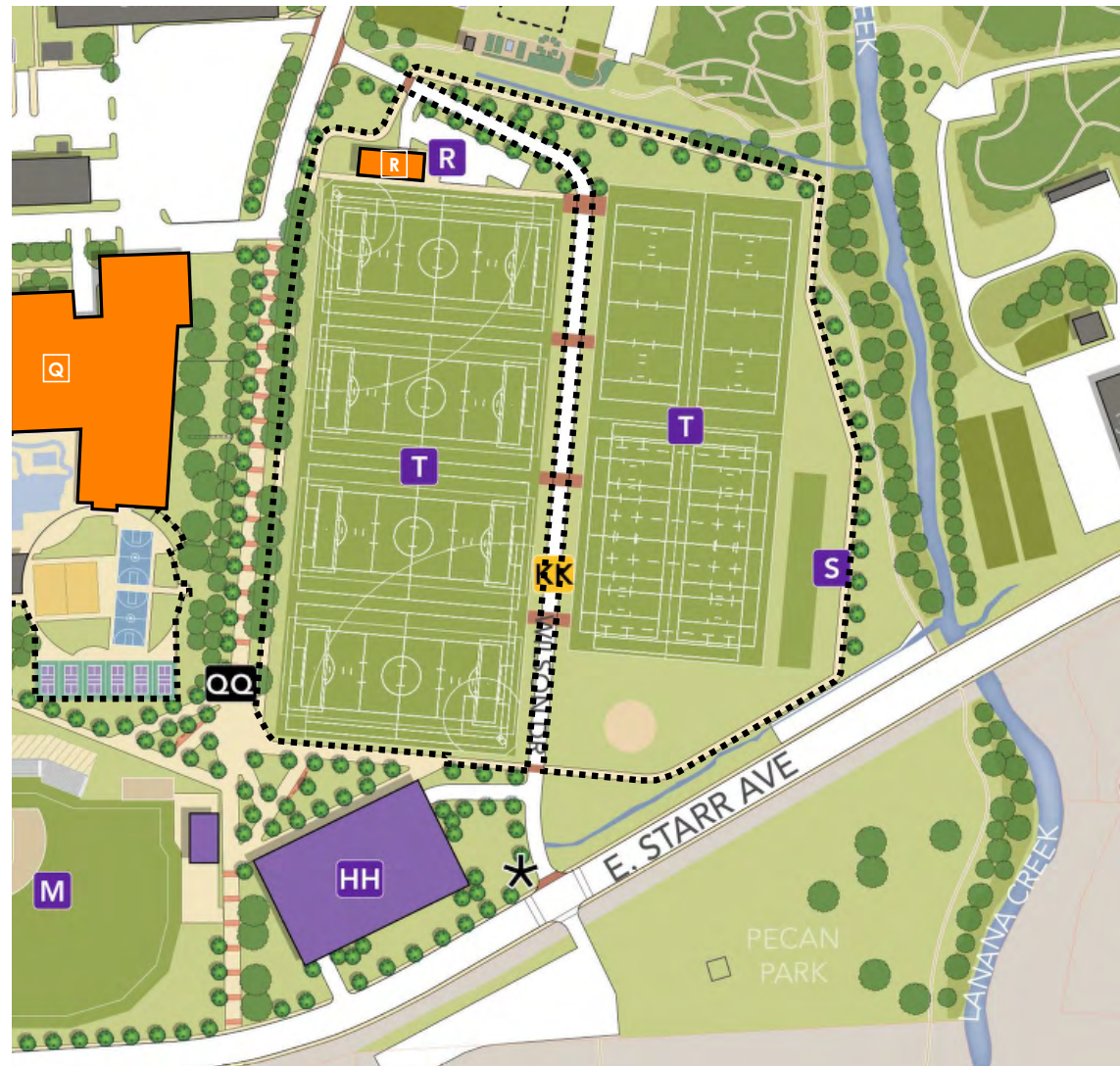
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## RECREATION FIELDS

### INTRAMURAL / COMPETITIVE SPORTS FIELDS

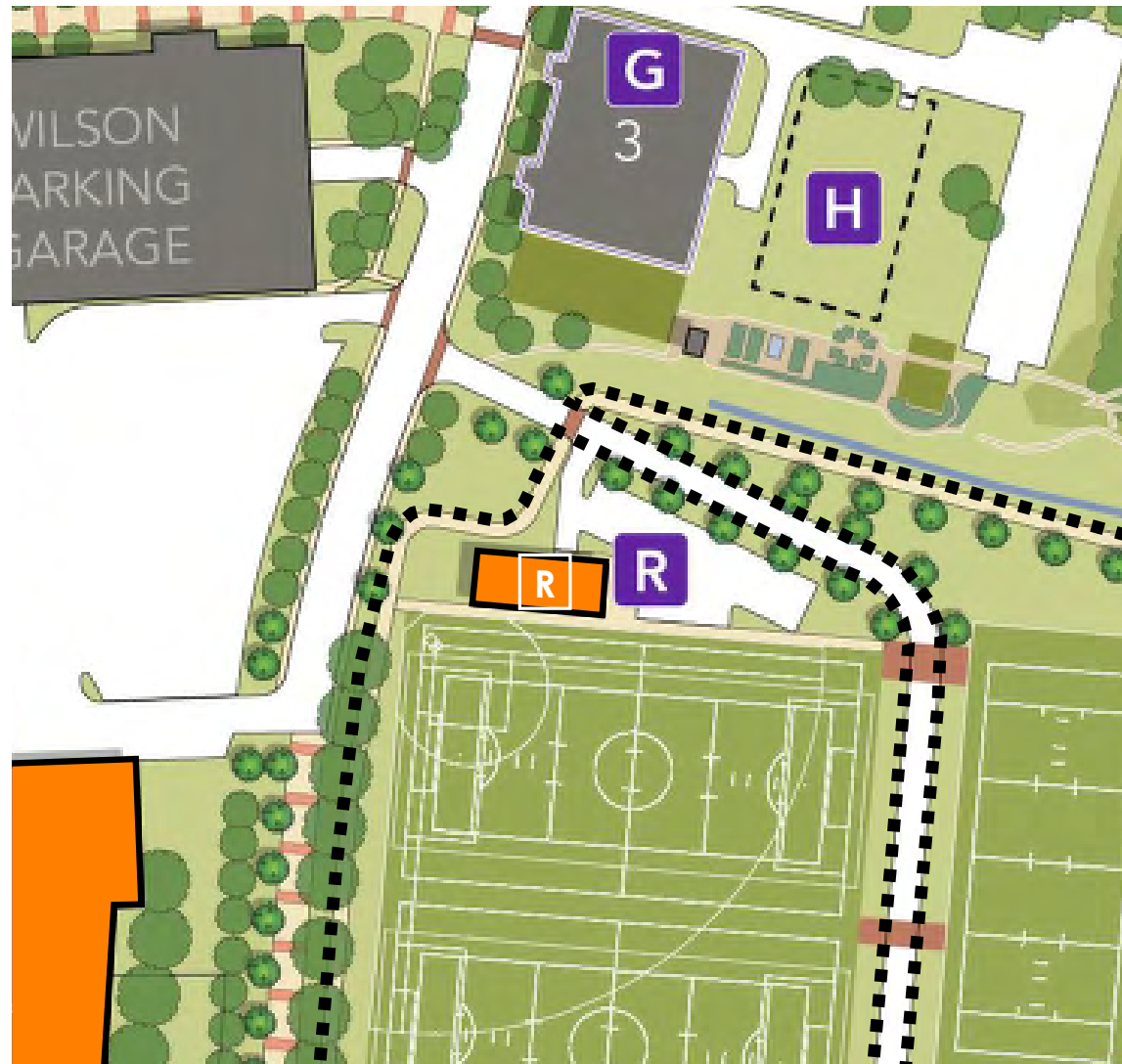
The current intramural, competitive sports, and recreation fields do not meet the baseline needs for Campus Recreation, with limitations in field size, quantity, usage hours, field type and flooding. To increase usability within the floodplain, the 318,200 GSF of synthetic turf for soccer, softball, and flag football located west of the new and relocated Wilson Drive will be elevated and fenced, providing a flexible, durable surface that is easier to maintain and remains playable during and after inclement weather. An additional 216,000 GSF of natural grass will accommodate rugby and flag football. Field lighting and scoreboards are also added. These upgrades will improve field availability, enhance playability, and support a wider range of campus recreational activities. Together, the synthetic and natural fields address current deficiencies and enhance the overall functionality of Campus Recreation facilities.



Map 7. Recreation Fields

## RECREATION SUPPORT: FIELD SERVICES BUILDING

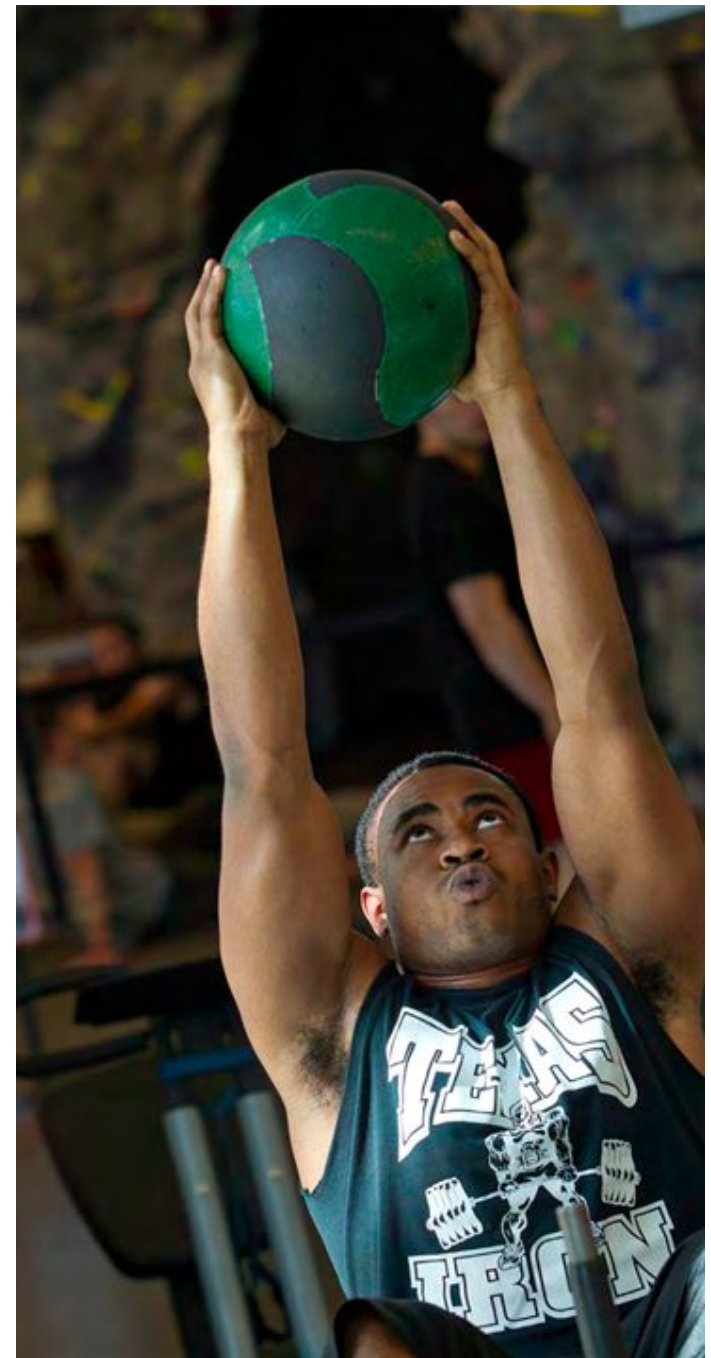
The 4,000 GSF building will provide public restrooms, expanded storage, and parking for the adjacent upgraded field complex. Storage with divisible cages will give a home to soccer, softball, and rugby equipment. Space for an ice machine, water stations, mowers, and a fenced outdoor equipment area is provided. With increased participation from weekly users and sports clubs, there is a clear need for enhanced site circulation and amenities to support both students and spectators, ensuring a functional and accessible recreation environment.



Map 8. Field Services Building

## FIELD SERVICES BUILDING PROGRAM

| Building Function / Space   | Unit     | Area   | Extension       | Comments                      |
|---|----------|--------|-----------------|-------------------------------|
| <b>1.00 Circulation</b>   |          | w/GSF  |                 |                               |
| <b>2.00 Public Space</b>  |          |        | <b>555 SF</b>   |                               |
| Entry Lobby   | 1        | 200    | 200 SF          |                               |
| Public Restroom(s)  |          |        |                 |                               |
| Mens  | 1        | 125 SF | 125 SF          | Could be enlarged for Bonfire |
| Womens  | 1        | 150 SF | 150 SF          | Could be enlarged for Bonfire |
| Single Occupancy  | 1        | 80 SF  | 80 SF           |                               |
| <b>3.00 Athletics</b>   |          |        |                 |                               |
| <b>4.00 Recreation</b>  |          |        |                 |                               |
| <b>4.01 Field Services</b>  |          |        | <b>2,300 SF</b> |                               |
| Office / Workspace for Field Monitor                              | 2        | 100    | 200 SF          |                               |
| First Aid   | 1        | 100    | 100 SF          |                               |
| Storage   | 1        | 2,000  | 2,000 SF        | Divisible per IM/Comp Sport   |
| <b>5.00 Recreation</b>  |          |        |                 |                               |
| <b>6.00 Utilities</b>   |          | w/GSF  |                 |                               |
| <b>7.00 Building Support Spaces</b>                               |          | w/GSF  |                 |                               |
| <b>Total Net Square Footage</b>                                   |          |        | <b>2,855 SF</b> |                               |
| <b>Building Factor - Circulation / Utilities / Shafts / Walls</b> |          | 30%    | <b>1,228 SF</b> |                               |
| <b>Total Gross Square Footage</b>                                 |          |        | <b>4,083 SF</b> |                               |
| <b>8.00 Outdoor Athletic Facilities</b>                           |          |        |                 |                               |
| <b>8.01 Intramural / Comp Sports</b>                              |          |        |                 |                               |
| Natural Grass Field   | 1 Area   |        | 216,000 SF      |                               |
| Synthetic Turf Field  | 1 Area   |        | 318,200 SF      |                               |
| Ropes Challenge Course  | 1 Area   |        | 15,000 SF       |                               |
| Jogging Track   |          |        |                 |                               |
| Fencing around Turf   |          |        |                 |                               |
| Sports Lighting   | 20 Poles |        |                 |                               |
| Scoreboard  | 4 Board  |        |                 |                               |
| Sound / PA System   |          |        |                 |                               |





## STUDENT RECREATION CENTER RENOVATION AND ADDITION

This project expands the facility from approximately 79,000 to approximately 113,000 GSF. The outdoor aquatics area will be renovated. A new wellness suite will provide a space for holistic wellness, massage, rest, and recovery. Recreation upgrades include adding 6 outdoor pickleball courts and an indoor multi-activity court (MAC) for flexible indoor programming. Weights and functional fitness areas are expanded, a climbing social space is created with dedicated bouldering, outdoor fitness facilities are enhanced, and the jogging track extended, creating a more versatile, user-focused environment.



Figure 18. Proposed Student Recreation Center

## STUDENT RECREATION CENTER PROGRAM

| Building Function / Space      | Exstg Area       | Unit | Area     | Extension        | Comments |
|--------------------------------|------------------|------|----------|------------------|----------|
| <b>1.00 Circulation</b>        | <b>5,726 SF</b>  |      |          | <b>7,081 SF</b>  |          |
| Circulation                    | 4,801 SF         | 1    | 6,156 SF | 6,156 SF         |          |
| Vertical Circulation           | 925 SF           | 1    | 925 SF   | 925 SF           |          |
| <b>2.00 Public Space</b>       | <b>4,589 SF</b>  |      |          | <b>5,293 SF</b>  |          |
| Lobby                          | 2,526 SF         | 1    | 2,526 SF | 2,526 SF         |          |
| Lobby Extension                | 704 SF           | 2    | 704 SF   | 1,408 SF         |          |
| <b>Restroom(s)</b>             |                  |      |          |                  |          |
| Mens                           | 566 SF           | 1    | 566 SF   | 566 SF           |          |
| Womens                         | 746 SF           | 1    | 746 SF   | 746 SF           |          |
| Single Occupancy               | 47 SF            | 1    | 47 SF    | 47 SF            |          |
| <b>3.00 Athletics</b>          | <b>0 SF</b>      |      |          | <b>0 SF</b>      |          |
| <b>4.00 Recreation</b>         | <b>57,821 SF</b> |      |          | <b>90,245 SF</b> |          |
| <b>4.01 Locker Room</b>        | <b>3,217 SF</b>  |      |          | <b>3,217 SF</b>  |          |
| <b>Women's Locker Room</b>     |                  |      |          |                  |          |
| Wet Area                       | 401 SF           | 1    | 401 SF   | 401 SF           |          |
| Locker Room                    | 1,178 SF         | 1    | 1,178 SF | 1,178 SF         |          |
| <b>Men's Locker Room</b>       |                  |      |          |                  |          |
| Wet Area                       | 363 SF           | 1    | 363 SF   | 363 SF           |          |
| Locker Room                    | 1,138 SF         | 1    | 1,138 SF | 1,138 SF         |          |
| Single Toilet / Shower         | 137 SF           | 1    | 137 SF   | 137 SF           |          |
| Lifeguard Changing Room        | 56 SF            | 1    | 56 SF    | 56 SF            |          |
| <b>4.02 Offices</b>            | <b>3,935 SF</b>  |      |          | <b>3,935 SF</b>  |          |
| Reception                      | 449 SF           | 1    | 449 SF   | 449 SF           |          |
| Admin Office(s)                | 1,101 SF         | 1    | 1,101 SF | 1,101 SF         |          |
| Additional Office              |                  | 1    | 0 SF     | 0 SF             |          |
| Staff Area                     | 511 SF           | 1    | 511 SF   | 511 SF           |          |
| Lifeguard Office(s)            | 221 SF           | 1    | 221 SF   | 221 SF           |          |
| Aquatic Director(s)            | 128 SF           | 1    | 128 SF   | 128 SF           |          |
| Outdoor Rec                    | 520 SF           | 1    | 520 SF   | 520 SF           |          |
| Climbing Office/Check/Issue    | 107 SF           | 1    | 107 SF   | 107 SF           |          |
| Sports Programs                | 101 SF           | 1    | 101 SF   | 101 SF           |          |
| Conference Room(s)             | 378 SF           | 1    | 378 SF   | 378 SF           |          |
| Work Room(s)                   | 221 SF           | 1    | 221 SF   | 221 SF           |          |
| Staff Locker Space - Wet & Dry | 198 SF           | 1    | 198 SF   | 198 SF           |          |
| Office Renovation              | 528 SF           | 1    | 528 SF   | 528 SF           |          |
| <b>4.03 Fitness</b>            | <b>21,246 SF</b> |      |          | <b>32,106 SF</b> |          |
| <b>Weights</b>                 |                  |      |          |                  |          |
| Strength                       | 5,468 SF         | 1    | 4,868 SF | 4,868 SF         |          |
| Free                           | 2,823 SF         | 1    | 1,879 SF | 1,879 SF         |          |
| Fitness Addition               |                  | 1    | 8,504 SF | 8,504 SF         |          |
| Stretching / Core              | 902 SF           | 1    | 902 SF   | 902 SF           |          |
| Cardio Equipment               | 2,972 SF         | 1    | 2,972 SF | 2,972 SF         |          |
| Cardio Addition                |                  | 1    | 1,650 SF | 1,650 SF         |          |
| Jogging Track                  | 8,342 SF         | 1    | 8,342 SF | 8,342 SF         |          |
| Jogging Track Extension        |                  | 1    | 2,250 SF | 2,250 SF         |          |
| Personal Training              | 739 SF           | 1    | 739 SF   | 739 SF           |          |
| Functional Fitness Turf        | 2,322 SF         | 1    | 2,322 SF | 2,322 SF         |          |
| <b>4.04 Indoor Recreation</b>  | <b>25,173 SF</b> |      |          | <b>45,942 SF</b> |          |
| Welcome Desk / Control         | 224 SF           | 1    | 224 SF   | 224 SF           |          |
| Lounge / Passive Rec           | 959 SF           | 1    | 1,650 SF | 1,650 SF         |          |
| Student Hub                    | 498 SF           | 1    | 498 SF   | 498 SF           |          |
| Equipment Checkout             | 224 SF           | 1    | 224 SF   | 224 SF           |          |

| Building Function / Space                    | Exstg Area       | Unit | Area      | Extension         | Comments        |
|--|------------------|------|-----------|-------------------|-----------------|
| <b>Indoor Courts</b>                         |                  |      |           |                   |                 |
| Bball / VBall / Open Gym                     | 13,522 SF        | 1    | 13,522 SF | 13,522 SF         |                 |
| Multi-Activity Court (MAC)                   |                  | 1    | 15,000 SF | 15,000 SF         |                 |
| Bench / Seating                              |                  | 1    | 1,000 SF  | 1,000 SF          |                 |
| Seating / Lounge                             |                  | 1    | 1,000 SF  | 1,000 SF          |                 |
| Handball / Racquetball                       | 1,592 SF         | 1    | 1,592 SF  | 1,592 SF          |                 |
| Climbing                                     | 1,189 SF         | 1    | 1,189 SF  | 1,189 SF          |                 |
| CW Viewing / Seating                         |                  | 1    | 400 SF    | 400 SF            |                 |
| Bouldering Renovation                        |                  | 1    | 1,000 SF  | 1,000 SF          |                 |
| Outdoor Center                               | 1,072 SF         | 1    | 1,072 SF  | 1,072 SF          |                 |
| Outdoor Storage & Repair                     |                  | 1    | 650 SF    | 650 SF            | Exterior Access |
| GX - Multipurpose Studio(s)                  | 4,743 SF         | 1    | 4,743 SF  | 4,743 SF          |                 |
| Meeting / Classroom                          | 1,150 SF         | 1    | 1,150 SF  | 1,150 SF          |                 |
| Wellness                                     |                  | 1    | 1,028 SF  | 1,028 SF          |                 |
| E-Sports                                     |                  | 1    | 1,028 SF  | 1,028 SF          |                 |
| <b>4.05 Recreation Support</b>               | <b>4,250 SF</b>  |      |           | <b>5,045 SF</b>   |                 |
| Aquatics Storage                             | 720 SF           | 1    | 720 SF    | 720 SF            |                 |
| Recreation Storage                           | 1,197 SF         | 1    | 1,197 SF  | 1,197 SF          |                 |
| Storage Addition                             |                  | 1    | 795 SF    | 795 SF            |                 |
| Laundry                                      | 440 SF           | 1    | 440 SF    | 440 SF            |                 |
| Maintenance                                  | 1,211 SF         | 1    | 1,211 SF  | 1,211 SF          |                 |
| Intramural Storage                           | 682 SF           | 1    | 682 SF    | 682 SF            |                 |
| Comp Sports Storage                          |                  |      |           |                   |                 |
| <b>5.00 Academics</b>                        | <b>0 SF</b>      |      |           | <b>0 SF</b>       |                 |
| <b>6.00 Utilities</b>                        | <b>5,501 SF</b>  |      |           | <b>5,501 SF</b>   |                 |
| <b>7.00 Building Support Spaces</b>          | <b>0 SF</b>      |      |           | <b>0 SF</b>       |                 |
| <b>Total Net Athletics Square Footage</b>    | <b>SF</b>        |      |           | <b>0 SF</b>       |                 |
| <b>Total Net Recreation Square Footage</b>   | <b>57,821 SF</b> |      |           | <b>90,245 SF</b>  |                 |
| <b>Total Net Square Footage</b>              | <b>73,637 SF</b> |      |           | <b>108,120 SF</b> |                 |
| Building Factor - Misc Circ / Shafts / Walls | 5,118 SF         |      | 4%        | 4,634 SF          |                 |
| <b>Total Gross Square Footage</b>            | <b>78,755 SF</b> |      |           | <b>112,754 SF</b> |                 |

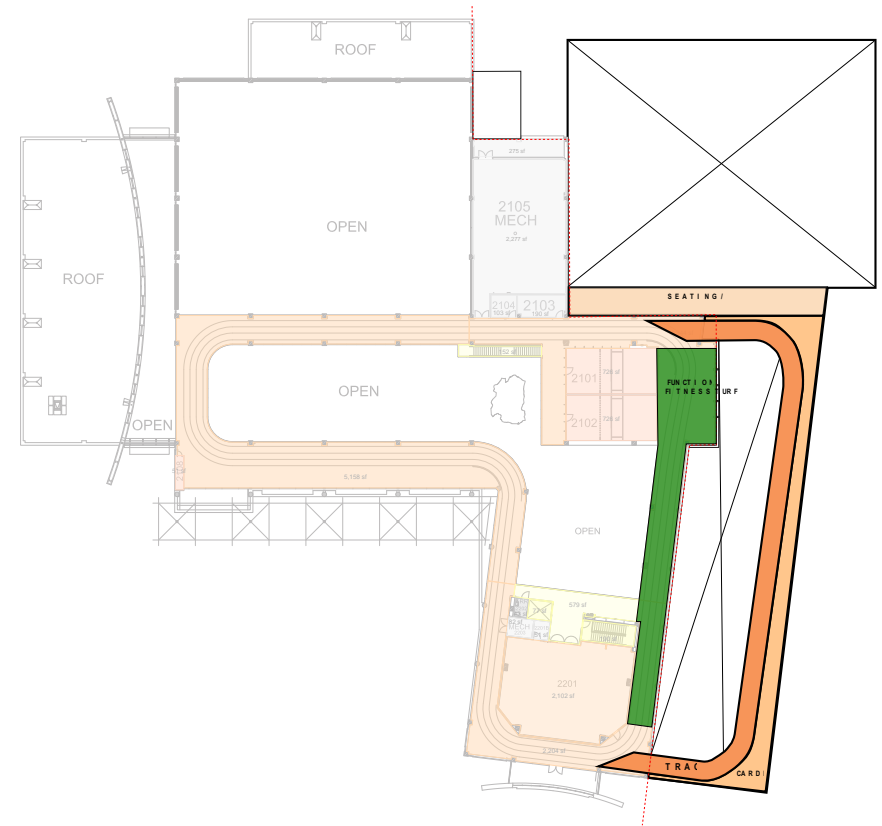
|                        |                       |                      |                        |               |                    |
|------------------------|-----------------------|----------------------|------------------------|---------------|--------------------|
| Athletic Court / Field | Athletic/Rec Locker   | Athletic Training    | Academic/Meeting       | Recreation    | Rec - Group Studio |
| Athletic Venue Support | Athletic Team Support | Storage/Bldg Support | Academic/Mtg Support   | Rec Support   | Natorium           |
| Athletic Spectator     | Athletic Staff Locker | Restrooms            | Offices/Administration | Track         | Circulation        |
|                        |                       |                      | HOF /Lobby             | Rec - Fitness | Unknown            |

## STUDENT RECREATION CENTER FLOOR PLANS



Figure 19. SRC - Level 1 Floor Plan

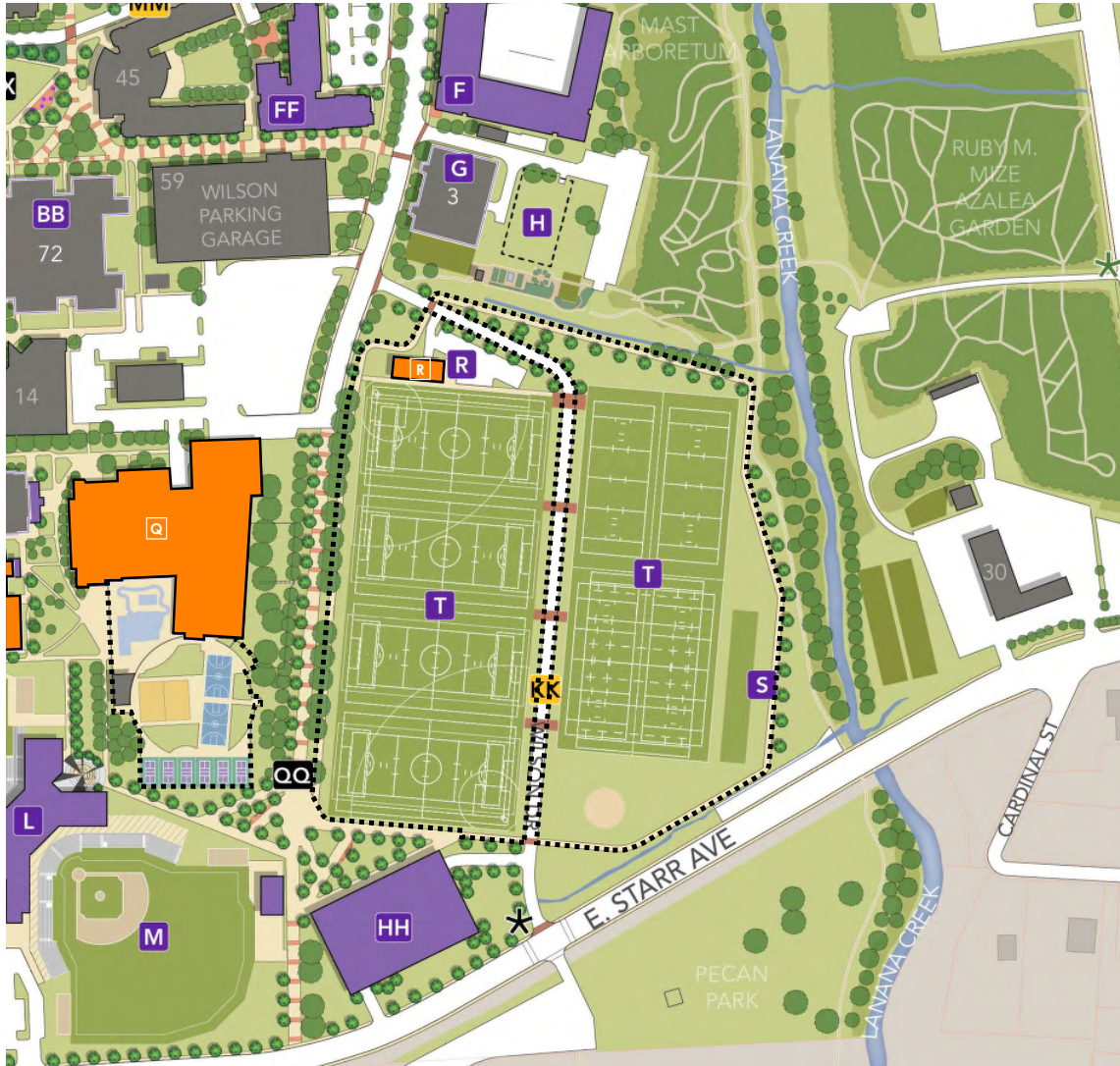
Scale: N.T.S. 





## LOOP TRAIL AND CHALLENGE COURSE

The 12-foot wide asphalt trail covering 37,550 GSF, loops around the Recreation Fields and provides access to a Challenge Course with a program footprint of 15,000 SF. The loop trail will be used by the entire Nacogdoches community, while the Challenge Course will focus on student organizations, academic programs, and professional groups, featuring potential items like low-ropes courses at ground level and high-ropes elements, including a 30-foot elevated rope course, crate stacking, and a climbing wall for more physically challenging activities.



## Map 9. Loop Trail and Challenge Course



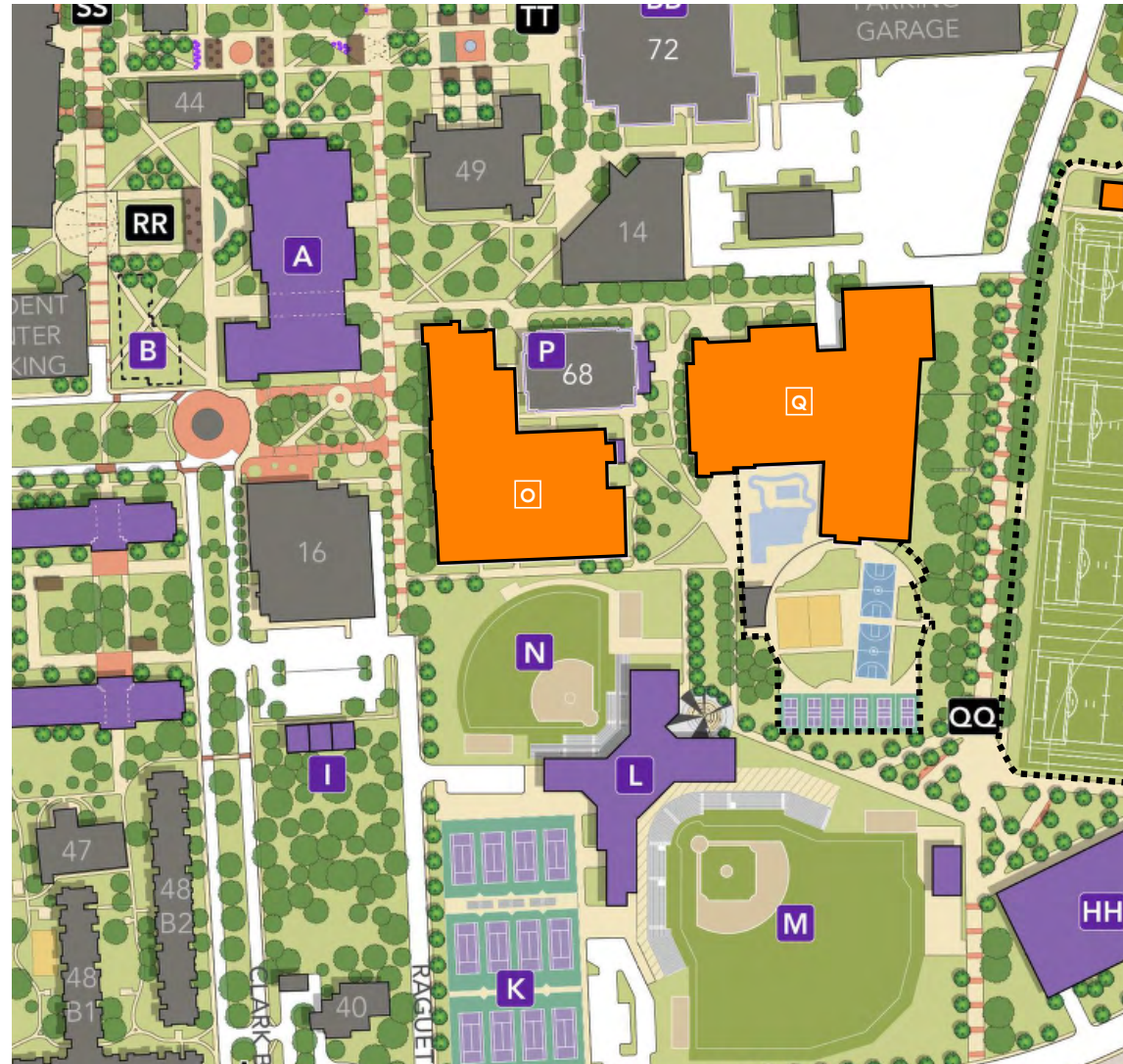


**Figure 21.** Precedent Image of walking trail along Lanana Creek



## NORTON HPE COMPLEX RENOVATION & ADDITION

The proposed HPE facility renovation includes a new entry on the east near the existing staircase, improving access and circulation. Recreation upgrades feature an enhanced fitness center with a powerlifting zone, expanded group and yoga studios, a new spin studio, multipurpose studios, and renovated locker rooms for men and women. Athletics improvements include new locker rooms for visiting athletes and coaches who are competing in Shelton and on the south athletics field/courts. Academic upgrades focus on revitalizing kinesiology spaces. The gym and pool will also be upgraded to address acoustical and aesthetic issues, and gym spaces will be upgraded to better support the cheer and dance programs, ensuring the facility serves the entire campus more effectively.



**Map 10.** Norton HPE Complex Renovation & Addition

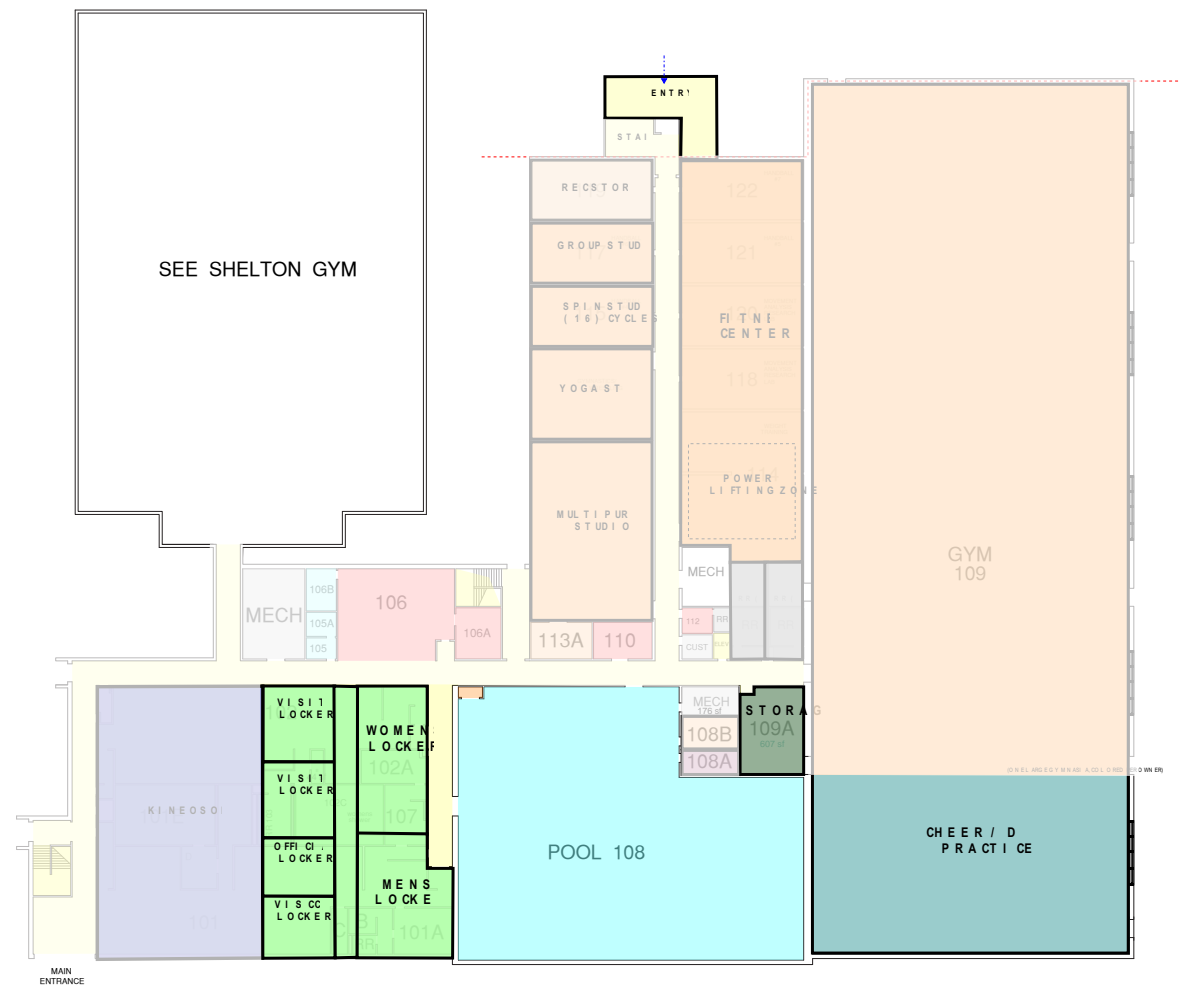


## NORTON HPE COMPLEX PROGRAM

| Building Function / Space                 | Exstg Area       | Unit | Area      | Extension        |
|---|------------------|------|-----------|------------------|
| <b>1.00 Circulation</b>                   | <b>12,253 SF</b> |      |           | <b>12,253 SF</b> |
| Circulation                               | 10,709 SF        | 1    | 10,709 SF | 10,709 SF        |
| Vertical Circulation                      | 1,544 SF         | 1    | 1,544 SF  | 1,544 SF         |
| <b>2.00 Public Space</b>                  | <b>803 SF</b>    |      |           | <b>300 SF</b>    |
| Lobby                                     |                  | 1    | 300 SF    | 300 SF           |
| Public Restroom(s)                        |                  |      |           |                  |
| Mens Urinals / Water Closets              | 373 SF           | 1    | 573 SF    | 573 SF           |
| Womens Water Closets                      | 387 SF           | 1    | 587 SF    | 587 SF           |
| Single Occupancy                          | 43 SF            | 1    | 123 SF    | 123 SF           |
| <b>3.00 Athletics</b>                     | <b>8,751 SF</b>  |      |           | <b>8,546 SF</b>  |
| <b>3.03 Team Locker Rooms</b>             | <b>2,625 SF</b>  |      |           | <b>2,020 SF</b>  |
| <b>Visiting Team Locker Room</b>          |                  |      |           |                  |
| Locker & Wet Room - Volleyball 01         | 2,625 SF         | 20   | 30 SF     | 600 SF           |
| Locker & Wet Room - Volleyball 02         |                  | 20   | 30 SF     | 600 SF           |
| <b>Visiting Coaches Locker Room</b>       |                  |      |           |                  |
| Locker Area - Open Shared                 |                  | 6    | 20        | 120 SF           |
| Single Occupancy - Wet Area               |                  | 3    | 100       | 300 SF           |
| <b>Officials Locker Room</b>              |                  |      |           |                  |
| Locker Area - Open Shared                 |                  | 4    | 20        | 80 SF            |
| Single Occupancy - Wet Area               |                  | 2    | 100       | 200 SF           |
| Lounge                                    |                  | 4    | 30        | 120 SF           |
| <b>3.07 Indoor Practice Field / Court</b> | <b>6,126 SF</b>  |      |           | <b>6,526 SF</b>  |
| Cheer / Dance                             | 6,126 SF         | 1    | 6,126 SF  | 6,126 SF         |
| Cheer / Dance Storage                     | 607 SF           | 1    | 400       | 400 SF           |
| <b>4.00 Recreation</b>                    | <b>24,525 SF</b> |      |           | <b>29,949 SF</b> |
| <b>4.01 Locker Room</b>                   | <b>2,625 SF</b>  |      |           | <b>2,400 SF</b>  |
| <b>Women's Locker Room</b>                | 1,313 SF         |      |           |                  |
| Locker & Wet Room - General               |                  | 60   | 20 SF     | 1,200 SF         |
| <b>Men's Locker Room</b>                  |                  |      |           |                  |
| Locker & Wet Room - General               | 1,313 SF         | 60   | 20 SF     | 1,200 SF         |
| <b>Single Toilet / Shower</b>             |                  |      |           |                  |
| <b>4.02 Offices</b>                       | <b>151 SF</b>    |      |           | <b>151 SF</b>    |
| Lifeguard Office(s)                       | 151 SF           | 1    | 151 SF    | 151 SF           |
| <b>4.03 Fitness</b>                       | <b>2,267 SF</b>  |      |           | <b>5,467 SF</b>  |
| <b>Weights</b>                            |                  |      |           |                  |
| Strength                                  | 2,267 SF         | 1    | 2,267 SF  | 2,267 SF         |
| Added Weights / Strength / Cardio         |                  | 1    | 3,200 SF  | 3,200 SF         |
| <b>4.04 Indoor Recreation</b>             | <b>18,964 SF</b> |      |           | <b>20,613 SF</b> |
| Welcome Desk / Control                    |                  | 1    | 100 SF    | 100 SF           |
| Lounge / Passive Rec                      |                  | -    | 200 SF    |                  |
| Indoor Aquatics                           | 9,187 SF         | 1    | 9,187 SF  | 9,187 SF         |
| <b>Indoor Courts</b>                      |                  |      |           |                  |
| Bball / VBall / Open Gym                  | 6,126 SF         | 1    | 6,126 SF  | 6,126 SF         |

| Building Function / Space                    | Exstg Area        | Unit | Area     | Extension         |
|--|-------------------|------|----------|-------------------|
| Handball / Racquetball                       |                   |      |          |                   |
| Climbing                                     | 1,851 SF          |      |          |                   |
| GX - Multipurpose Studio(s) Large            |                   | 1    | 2,400 SF | 2,400 SF          |
| GX - Multipurpose Studio(s) Small            |                   | 2    | 800 SF   | 1,600 SF          |
| GX - Yoga                                    |                   | 1    | 1,200 SF | 1,200 SF          |
| GX - Martial Arts                            | 1,800 SF          |      |          |                   |
| <b>4.05 Recreation Support</b>               | <b>519 SF</b>     |      |          | <b>1,319 SF</b>   |
| Aquatics Storage                             | 232 SF            | 1    | 232 SF   | 232 SF            |
| Recreation Storage                           | 287 SF            | 1    | 287 SF   | 287 SF            |
| Intramural Storage                           |                   |      |          |                   |
| Competitive Sports Storage                   |                   | 1    | 800 SF   | 800 SF            |
| <b>5.00 Academics</b>                        | <b>38,758 SF</b>  |      |          | <b>39,567 SF</b>  |
| Added Kinesiology Space                      |                   | 1    | 5,000    | 5,000 SF          |
| Subtracted Kinesiology Space                 |                   | 1    | (4,191)  | -4,191 SF         |
| <b>6.00 Utilities</b>                        | <b>5,183 SF</b>   |      |          | <b>5,183 SF</b>   |
| <b>7.00 Building Support Spaces</b>          | <b>13,307 SF</b>  |      |          | <b>13,307 SF</b>  |
| <b>Total Net Athletics Square Footage</b>    | <b>8,751 SF</b>   |      |          | <b>8,546 SF</b>   |
| <b>Total Net Recreation Square Footage</b>   | <b>24,525 SF</b>  |      |          | <b>29,949 SF</b>  |
| <b>Total Net Square Footage</b>              | <b>103,581 SF</b> |      |          | <b>109,105 SF</b> |
| Building Factor - Misc Circ / Shafts / Walls | 29,770 SF         |      | 19%      | 25,445 SF         |
| <b>Total Gross Square Footage</b>            | <b>133,350 SF</b> |      |          | <b>134,550 SF</b> |

# **NORTON HPE COMPLEX FLOOR PLAN**



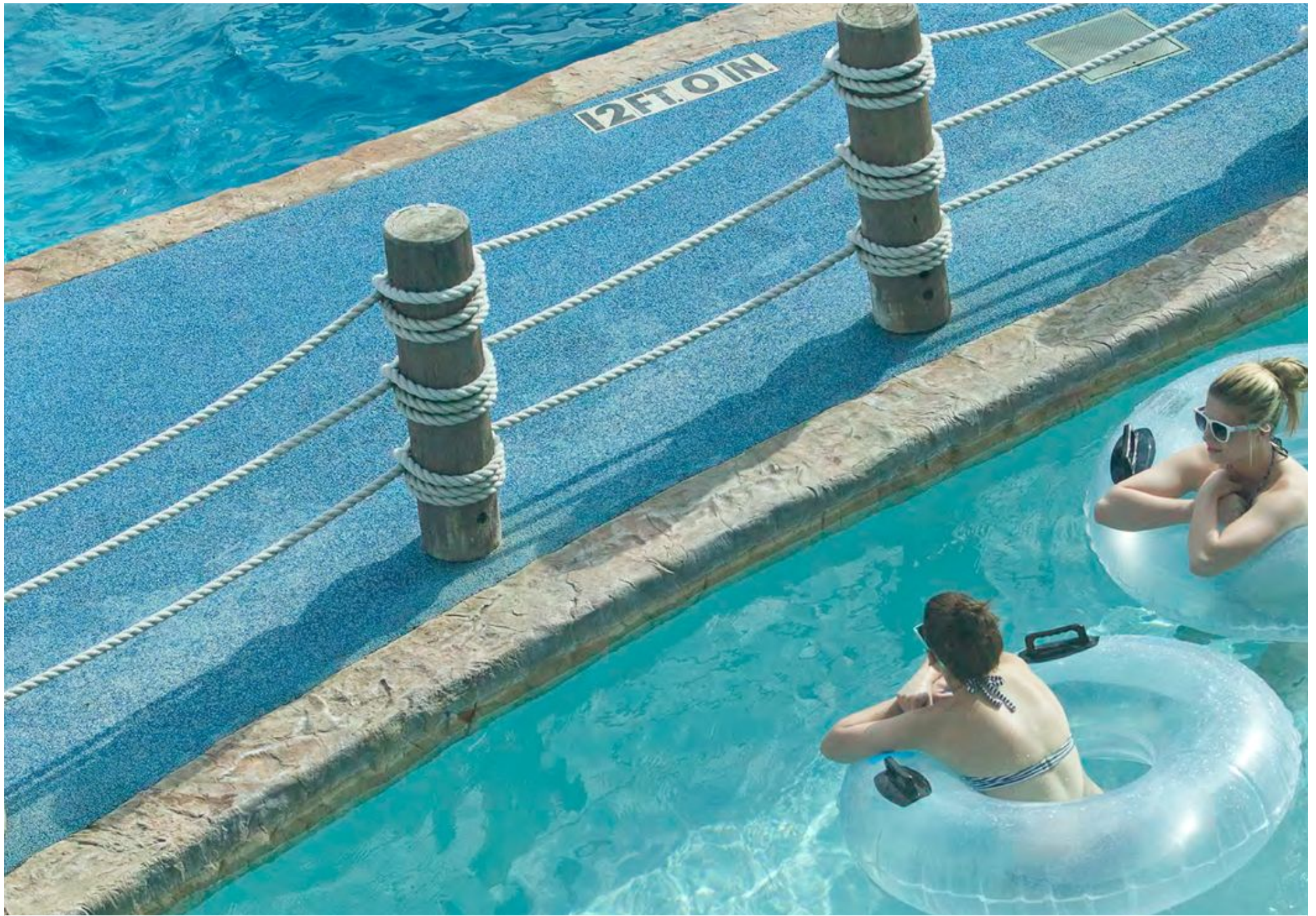
**Figure 22.** Norton HPE Complex Level 1 Floor Plan

Scale: N.T.S. 



**Figure 23.** Proposed Norton HPE Complex









# SCHEDULE

# SCHEDULE

The phased project schedule provides the University with a clear framework to plan, secure funding, and obtain approvals for future recreation facility improvements. The durations for planning, design/production, and construction were established in coordination with the University. Prioritization was developed collaboratively with University leadership to ensure alignment with institutional goals, programmatic urgency, operational efficiency, student impact, and long-term participation growth. Short-term

phase (0–5 year) investments target the most immediate needs, including deficiencies in outdoor fields. The mid-term phase (6–10 years) continues the momentum by focusing on the renovation and expansion of the Student Recreation Center and Norton HPE Complex. Following these initiatives, efforts will focus on enhancing shared recreational facilities and broadening outdoor amenities including the Recreation Fields Services Building, and the Loop Trail and Challenge Course.

| CAMPUS RECREATION MASTER PLAN IMPLEMENTATION SCHEDULE |      |    |    |    | SHORT-TERM |    |    |    |
|---|------|----|----|----|------------|----|----|----|
| Facilities  | 2026 |    |    |    | 2027       |    |    |    |
|   | 1Q   | 2Q | 3Q | 4Q | 1Q         | 2Q | 3Q | 4Q |
|   |      |    |    |    |            |    |    |    |
| Recreation Fields - Intramural & Competitive Sports   |      |    |    |    |            |    |    |    |
|   |      |    |    |    |            |    |    |    |
| Recreation Support - Field Services Building          |      |    |    |    |            |    |    |    |
|   |      |    |    |    |            |    |    |    |
| Student Recreation Center Renovation & Addition       |      |    |    |    |            |    |    |    |
|   |      |    |    |    |            |    |    |    |
| Loop Trail and Challenge Course                       |      |    |    |    |            |    |    |    |
|   |      |    |    |    |            |    |    |    |
| Norton HPE Complex Renovation & Addition              |      |    |    |    |            |    |    |    |
|   |      |    |    |    |            |    |    |    |

*Note: Projects can slide within phase window*



## CONSTRUCTION PHASES

With recreation facilities distributed across South Campus and serving multiple activities, the work can be constructed in phased sequences allowing Campus Recreation to maintain continuous operations during construction. Concurrent phasing of facility renovations would be scheduled to minimize disruption to student programming, intramural leagues, club sports, and general membership activities. The following construction strategy should be employed:

- Early Bid Package(s) for site preparation, rough grading, demolition (if required), site utilities, and field subgrade work.
- Intramural and competitive sports field construction with raised synthetic turf on west side of the relocated Wilson Drive and natural grass fields to the east.
- Recreation Support Field Services Building construction will follow field development.
- Norton HPE Complex and Student Recreation Center expansion and renovation work phased across 6-10 years duration to serve recreation, athletics and academic programs.
- Loop Trail and Challenge Course developed in coordination with outdoor recreation programming schedules.

COLOR LEGEND

- Planning

 Design & Production

Construction

[illegible]

# APPENDIX E

## UTILITY MASTER PLAN



# EXISTING UTILITIES

## ELECTRICAL

The campus electrical system at SFA consists of three main circuits that are labeled as the Red, Green and Blue circuits. Each circuit powers the facilities in its respective area. The Red circuit is found on the southeast side of campus and powers most of the campus' heating and cooling. It also includes high load requirements such as the power plant transformers and the Cole STEM building. Despite its demand, it is appropriately sized. The Red circuit is the one with the heaviest demand load. The Green circuit is centralized on campus, but it also reaches southward and eastward. Its current load takes up to 24.9% of its available load. The Blue circuit is the largest of the three circuits. It covers the north and the west side of the campus. It incorporates several sized wires, but due to this, it also includes several chokepoints which negatively affect performance. The Blue circuit uses 60.9% of the available load, making this the circuit with the highest usage percentage. The information about the three circuits was provided by EMA Engineering and Consulting, Inc. through a report on the electrical facility assessment for SFA. The report was based on findings from 2023.

SFA's powerlines are both overhead and underground, with 90% of the powerlines being buried underground. The overhead lines are found in three main areas. The first line transitions from underground to overhead at the corner of Wettermark St. and Raguet St. It leads north along Raguet St. and turns east to the Stadium Fieldhouse. The portion of the overhead

Map 1. Main Circuits





line along Raguet St. shares its line connection and poles with Oncor. The second overhead line stretches along E. College St., beginning at the SFA University Health Services Building to the Physical Power Plant. The line then runs south, between the Physical Power Plant and Oncor's Substation. This part of the overhead lines shares the electrical poles with Oncor's overhead lines. The power line then continues to run along the east side of the Art Building, taking another turn west after clearing the Agriculture Greenhouses. The overhead line transitions into underground connections at the first electrical manhole found southwest of the Agriculture Building. The third overhead line stretches alongside Carolyn St., starting from the west corner of the Mech 15-18 Building and ending at the corner of the South Hall building, where it transitions to underground lines. These overhead powerlines are subject to squirrels and falling trees, which can create dangerous environments for emergency maintenance personnel.

SFA owns and maintains the three transformers which power the Red, Green and Blue circuits which are found in the Oncor Substation on E. College St. They have access to their transformers but maintenance is challenging due to the long lead times for equipment.

**Map 2. Existing Electrical**



## DOMESTIC WATER

The water distribution system on campus consists of public lines from the City of Nacogdoches Water System and a private campus-owned water system. No capital water improvement projects are currently planned for the City-owned lines.

The campus is bound on the south by public 8 to 12-inch mains on E. Starr Avenue, on the east by a public 12-inch main along N. University Drive, on the west by a 6-inch main along North Street, and on the northwest by a public 12-inch main along E. College Street and Raguet Street. An unmetered, 12-inch public line with a reported 20-foot-wide easement used exclusively for fire protection runs from Ruby M. Mize Azalea Garden through the Intramural Fields to Griffith Boulevard, and continues along Baker and Feazell Streets to join the main system. Pipe materials vary (ductile iron, cast iron, PVC) with limited sections of asbestos concrete pipe along E. College Street, E. Starr Avenue and N. University Drive. The line along E. College Street is directly connected to campus and recommended for replacement.

The private campus water distribution system consists of both looped mains and dead-end runs. There are several master meters located throughout campus where the private SFA water system connects to the City's public water system. Irrigation lines and water services to the power plants are sub-metered along the private system. The existing buildings do not have sub-meters on the domestic service lines when located on a private line. It is recommended that all proposed buildings and any existing buildings

undergoing replacement have sub-meters installed to more accurately track usage and detect leaks.

Over time, water lines may experience a range of issues including material degradation, joint failures and pressure-related stress. Figure 1 on page E7 identifies known building age and size, utility service size and categorizes the service recommendations for each building. The service life of the water services can be categorized into three groups:

- **Category 1: 0-20 years**
  - Minor maintenance expected
- **Category 2: 20-50 years**
  - Inspections and section upgrades and/or replacement suggested
- **Category 3: 50+ years**
  - Full-service replacement

For full-service replacements, it is recommended that water service be replaced from the building to the water main and upsized accordingly. Services in Category 3 should be considered high priority. While repair history is not available for each building's services, Figure 1 may be used to identify potential paths to maintenance and future replacement. Previous maintenance history may also provide additional information that alters the suggested service category.

## SANITARY SEWER

The sanitary sewer system consists of private and public lines. The sizes range from 3-inch services to 36-inch main lines. Key collector lines include:

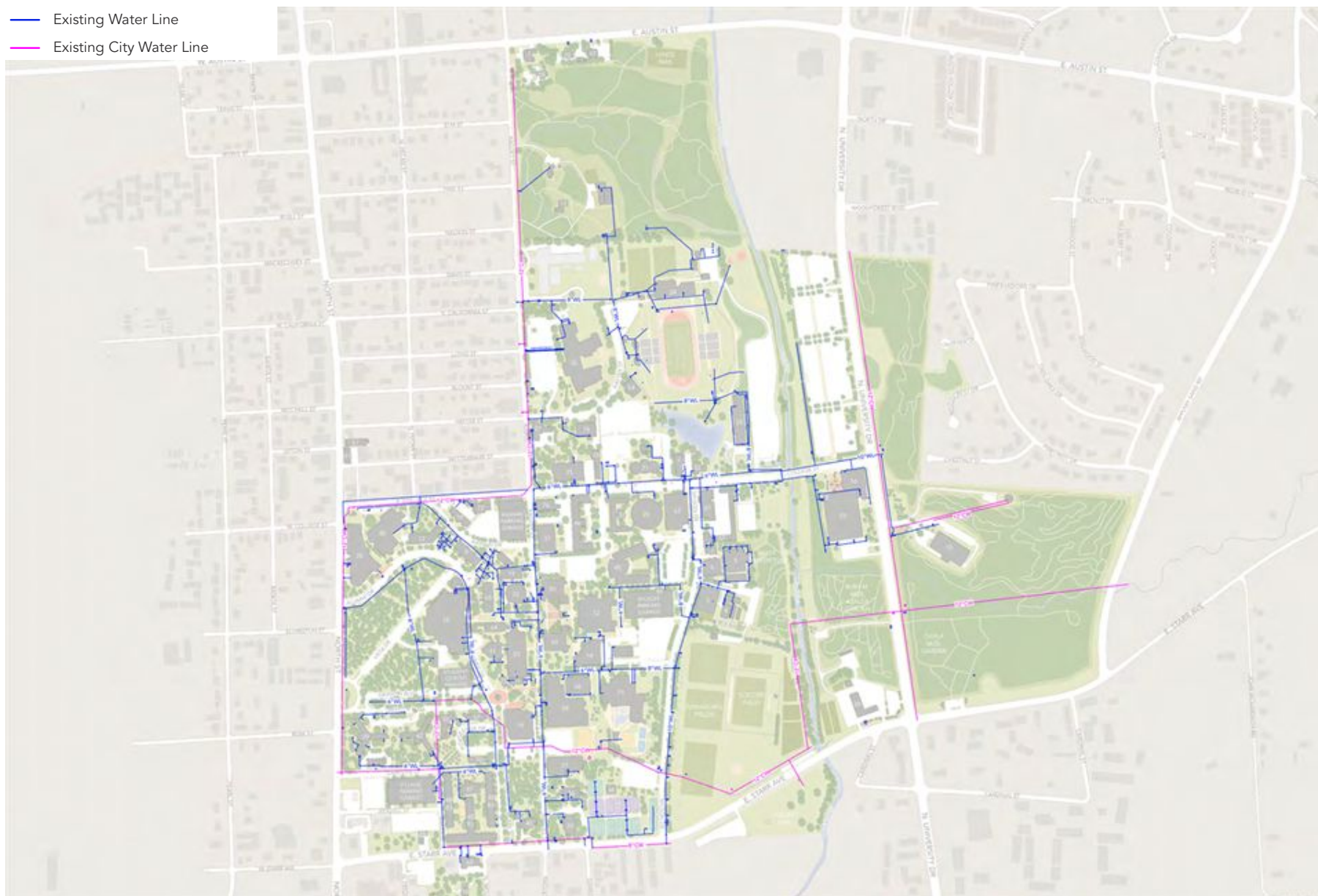
- **8-inch Line:** Runs along Raguet Street and E. College Street to the city line at North Street; serves Childhood Research Center, University Police, Wisely Hall, Boynton, Wright Music and Griffith Fine Arts.
- **15-inch Line:** Runs north of intramural fields and ties into a 24-inch city line; serves Student Recreation, Steen Library, Bush Mathematical Sciences, Shelton Gym, Norton HPE, McGee Business, McKibben Education, Lumberjack Lodge, Human Services, Tucker and Forestry Facilities.
- **15-inch Line:** Runs adjacent to Lanana Creek; serves the Stadium Complex, Hall 20, Steen Hall, Mechanics Shop, Military Science, Hall 16, Physical Plant, Art Studio/Additions and Agriculture Buildings.
- **24-inch Line:** City-owned line which runs adjacent to Lanana Creek; serves the Coliseum and multiple smaller service lines throughout campus.

Two capital sanitary sewer improvement projects are currently planned: replacing the 12-inch collector line behind Raguet Elementary School and upgrading the 24-inch concrete line along Lanana Creek. Additionally, the 8-inch line on Raguet Street has known inflow and infiltration (I/I) issues. A flow test is recommended to assess its impact and potential capacity concerns.


Figure 2 on page E10 shows the estimated flow from each building on campus and indicates preliminary wastewater criteria, which should be used in tandem with future flow testing to identify true capacity of the collector lines.



- Existing Water Line
- Existing City Water Line




**Map 3.** Existing Water Lines

Scale: N.T.S. 





**Map 4.** Existing Sanitary Sewer

Scale: N.T.S. 

**Figure 1.** Existing Water and Sanitary Sewer System

| Building Name/<br>Description       | Domestic<br>Water<br>Service<br>Size | Sanitary<br>Sewer<br>Service<br>Size | Net<br>Assignable<br>Square<br>Footage<br>(NASF) | Year<br>Built | Service<br>Cat. |
|-------------------------------------|--------------------------------------|--------------------------------------|--|---------------|-----------------|
| 1401 Mound Street                   | Unknown                              | Unknown                              | 3,824  | 1921          | 3               |
| 3034 Raguet Street                  | Unknown                              | Unknown                              | 3,238  | 1975          | 3               |
| 514 E. Austin                       | Unknown                              | Unknown                              | 2,912  | 2001          | 2               |
| Agriculture Building                | Unknown                              | (2) - 4"                             | 16,117   | 1977          | 2               |
| Agriculture Greenhouse 1            | Unknown                              | Unknown                              | 4,959  | 1977          | *               |
| Agriculture Greenhouse 2            | Unknown                              | Unknown                              | 2,667  | 1982          | *               |
| Agriculture Headhouse               | Unknown                              | Unknown                              | 1,509  | 1982          | *               |
| Agriculture Mechanics Shop          | (1) - 2"                             | (2) - 2"<br>(1) - 3"<br>(1) - 4"     | 8,176  | 1963          | *               |
| Art Building                        | Unknown                              | Unknown                              | 21,465   | 1982          | *               |
| Art Studio                          | Unknown                              | (2) - 4"                             | 12,539   | 1972          | *               |
| Art Studio Annex                    | Unknown                              | (2) - 4"                             | 2,899  | 1971          | *               |
| Austin Administration Building      | Unknown                              | Unknown                              | 25,260   | 1924          | 3               |
| Baker Patillo Student Center        | Unknown                              | Unknown                              | 107,707  | 1960          | 3               |
| Biology Greenhouse                  | (1) - 1"                             | Unknown                              | 4,328  | 1970          | *               |
| Boynton Building                    | Unknown                              | (2) - 4"                             | 21,715   | 1957          | 3               |
| Bush Mathematical Sciences Building | Unknown                              | Unknown                              | 36,666   | 1983          | 2               |
| Chemistry Storage                   | Unknown                              | Unknown                              | 320  | 1961          | 3               |

\*Not Applicable - to be demolished

\*\*Not Applicable - to be relocated off-site

**Figure 1 (cont.)** Existing Water and Sanitary Sewer System

| Building Name/<br>Description       | Domestic<br>Water<br>Service<br>Size | Sanitary<br>Sewer<br>Service<br>Size | Net<br>Assignable<br>Square<br>Footage<br>(NASF) | Year<br>Built | Service<br>Cat. |
|-------------------------------------|--------------------------------------|--------------------------------------|--|---------------|-----------------|
| Cole Stem Building                  | (1) - 4"                             | (1) - 4"<br>(Grease)<br>(1) - 6"     | 55,308   | 2018          | 1               |
| Dugas Liberal Arts North            | Unknown                              | Unknown                              | 28,381   | 1984          | 2               |
| Early Childhood Research Center     | (1) - 4"                             | Unknown                              | 81,411   | 2009          | 1               |
| East College Cafeteria              | Unknown                              | Unknown                              | 31,776   | 1968          | *               |
| Education Annex                     | Unknown                              | Unknown                              | 17,729   | 1975          | *               |
| Ferguson Building                   | Unknown                              | (1) - 6"                             | 39,660   | 1969          | 3               |
| Fine Arts Annex                     | Unknown                              | Unknown                              | 1,598  | 1950          | 3               |
| Forestry Building                   | Unknown                              | (1) - 6"                             | 29,699   | 1970          | *               |
| Forestry Greenhouse                 | (1) - 2"                             | Unknown                              | 6,968  | 1982          | *               |
| Forestry Laboratories               | Unknown                              | Unknown                              | 6,403  | 1949          | *               |
| Griffith Fine Arts Building         | (1) - 4"                             | (5) - 6"                             | 75,563   | 1959          | 3               |
| Griffith Hall                       | Unknown                              | (2) - 4"<br>(1) - 6"                 | 54,649   | 1965          | 3               |
| Grounds And Transportation Building | Unknown                              | (2) - 4"                             | 1,523  | 1991          | 2               |
| Hall 10                             | (1) - 3"                             | (1) - 6"                             | 16,157   | 1963          | *               |
| Hall 14                             | (1) - 4"                             | (2) - 6"                             | 41,757   | 1964          | *               |
| Hall 20                             | (2) - 4"                             | Unknown                              | 54,388   | 1985          | *               |

\*Not Applicable - to be demolished

\*\*Not Applicable - to be relocated off-site

**Figure 1 (cont.) Existing Water and Sanitary Sewer System**

| Building Name/<br>Description                         | Domestic<br>Water<br>Service<br>Size | Sanitary<br>Sewer<br>Service<br>Size | Net<br>Assignable<br>Square<br>Footage<br>(NASF) | Year<br>Built | Service<br>Cat. |
|---|--------------------------------------|--------------------------------------|--|---------------|-----------------|
| Housing Operations<br>/ Central Stores &<br>Receiving | Unknown                              | Unknown                              | 26,912   | 2017          | 1               |
| Human Sciences<br>Building                            | (1) - 2-1/2"                         | (2) - 6"                             | 10,021   | 1970          | *               |
| Human Sciences<br>Building South                      | (1) - 2-1/2"                         | (1) - 6"                             | 6,403  | 1981          | *               |
| Human Services<br>Building                            | Unknown                              | Unknown                              | 32,626   | 2004          | 2               |
| Juanita Curry<br>Boynnton House                       | Unknown                              | Unknown                              | 2,776  | 1957          | 3               |
| Kennedy Auditorium                                    | (1) - 1-1/2"                         | Unknown                              | 7,492  | 1968          | *               |
| Kerr Hall   | Unknown                              | "(1) - 6"<br>(1) - 4"                | 54,649   | 1968          | 3               |
| Lehmann Chemistry<br>Building                         | Unknown                              | Unknown                              | 15,596   | 1938          | 3               |
| Lumberjack Landing                                    | Unknown                              | (1) - 8"                             | 74,700   | 2011          | 1               |
| Lumberjack Lodge                                      | (1) - 4"                             | (2) - 6"                             | 75,796   | 2006          | 1               |
| Lumberjack Village<br>Building 1                      | Unknown                              | Unknown                              | 79,482   | 2006          | 1               |
| Lumberjack Village<br>Building 2                      | Unknown                              | Unknown                              | 50,104   | 2006          | 1               |
| Lumberjack Village<br>Building 3                      | Unknown                              | Unknown                              | 47,963   | 2006          | 1               |
| Lumberjack Village<br>Building 4                      | Unknown                              | Unknown                              | 3,251  | 1989          | *               |
| Lumberjack Village<br>Community Building              | Unknown                              | Unknown                              | 5,176  | 2006          | 1               |
| McGee Business<br>Building                            | (1) - 4"                             | (1) - 6"<br>(1) - 3"                 | 45,039   | 1974          | 3               |

\*Not Applicable - to be demolished

\*\*Not Applicable - to be relocated off-site

**Figure 1 (cont.) Existing Water and Sanitary Sewer System**

| Building Name/<br>Description       | Domestic<br>Water<br>Service<br>Size | Sanitary<br>Sewer<br>Service<br>Size | Net<br>Assignable<br>Square<br>Footage<br>(NASF) | Year<br>Built | Service<br>Cat. |
|-------------------------------------|--------------------------------------|--------------------------------------|--|---------------|-----------------|
| McKibben<br>Education Building      | Unknown                              | (1) - 6"<br>(1) - 3"                 | 40,992   | 1974          | 3               |
| Mechanical Plant 2                  | Unknown                              | Unknown                              | 167  | 1973          | 3               |
| Mechanical Plant I                  |                                      |                                      | 86   | 1949          | 3               |
| Military Science<br>Building        | (1) -<br>Unknown                     | Unknown                              | 5,434  | 1965          | *               |
| Miller Science<br>Building          | Unknown                              | Unknown                              | 83,421   | 1968          | *               |
| Motor Pool                          | Unknown                              | Unknown                              | 10,301   | 1984          | 2               |
| North Hall                          | (1) - 4"                             | (1) - 6"                             | 10,444   | 1960          | *               |
| Norton HPE<br>Complex               | Unknown                              | (1) - 10"                            | 77,487   | 1974          | 3               |
| Parking And Traffic<br>Office       | Unknown                              | Unknown                              | 857  | 2010          | 1               |
| Physical Plant                      | (1) - 1-1/2"                         | (1) - 4"                             | 17,227   | 1951          | 3               |
| Rusk Building                       | Unknown                              | Unknown                              | 18,917   | 1926          | 3               |
| Schlieff Tennis<br>Complex          | Unknown                              | (1) - 4"                             | 1,763  | 2008          | *               |
| School Of Social<br>Work            | (1) - 2"                             | Unknown                              | 8,974  | 1949          | 3               |
| Shelton Gym                         | Unknown                              | (1) - 10"                            | 19,108   | 1950          | 3               |
| South Hall                          | (1) - 4"                             | (1) - 6"                             | 10,444   | 1960          | *               |
| Sports Medicine/<br>Academic Center | Unknown                              | Unknown                              | 3,749  | 2004          | 2               |
| Stadium Fieldhouse                  | Unknown                              | Unknown                              | 15,212   | 1972          | *               |
| Stadium Press Box                   | Unknown                              | (1) - 4"                             | 5,468  | 1972          | *               |
| Stadium Storage 3                   | Unknown                              | Unknown                              | 1,213  | 1981          | *               |

\*Not Applicable - to be demolished

\*\*Not Applicable - to be relocated off-site



**Figure 1 (cont.)** Existing Water and Sanitary Sewer System

| Building Name/<br>Description                   | Domestic<br>Water<br>Service<br>Size | Sanitary<br>Sewer<br>Service<br>Size | Net<br>Assignable<br>Square<br>Footage<br>(NASF) | Year<br>Built | Service<br>Cat. |
|---|--------------------------------------|--------------------------------------|--|---------------|-----------------|
| Steen Hall                                      | Unknown                              | (1) - 8"                             | 75,448   | 1968          | 3               |
| Steen Library                                   | (1) - 4"                             | (1) - 6"                             | 195,565  | 1973          | 3               |
| Stephen B Tucker<br>Health Services             | Unknown                              | (1) - 4"                             | 6,363  | 1978          | 2               |
| Stone Fort Museum                               | (1) - 3/4"                           | Unknown                              | 2,874  | 1936          | **              |
| Student Recreation<br>Center                    | (1) - 2"<br>(1) - 4"                 | (1) - 6"                             | 57,602   | 2007          | 1               |
| Student Recreation<br>Center Pool Pump<br>House | (1) - 4"                             | (2) - 4"<br>(1) - 8"                 | 415  | 2007          | 1               |
| Surplus   | Unknown                              | Unknown                              | 20,171   | 1963          | *               |
| Theatre Scene Shop                              | Unknown                              | Unknown                              | 6,868  | 1950          | 3               |
| Tracy D Pearlman<br>Alumni Building             | Unknown                              | Unknown                              | 3,233  | 1982          | 2               |
| Tucker House                                    | Unknown                              | Unknown                              | 2,636  | 1986          | 2               |
| University Police                               | Unknown                              | (1) - 4"                             | 4,693  | 1976          | *               |
| University Safety<br>Building                   | Unknown                              | Unknown                              | 2,111  | 1964          | 3               |
| Visitor Information<br>Center                   | Unknown                              | Unknown                              | 48   | 1984          | 2               |
| William R Johnson<br>Coliseum                   | Unknown                              | (3) - 4"<br>(2) - 6"                 | 90,313   | 1974          | 3               |
| Wisely Hall                                     | (1) - 2-1/2"                         | (2) - 2"<br>(1) - 4"                 | 16,474   | 1935          | 3               |
| Wright Music<br>Building                        | Unknown                              | (2) - 4"                             | 36,236   | 1970          | 3               |

\*Not Applicable - to be demolished

\*\*Not Applicable - to be relocated off-site

**Figure 2.** Existing Sanitary Sewer Flow

| YEAR BUILT | BUILDING NAME/ DESCRIPTION          | NASF    | POPULATION SERVED (capita) | AVERAGE FLOW (gpm) | PEAKING FACTOR | PEAK FACTOR (gpm) | PEAK FACTOR (cfs) | % OF TOTAL FLOW |
|------------|-------------------------------------|---------|----------------------------|--------------------|----------------|-------------------|-------------------|-----------------|
| 1921       | 1401 Mound Street                   | 3,824   | 15                         | 1.04               | 4.4            | 4.58              | 0.01              | 0.18%           |
| 1975       | 3034 Raguet Street                  | 3,238   | 13                         | 0.9                | 4.4            | 3.96              | 0.01              | 0.16%           |
| 2001       | 514 E. Austin                       | 2,912   | 12                         | 0.83               | 4.41           | 3.66              | 0.01              | 0.14%           |
| 1977       | Agriculture Building                | 16,117  | 64                         | 4.44               | 4.29           | 19.05             | 0.04              | 0.75%           |
| 1977       | Agriculture Greenhouse 1            | 4,959   | 20                         | 1.39               | 4.38           | 6.09              | 0.01              | 0.24%           |
| 1982       | Agriculture Greenhouse 2            | 2,667   | 11                         | 0.76               | 4.41           | 3.35              | 0.01              | 0.13%           |
| 1982       | Agriculture Headhouse               | 1,509   | 6                          | 0.42               | 4.43           | 1.86              | 0.00              | 0.07%           |
| 1963       | Agriculture Mechanics Shop          | 8,176   | 33                         | 2.29               | 4.35           | 9.96              | 0.02              | 0.39%           |
| 1982       | Art Building                        | 21,465  | 86                         | 5.97               | 4.26           | 25.43             | 0.06              | 1.00%           |
| 1972       | Art Studio                          | 12,539  | 50                         | 3.47               | 4.31           | 14.96             | 0.03              | 0.59%           |
| 1971       | Art Studio Annex                    | 2,899   | 12                         | 0.83               | 4.41           | 3.66              | 0.01              | 0.14%           |
| 1924       | Austin Administration Building      | 25,260  | 101                        | 7.01               | 4.24           | 29.72             | 0.07              | 1.17%           |
| 1960       | Baker Pattillo Student Center       | 107,707 | 431                        | 29.91              | 4.01           | 119.94            | 0.26              | 4.73%           |
| 1970       | Biology Greenhouse                  | 4,328   | 17                         | 1.18               | 4.39           | 5.18              | 0.01              | 0.20%           |
| 1957       | Boynton Building                    | 21,715  | 87                         | 6.04               | 4.26           | 25.73             | 0.06              | 1.02%           |
| 1983       | Bush Mathematical Sciences Building | 36,666  | 147                        | 10.2               | 4.19           | 42.74             | 0.09              | 1.69%           |
| 1961       | Chemistry Storage                   | 320     | 1                          | 0.07               | 4.47           | 0.31              | 0.00              | 0.01%           |
| 2018       | Cole STEM Building                  | 55,308  | 221                        | 15.34              | 4.13           | 63.35             | 0.14              | 2.50%           |
| 1984       | Dugas Liberal Arts North            | 28,381  | 114                        | 7.91               | 4.23           | 33.46             | 0.07              | 1.32%           |
| 2009       | Early Childhood Research Center     | 81,411  | 326                        | 22.62              | 4.06           | 91.84             | 0.20              | 3.62%           |
| 1968       | East College Cafeteria              | 31,776  | 127                        | 8.81               | 4.21           | 37.09             | 0.08              | 1.46%           |

**Figure 2 (cont.)** Existing Sanitary Sewer Flow

| YEAR BUILT | BUILDING NAME/ DESCRIPTION                      | NASF   | POPULATION SERVED (capita) | AVERAGE FLOW (gpm) | PEAKING FACTOR | PEAK FACTOR (gpm) | PEAK FACTOR (cfs) | % OF TOTAL FLOW |
|------------|---|--------|----------------------------|--------------------|----------------|-------------------|-------------------|-----------------|
| 1975       | Education Annex                                 | 17,729 | 71                         | 4.93               | 4.28           | 21.1              | 0.05              | 0.83%           |
| 1969       | Ferguson Building                               | 39,660 | 159                        | 11.03              | 4.18           | 46.11             | 0.10              | 1.82%           |
| 1950       | Fine Arts Annex                                 | 1,598  | 6                          | 0.42               | 4.43           | 1.86              | 0.00              | 0.07%           |
| 1970       | Forestry Building                               | 29,699 | 119                        | 8.26               | 4.22           | 34.86             | 0.08              | 1.38%           |
| 1982       | Forestry Greenhouse                             | 6,968  | 28                         | 1.94               | 4.36           | 8.46              | 0.02              | 0.33%           |
| 1949       | Forestry Laboratories                           | 6,403  | 26                         | 1.8                | 4.36           | 7.85              | 0.02              | 0.31%           |
| 1959       | Griffith Fine Arts Building                     | 75,563 | 302                        | 20.96              | 4.08           | 85.52             | 0.19              | 3.38%           |
| 1965       | Griffith Hall                                   | 54,649 | 219                        | 15.2               | 4.13           | 62.78             | 0.14              | 2.48%           |
| 1991       | Grounds and Transportation Building             | 1,523  | 6                          | 0.42               | 4.43           | 1.86              | 0.00              | 0.07%           |
| 1963       | Hall 10   | 16,157 | 65                         | 4.51               | 4.29           | 19.35             | 0.04              | 0.76%           |
| 1964       | Hall 14   | 41,757 | 167                        | 11.59              | 4.18           | 48.45             | 0.11              | 1.91%           |
| 1985       | Hall 20   | 54,388 | 218                        | 15.13              | 4.13           | 62.49             | 0.14              | 2.47%           |
| 2017       | Housing Operations / Central Stores & Receiving | 26,912 | 108                        | 7.5                | 4.23           | 31.73             | 0.07              | 1.25%           |
| 1970       | Human Sciences Building                         | 10,021 | 40                         | 2.78               | 4.33           | 12.04             | 0.03              | 0.48%           |
| 1981       | Human Sciences Building South                   | 6,403  | 26                         | 1.8                | 4.36           | 7.85              | 0.02              | 0.31%           |
| 2004       | Human Services Building                         | 32,626 | 131                        | 9.09               | 4.21           | 38.27             | 0.08              | 1.51%           |
| 1957       | Juanita Curry Boynton House                     | 2,776  | 11                         | 0.76               | 4.41           | 3.35              | 0.01              | 0.13%           |
| 1968       | Kennedy Auditorium                              | 7,492  | 30                         | 2.08               | 4.35           | 9.05              | 0.02              | 0.36%           |
| 1968       | Kerr Hall                                       | 54,649 | 219                        | 15.2               | 4.13           | 62.78             | 0.14              | 2.48%           |
| 1938       | Lehmann Chemistry Building                      | 15,596 | 62                         | 4.3                | 4.29           | 18.45             | 0.04              | 0.73%           |
| 2011       | Lumberjack Landing                              | 74,700 | 299                        | 20.75              | 4.08           | 84.66             | 0.19              | 3.34%           |



**Figure 2 (cont.)** Existing Sanitary Sewer Flow

| YEAR BUILT | BUILDING NAME/ DESCRIPTION            | NASF   | POPULATION SERVED (capita) | AVERAGE FLOW (gpm) | PEAKING FACTOR | PEAK FACTOR (gpm) | PEAK FACTOR (cfs) | % OF TOTAL FLOW |
|------------|---------------------------------------|--------|----------------------------|--------------------|----------------|-------------------|-------------------|-----------------|
| 2006       | Lumberjack Lodge                      | 75,796 | 303                        | 21.03              | 4.08           | 85.8              | 0.19              | 3.39%           |
| 2006       | Lumberjack Village Building 1         | 79,482 | 318                        | 22.07              | 4.07           | 89.82             | 0.20              | 3.55%           |
| 2006       | Lumberjack Village Building 2         | 50,104 | 200                        | 13.88              | 4.15           | 57.6              | 0.13              | 2.27%           |
| 2006       | Lumberjack Village Building 3         | 47,963 | 192                        | 13.32              | 4.15           | 55.28             | 0.12              | 2.18%           |
| 1989       | Lumberjack Village Building 4         | 3,251  | 13                         | 0.9                | 4.4            | 3.96              | 0.01              | 0.16%           |
| 2006       | Lumberjack Village Community Building | 5,176  | 21                         | 1.46               | 4.38           | 6.39              | 0.01              | 0.25%           |
| 1974       | McGee Business Building               | 45,039 | 180                        | 12.49              | 4.16           | 51.96             | 0.11              | 2.05%           |
| 1974       | McKibben Education Building           | 40,992 | 164                        | 11.38              | 4.18           | 47.57             | 0.10              | 1.88%           |
| 1949       | Mechanical Plant 1                    | 86     | 0                          | 0                  | 4.5            | 0                 | 0.00              | 0.00%           |
| 1973       | Mechanical Plant 2                    | 167    | 1                          | 0.07               | 4.47           | 0.31              | 0.00              | 0.01%           |
| 1965       | Military Science Building             | 5,434  | 22                         | 1.53               | 4.37           | 6.69              | 0.01              | 0.26%           |
| 1968       | Miller Science Building               | 83,421 | 334                        | 23.18              | 4.06           | 94.11             | 0.21              | 3.71%           |
| 1984       | Motor Pool                            | 10,301 | 41                         | 2.85               | 4.33           | 12.34             | 0.03              | 0.49%           |
| 1960       | North Hall                            | 10,444 | 42                         | 2.91               | 4.33           | 12.6              | 0.03              | 0.50%           |
| 1974       | Norton HPE Complex                    | 77,487 | 310                        | 21.51              | 4.07           | 87.55             | 0.19              | 3.46%           |
| 2010       | Parking and Traffic Office            | 857    | 3                          | 0.21               | 4.45           | 0.93              | 0.00              | 0.04%           |
| 1951       | Physical Plant                        | 17,227 | 69                         | 4.79               | 4.28           | 20.5              | 0.05              | 0.81%           |
| 1926       | Rusk Building                         | 18,917 | 76                         | 5.27               | 4.27           | 22.5              | 0.05              | 0.89%           |
| 2008       | Schlieff Tennis Complex               | 1,763  | 7                          | 0.49               | 4.43           | 2.17              | 0.00              | 0.09%           |
| 1949       | School of Social Work                 | 8,974  | 36                         | 2.5                | 4.34           | 10.85             | 0.02              | 0.43%           |
| 1950       | Shelton Gym                           | 19,108 | 76                         | 5.27               | 4.27           | 22.5              | 0.05              | 0.89%           |

**Figure 2 (cont.)** Existing Sanitary Sewer Flow

| YEAR BUILT | BUILDING NAME/<br>DESCRIPTION                | NASF    | POPULATION<br>SERVED<br>(capita) | AVERAGE<br>FLOW<br>(gpm) | PEAKING<br>FACTOR | PEAK<br>FACTOR<br>(gpm) | PEAK<br>FACTOR<br>(cfs) | % OF<br>TOTAL<br>FLOW |
|------------|--|---------|----------------------------------|--------------------------|-------------------|-------------------------|-------------------------|-----------------------|
| 1960       | South Hall                                   | 10,444  | 42                               | 2.91                     | 4.33              | 12.6                    | 0.03                    | 0.50%                 |
| 2004       | Sports Medicine /<br>Academic Center         | 3,749   | 15                               | 1.04                     | 4.4               | 4.58                    | 0.01                    | 0.18%                 |
| 1972       | Stadium Fieldhouse                           | 15,212  | 61                               | 4.23                     | 4.3               | 18.19                   | 0.04                    | 0.72%                 |
| 1972       | Stadium Press Box                            | 5,468   | 22                               | 1.53                     | 4.37              | 6.69                    | 0.01                    | 0.26%                 |
| 1981       | Stadium Storage 3                            | 1,213   | 5                                | 0.35                     | 4.44              | 1.55                    | 0.00                    | 0.06%                 |
| 1968       | Steen Hall                                   | 75,448  | 302                              | 20.96                    | 4.08              | 85.52                   | 0.19                    | 3.38%                 |
| 1973       | Steen Library                                | 195,565 | 782                              | 54.27                    | 3.87              | 210.02                  | 0.46                    | 8.29%                 |
| 1978       | Stephen B Tucker Health<br>Services          | 6,363   | 25                               | 1.74                     | 4.37              | 7.6                     | 0.02                    | 0.30%                 |
| 1936       | Stone Fort Museum                            | 2,874   | 11                               | 0.76                     | 4.41              | 3.35                    | 0.01                    | 0.13%                 |
| 2007       | Student Recreation Center                    | 57,602  | 230                              | 15.96                    | 4.13              | 65.91                   | 0.15                    | 2.60%                 |
| 2007       | Student Recreation Center<br>Pool Pump House | 415     | 2                                | 0.14                     | 4.46              | 0.62                    | 0.00                    | 0.02%                 |
| 1963       | Surplus                                      | 20,171  | 81                               | 5.62                     | 4.27              | 24                      | 0.05                    | 0.95%                 |
| 1950       | Theatre Scene Shop                           | 6,868   | 27                               | 1.87                     | 4.36              | 8.15                    | 0.02                    | 0.32%                 |
| 1982       | Tracy D Pearlman Alumni<br>Building          | 3,233   | 13                               | 0.9                      | 4.4               | 3.96                    | 0.01                    | 0.16%                 |
| 1986       | Tucker House                                 | 2,636   | 11                               | 0.76                     | 4.41              | 3.35                    | 0.01                    | 0.13%                 |
| 1976       | University Police                            | 4,693   | 19                               | 1.32                     | 4.38              | 5.78                    | 0.01                    | 0.23%                 |
| 1964       | University Safety Building                   | 2,111   | 8                                | 0.56                     | 4.42              | 2.48                    | 0.01                    | 0.10%                 |
| 1984       | Visitor Information Center                   | 48      | 0                                | 0                        | 4.5               | 0                       | 0.00                    | 0.00%                 |
| 1974       | William R Johnson<br>Coliseum                | 90,313  | 361                              | 25.05                    | 4.04              | 101.2                   | 0.22                    | 3.99%                 |
| 1935       | Wisely Hall                                  | 16,474  | 66                               | 4.58                     | 4.29              | 19.65                   | 0.04                    | 0.78%                 |
| 1970       | Wright Music Building                        | 36,236  | 145                              | 10.06                    | 4.2               | 42.25                   | 0.09                    | 1.67%                 |

## STORM SEWER

Multiple series of gravity-based storm drainage systems are utilized throughout campus to convey runoff easterly toward Lanana Creek. Curb inlets and catch basins are used to collect surface runoff. Pipes ranging from 3- to 60-inches convey runoff and ultimately daylight at creeks or ditches with concrete headwalls. No underground stormwater detention systems are present on campus.

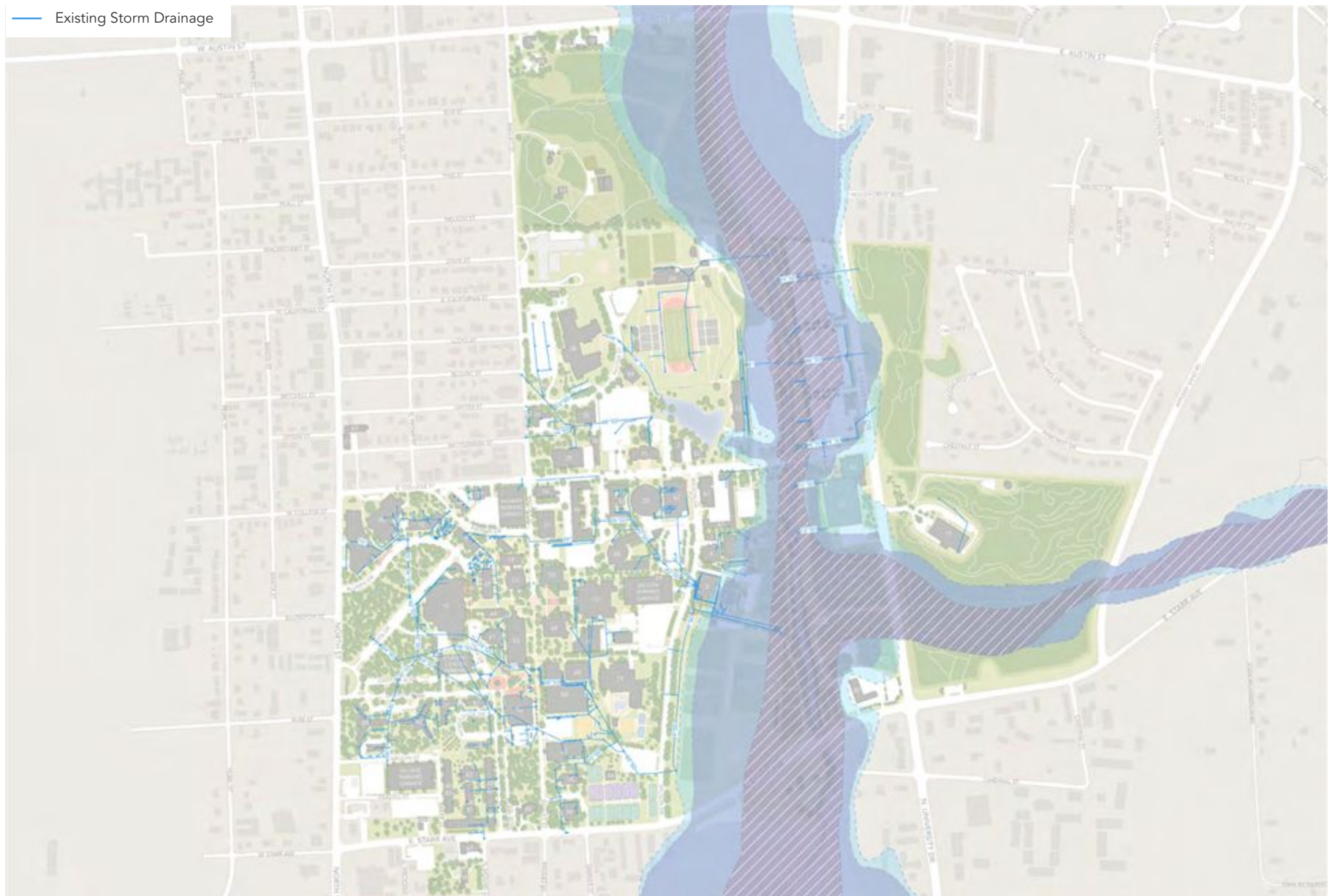
The Ag Pond collects stormwater from the portion of campus located north of E. College Street. There appears to be a significant amount of lot-to-lot drainage, with the residential area northwest of campus sheet flowing easterly onto Raguet Street and into the campus storm system. The Ag Pond has an overflow spillway leading into a concrete channel which discharges into Lanana Creek.

The site is bound by high points along the crowns of North Street, E. Austin Street and E. Starr Avenue. FEMA panel number 48347C0335C, effective 05/20/2010, shows the limits of the floodplain on campus. The Agricultural Building, School of Art and the William R. Johnson Coliseum fall within the limits of the floodplain. Of these three buildings, the Coliseum is fully within the floodplain limits and appears to experience the most problems. The finished floor elevation of the Coliseum is ~275, while the floodplain elevation is ~289. A levee and storm pumps were previously installed to combat flooding at the building. However, the building still experiences flooding, with offices receiving backflow during high rain events due to failing check valves. Sandbags have been piled on top of the levee to help with the flooding. Multiple storm lines discharge from the west side of the building into Lanana Creek. These lines, along with the levee, should be a high priority for repair.




*Ag Pond Spillway*





**Map 5.** Existing Storm Drainage

Scale: N.T.S. 

## MECHANICAL

The campus is served by multiple plants, each either supplying multiple buildings or operating as self-contained chilled/hot water systems. Although there have been capacity additions and repairs, issues such as wear, leaks and capacity shortages have been observed over time. This section provides an overview of the current mechanical system conditions, based on findings from the site visit on 3/26/2025, as well as feedback from SFA.

- **Plant #1** – Plant #1 consists of a combination of new and aged equipment. The facility is equipped with two new chillers (2021), two older units (2004), four older boilers (2010) and three salvaged boilers (2012). While the newer chillers are in good condition, the older units (2004) should be replaced. Additionally, existing underground chilled and hot water pipes are original, aged and have experienced leakages. These pipes need replacement, and future installations should provide more space between chilled and hot water pipes to prevent cross-contamination and operational issues. The hot water system currently does not supply the Human Services Building, despite having heating water available. There are energy-saving opportunities to enhance system efficiency. Additional capacity in the chilled and hot water systems may be necessary to accommodate future growth or increased demand. The cooling towers, installed in 2004, are due for an upgrade to improve cooling capacity. More cooling towers or using chillers with lower flow rates should be considered.
- **Plant #2** – As the largest plant on campus, Plant #2 underwent significant upgrades in 2024 with the installation of four new chillers and cooling towers. These chillers, each with a capacity of 6 million BTU/h (900 tons per chiller), are supported by both new and existing older cooling towers. The two older cooling towers need replacement, and the plant currently operates with redundancy, which is essential for ensuring reliable cooling. In addition, one boiler is to be replaced with a bank of boilers to accommodate future expansion of the campus.
- **ECRC Plant (Plant #3)** – The ECRC Plant operates with one new chiller and one old chiller, but lacks redundancy. To ensure reliable cooling, it is recommended to add an additional chiller and cooling tower. The plant's boiler system is outdated and requires attention to improve efficiency and performance. Currently, only two boilers supply the ECRC. The boiler plant should be upgraded for future expansion of new buildings on campus.
- **Village Plant (Decommissioning)** – The Village Plant, while still operational, contains old and worn-out equipment and will be decommissioned. The loads it serves will be transferred to the Griffith-Kerr Plant for future service.
- **ART/AG Plant (Removal)** – The ART/AG Plant, which has undergone partial updates in the past, will be decommissioned and removed. The loads it currently serves will instead be provided from Plant 2.
- **BPSC Plant (Decommissioning)** – The BPSC Plant, which currently has one newer chiller but significant outdated equipment, will be decommissioned. The loads it serves will be transferred to the Griffith-Kerr Plant.
- **Human Science Area** – The self-contained plant serving the Human Science Area, along with the MECH building, has been abandoned and will be removed. The loads it served will be tied into Plant 2 for future service.
- **Griffith-Kerr Plant** – The Griffith-Kerr Plant consists of all new cooling tower and piping, both of which are in good condition. The plant is equipped with two 400-ton York chillers, providing reliable cooling capacity for the facility. In the future, it will also take on loads from the decommissioned Village Plant and BPSC Plant. Currently only three boilers serve Griffith and Kerr Halls. The Boiler plant will require expansion to support future buildings on campus.

- Existing Chilled and Hot Water Line
- (A)** Griffith-Kerr Plant
- (B)** Village Plant
- (C)** Human Science Area
- (D)** BPSC Plant
- (E)** Plant 1
- (F)** Plant 2
- (G)** Art/Ag Plant
- (H)** ECRC Plant



**Map 6.** Existing Mechanical

Scale: N.T.S.



# PROPOSED CONDITIONS

In addition to the recommendations listed in this section, it is recommended that the campus maintain an accurate geographic information system (GIS) of their existing utilities. GIS would allow the campus to have centralized utility data showing where each asset is, when it was installed and its maintenance history. This will lead to efficient maintenance repairs and damage prevention. This also allows for smooth collaboration between the campus and architects/engineers when designing future projects.

## ELECTRICAL

To enhance safety and reliability, all overhead electrical wiring should be transitioned to underground systems. Overhead lines are vulnerable to damage from falling trees, severe weather and wildlife such as squirrels. The UT System is mandating that SFA convert all overhead lines to underground, making this transition a top priority.

### Priority Areas for Conversion:

- Carolyn Street
- Raguet Street: Convert the overhead lines along the north end of campus and Raguet Street to underground lines.
- Vicinity of the Art and Agriculture Buildings
- E. Starr Avenue: This road also has overhead lines, but they are not owned by SFA. Coordination with Oncor will be needed to request converting these lines to underground for consistency and improved safety.

**Underground Wiring:** The existing medium-voltage underground wiring on campus should be assessed, as areas may be upwards of 40 to 50 years old. Wiring that is 30 years or older is recommended for replacement to maintain safety and reliability. While the goal is to maintain most of the current underground wiring in place, certain sections will need to be rerouted to avoid conflicts with proposed building footprints. This evaluation should confirm the condition of the existing cables and identify areas where upgrades or adjustments are necessary to maintain and support future development.

**Coordination and Infrastructure Planning:** IT and Electrical departments should coordinate closely on this initiative. As fiber optic installation is already underway, all new underground electrical installations should include spare 4-inch conduit to accommodate future fiber needs. This coordination will maximize efficiency and cost-effectiveness for both projects.

**Switchboard Replacement:** Union Pacific switchboards currently in use on campus should be replaced. Some will be removed during the demolition of buildings such as those in the Forestry area, providing a natural opportunity for upgrades. Remaining Union Pacific switchboards near buildings that will stay in use should also be scheduled for replacement. Other existing switchboards should have conditions assessed for incoming infrastructure.

**Generator Assessment:** A comprehensive assessment of all existing generators is recommended. Some units will be removed to make way for new infrastructure. Others, including at least two that are over 35 years old, should be evaluated for replacement. Depending on the phasing of the Master Plan, additional generators nearing 30 years of service may also require attention. Existing temporary or outdated equipment, including older temporary generators, should be replaced and upgraded to ensure reliability and compliance with future system needs.

**Remote Monitoring System:** To improve maintenance and response times, a remote live monitoring system should be implemented. Current limitations in equipment and long lead times make on-site troubleshooting difficult. Remote monitoring will allow for quicker, safer identification and resolution of issues.

**Circuit Switching Enhancements:** Switching capabilities at circuit junctions should be added or improved to enhance safety and operational flexibility. Key locations include:

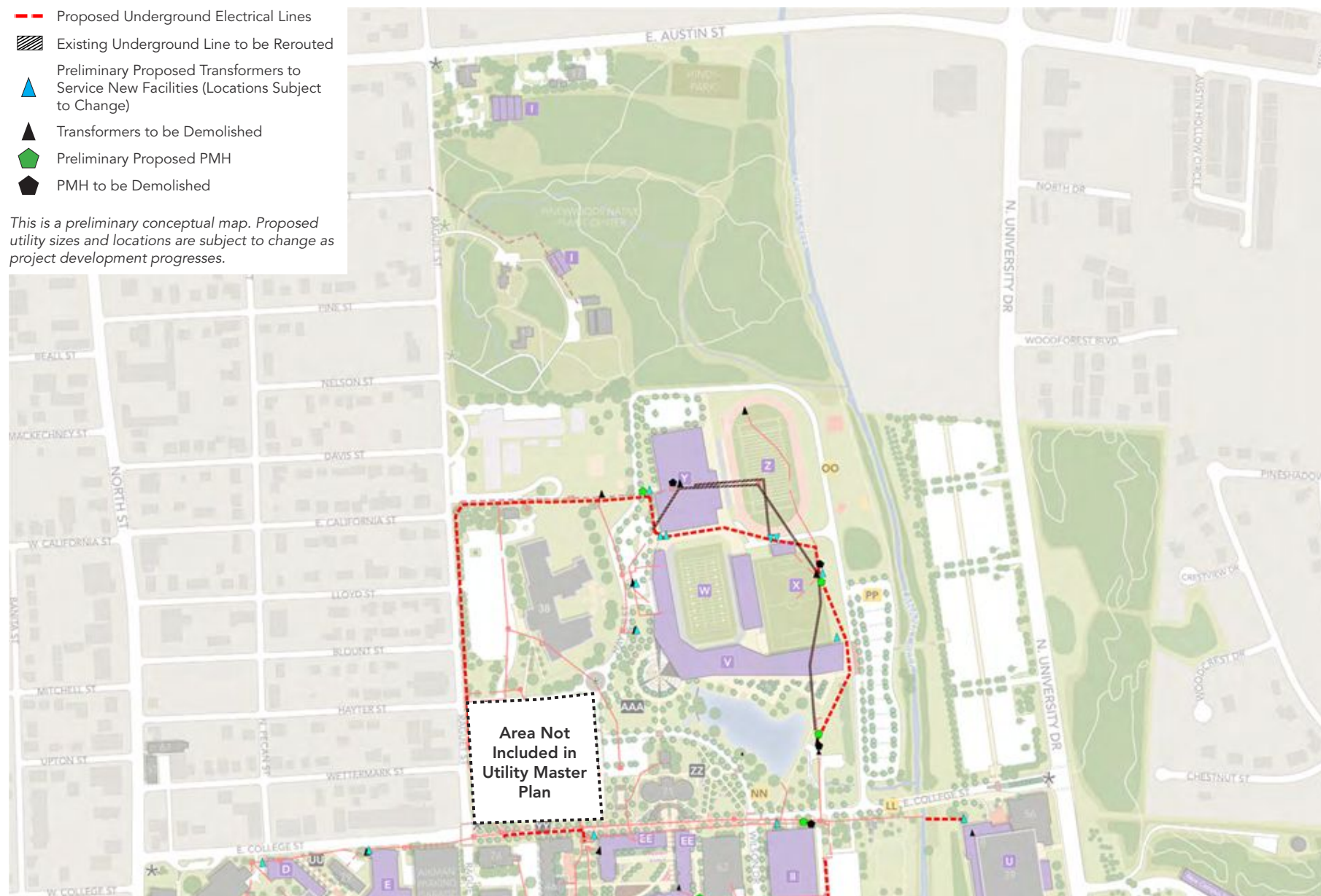
- Building 101 (Austin Building)
- Building 102 (Rusk Building)
- Building 512 (North Hall)
- Building 210 (STEM Building)
- Building 522 (Lumberjack Lodge)
- Southeast Corner of Proposed Science Building

**Microgrid Development:** Establishing a campus microgrid is strongly recommended. SFA has historically served as a shelter during natural disasters, such as Hurricane Harvey. A microgrid would increase campus resilience and ensure continued operation during extreme weather events.

**Breaker Ownership Transfer:** SFA should explore transferring ownership of its breakers to Oncor. This change could significantly reduce equipment lead times and improve maintenance and repair efficiency.

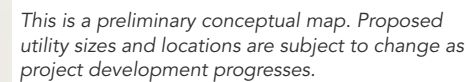
**North End Proposed Greenhouses:** Buildings located in the northern area of the campus are not connected to the campus electrical circuits. Instead, they receive power directly from the electrical utility service provider. It is recommended that any proposed buildings in this area also be supplied from the existing utility service. Coordinate with the utility service provider to confirm requirements and connections.

- This is a preliminary conceptual map. Proposed utility sizes and locations are subject to change as project development progresses.*



Scale: N.T.S. 





Scale: N.T.S. 

## **DEMOLITION AND FUTURE ELECTRICAL LOADS**

### **DEMOLITION LOAD**

The total estimated load from the buildings and areas slated for demolition is approximately 46,461 kVA. This capacity will be freed up and made available for future electrical demands. It is also a good opportunity to assess the condition of existing electrical equipment in these areas and determine whether replacement is necessary as part of the demolition process.

Transformers for the buildings being demolished are slated to also be demolished. However, these transformers may be re-used for future building loads if they are in good condition and meet the load requirements. Before reuse, they should be inspected for age, efficiency and compatibility with the new system design. Voltage ratings and capacity must align with future loads to avoid overloading. If they pass these checks, reusing them can reduce costs and lead times; otherwise, replacement is recommended.

Pad-mounted switchgear tied to the buildings being demolished will also be removed. These units could be reused for future switching needs if they are in good condition and meet system requirements. Before reuse, they should be checked for structural integrity, reliability and compatibility with the updated design. Important factors include voltage ratings, fault-interrupting capability and

configuration to ensure safe operation. If they meet these standards, reusing them can save money and reduce lead times; if not, replacement is the better option.

### **FUTURE LOAD**

Future load projections are based on the average watts per gross square foot (PGSF) for each building or space type. The total estimated future load is 81,034 kVA. Comparing this to the demolition load, we anticipate needing an additional 34,573 kVA to meet future demands. However, the 2023 electrical facility assessment report from EMA Engineering and Consulting, Inc. indicates that 17,264 kVA is currently available, which falls short of what is needed. Design changes, including the addition of slab-mounted heaters for new above-ground enclosures, will increase electrical demand beyond the current estimate. The projected load provided here does not yet reflect these changes and will need to be updated as details are finalized.

It is important to keep in mind that power usage will vary depending on the season and time of day. The estimates provided in the tables reflect maximum power usage per building or area, not the average usage throughout the day. For example, outdoor sports fields will not draw peak power during daylight hours. Their primary usage

is expected in the evening or at night, when academic activity slows down. Additionally, off-seasons for certain sports could help ease the overall load on the electrical system.

Using energy-efficient equipment—such as LED lighting, high-efficiency HVAC systems and smart controls—can help reduce peak demand and overall electrical load. These upgrades improve system performance, lower operating costs and ease the need for additional capacity. Over time, they also contribute to sustainability goals and reduce strain on aging infrastructure, making them a practical complement to future expansion plans.

**Figure 3.** Proposed Electrical Demolition Load

| Bldg. No. | Building Area Name (to be Demolished) | Area (GSF) | Load (kVA) | Circuit |
|-----------|---------------------------------------|------------|------------|---------|
| 104       | Physical Plant 1                      | 21680      | 11380      | Red     |
| 106       | Forestry Research Lab                 | 9342       | 1075       | Blue    |
| 110       | Military Science                      | 5815       | 6034       | Blue    |
| 113       | Agriculture Shop & Lab                | 9200       | 138        | Blue    |
| 120       | Kennedy Auditorium                    | 14268      | 1420       | Green   |
| 121       | Miller Science Building               | 5815       | 1870       | Green   |
| 123       | Human Science (North)                 | 18592      | 398        | Red     |
| 125       | Biology Greenhouse                    | 4500       | 153        | Green   |
| 131       | Art Building                          | 33110      | 5656       | Red     |
| 132       | Art Studio                            | 14550      | 31         | Red     |
| 137       | Forestry Building                     | 51695      | 22         | Green   |
| 138       | PPD Storage                           | 25251      | 379        | Blue    |
| 139       | Stone Fort                            | 5060       | 61         | Green   |
| 152       | College of Education Annex            | 31469      | 398        | Red     |
| 153       | University Police Department          | 6088       | 5689       | Blue    |
| 157       | Agriculture Greenhouse 1              | 5111       | 173        | Red     |
| 158       | Human Science South                   | 11020      | 225        | Red     |
| 160       | Forestry Greenhouse                   | 8290       | 281        | Red     |
| 164       | Agriculture Greenhouse 2              | 2688       | 91         | Red     |
| 165       | Agriculture Headhouse                 | 1657       | 57         | Red     |
| 203       | Forestry Storage                      | 95         | 2          | Green   |
| 511       | North Hall 9                          | 17407      | 1058       | Blue    |

**Figure 3 (cont.)** Proposed Electrical Demolition Load

| Bldg. No.               | Building Area Name (to be Demolished) | Area (GSF) | Load (kVA)    | Circuit |
|-------------------------|---------------------------------------|------------|---------------|---------|
| 512                     | South Hall 12                         | 17407      | 926           | Blue    |
| 516                     | Hall 10                               | 26928      | 1021          | Blue    |
| 518                     | Hall 14                               | 69595      | 2599          | Green   |
| 523                     | East College Cafeteria                | 42480      | 2981          | Green   |
| 526                     | Housing Operations Annex              | 3220       | 65            | Red     |
| 527                     | Stadium Fieldhouse                    | 22476      | 54            | Blue    |
| 528                     | Stadium Restroom East                 | 1320       | 14            | Blue    |
| 529                     | Stadium Restroom West                 | 1320       | 14            | Blue    |
| 530                     | Stadium Press Box                     | 10262      | 44            | Blue    |
| 537                     | Sports Medicine Academic Center       | 5234       | 63            | Blue    |
| 538                     | Hall 20                               | 90646      | 1729          | Blue    |
| 540                     | Stadium Storage 1                     | 1650       | 17            | Blue    |
| 541                     | Stadium Storage 2                     | 1600       | 16            | Blue    |
| 542                     | Wellness Center                       | 8350       | 88            | Blue    |
| 551                     | Schlieff Tennis Complex               | 2200       | 169           | Red     |
| 556                     | Science Storage                       | 1213       | 13            | Blue    |
| 557                     | Stadium Ticket Booth East             | 179        | 2             | Blue    |
| 569                     | Lumberjack Village Building D         | 5419       | 55            |         |
| <b>Total Load (kVA)</b> |                                       |            | <b>46,461</b> |         |



**Figure 4.** Proposed Transformer Demolitions

| Name                              | Size (KVA) | Loop  | Current Location                                   | Proposed Condition* | Note   |
|-----------------------------------|------------|-------|--|---------------------|--|
| Stadium Storage and Geology Annex | 225        | Blue  | Science Storage (DEMO)                             | Demolition          | Building will be demolished and it is in the current path of the proposed Track and Field venue.   |
| East Side Stadium                 | 500        | Blue  | East side of Current Football Stadium (DEMO)       | Demolition          | Transformer is in demolition area.   |
| Hall 20 North                     | 750        | Blue  | Hall 20 (DEMO)                                     | Demolition          | Building will be demolished.   |
| Hall 20 South                     | 750        | Blue  | Hall 20 (DEMO)                                     | Demolition          | Building will be demolished.   |
| Coliseum                          | 2000       | Blue  | Corner of Coliseum (ADDITION)                      | Demolition          | Plans show it is on the path of the proposed Coliseum additions.                                   |
| Military Science and AG           | 150        | Blue  | Near Military Science and AG Buildings (BOTH DEMO) | Demolition          | Buildings will be demolished.  |
| Stadium Fieldhouse                | 500        | Blue  | Stadium Fieldhouse (DEMO)                          | Demolition          | Building will be demolished.   |
| Stadium Press Box                 | 1500       | Blue  | Stadium Press Box (DEMO)                           | Demolition          | Building will be demolished and it is in the path of the proposed parking lot or Football Stadium. |
| Hayter Drive/Wellness Center      | 300        | Blue  | Wellness Center (DEMO)                             | Demolition          | Building will be demolished and may conflict with the Proposed Fieldhouse/Plaza/Parking Lot.       |
| Forestry Research Lab             | 75         | Blue  | Forestry Research Lab (DEMO)                       | Demolition          | Building will be demolished.   |
| Hall 15 and UPD                   | 225        | Blue  | UPD Building (DEMO)                                | Demolition          | Building will be demolished.   |
| Hall 10                           | 500        | Blue  | Hall 10 (DEMO)                                     | Demolition          | Building will be demolished.   |
| North Hall 9                      | 500        | Blue  | Hall 9 (DEMO)                                      | Demolition          | Building will be demolished.   |
| South Hall 12                     | 500        | Blue  | Hall 12 (DEMO)                                     | Demolition          | Building will be demolished.   |
| Forestry Expansion                | 225        | Green | Forestry Building (DEMO)                           | Demolition          | Building will be demolished.   |
| Forestry                          | 225        | Green | Forestry Building (DEMO)                           | Demolition          | Building it is feeding will be demolished.   |
| Forestry Greenhouse               | ?          | Green | Forestry Greenhouse (DEMO)                         | Demolition          | Building will be demolished.   |
| Hall 14                           | 750        | Green | Hall 14 (DEMO)                                     | Demolition          | Building will be demolished.   |

*\*Prior to demolition, confirm if the transformer is in acceptable condition for reuse. If it is deemed unfit for reuse, initiate coordination for its removal.*

**Figure 4 (cont.)** Proposed Transformer Demolitions

| Name                         | Size (KVA) | Loop  | Current Location                 | Proposed Condition* | Note  |
|------------------------------|------------|-------|----------------------------------|---------------------|---|
| East College Cafeteria       | 1000       | Green | Cafeteria (DEMO)                 | Demolition          | Building will be demolished.  |
| Top of Miller Science        | 1500       | Green | Miller Science Building (DEMO)   | Demolition          | Transformer is directly on top of building that will be demolished.   |
| Top of Miller Science        | 1500       | Green | Miller Science Building (DEMO)   | Demolition          | Transformer is directly on top of building that will be demolished.   |
| Kennedy Building             | 500        | Green | Kennedy Building (DEMO)          | Demolition          | Building will be demolished.  |
| Stone Fort                   | 225        | Green | Stone Fort (Off Site Relocation) | Off Site Relocation | Building will be relocated off site.  |
| Physical Plant               | 75         | Red   | Physical Plant (DEMO)            | Demolition          | Building will be demolished.  |
| Physical Plant               | 75         | Red   | Physical Plant (DEMO)            | Demolition          | Building will be demolished.  |
| Housing Annex                | 100        | Red   | Housing Operations Annex (DEMO)  | Demolition          | Building will be demolished and it is in the current path of the proposed Facilities Ops/Academic Building. |
| Art Studio                   | 225        | Red   | Art Studio (DEMO)                | Demolition          | Building will be demolished and it is in the current path of the proposed Facilities Ops/Academic Building. |
| Agriculture Building         | 500        | Red   | Agriculture Mech Building (DEMO) | Demolition          | Building will be demolished and it is in the current path of the proposed Facilities Ops/Academic Building. |
| Pole Light                   | 25         | Red   | Pole Light (South)               | Demolition          | Building will be demolished.  |
| Intramural Field Pole Lights | 112.5      | Red   | Intramural Field (DEMO)          | Demolition          | Building will be demolished.  |
| Intramural Field Pole Lights | 112.5      | Red   | Intramural Field (DEMO)          | Demolition          | Building will be demolished.  |
| Recreation Center            | 1500       | Red   | Recreation Center                | Demolition          | Current location conflicts with proposed Recreation Center additions.                                       |
| Recreation Center Pool       | 300        | Red   | Recreation Center Pool (DEMO)    | Demolition          | Area will be demolished.  |
| Tennis Court Lights          | 300        | Red   | Tennis Court (DEMO)              | Demolition          | Building will be demolished.  |
| Tennis Complex               | 75         | Red   | Tennis Complex (DEMO)            | Demolition          | Building will be demolished and it is in the path of the proposed Baseball Venue.                           |

\*Prior to demolition, confirm if the transformer is in acceptable condition for reuse. If it is deemed unfit for reuse, initiate coordination for its removal.

**Figure 4 (cont.)** Proposed Transformer Demolitions

| Name                       | Size (KVA) | Loop | Current Location                  | Proposed Condition* | Note  |
|----------------------------|------------|------|-----------------------------------|---------------------|---|
| Human Sciences North       | 300        | Red  | Human Sciences North (DEMO)       | Demolition          | Building will be demolished and it is in the path of the proposed Tennis Venue.   |
| College of Education Annex | 500        | Red  | College of Education Annex (DEMO) | Demolition          | Building will be demolished and it is in the path of the proposed Softball Venue. |
| Human Sciences South       | 500        | Red  | Human Science South (DEMO)        | Demolition          | Building will be demolished and it is in the path of the proposed Tennis Venue.   |

*\*Prior to demolition, confirm if the transformer is in acceptable condition for reuse. If it is deemed unfit for reuse, initiate coordination for its removal.*

**Figure 5.** Proposed Pad Mounted Switchgear (PMH) Demolitions

| Name   | Loop  | Current Location                             | Proposed Condition* | Note                         |
|--|-------|--|---------------------|------------------------------|
| PMH-9 @ Hall 12 West                         | Blue  | Hall 12 (DEMO)                               | Demolition          | Building will be demolished. |
| PMH-9 @ Hall 12 East                         | Blue  | Hall 12 (DEMO)                               | Demolition          | Building will be demolished. |
| PMH-9 @ Hall 9                               | Blue  | Hall 9 (DEMO)                                | Demolition          | Building will be demolished. |
| PMH-9 @ Raguet St. and College of Edu. Annex | Red   | College of Education Annex (DEMO)            | Demolition          | Building will be demolished. |
| PMH-9 @ Miller Science Building South        | Green | Miller Science Building (DEMO)               | Demolition          | Building will be demolished. |
| PMH-9 @ Miller Science Building North        | Green | Miller Science Building (DEMO)               | Demolition          | Building will be demolished. |
| PMH-9 @ East College Cafeteria West          | Green | East College Cafeteria (DEMO)                | Demolition          | Building will be demolished. |
| PMH-9 @ East College Cafeteria East/Hall 16  | Green | East College Cafeteria (DEMO)                | Demolition          | Building will be demolished. |
| PMH-9 @ Stadium Fieldhouse - Normally Open   | Blue  | Stadium Fieldhouse (DEMO)                    | Demolition          | Building will be demolished. |
| PMH-9 @ East Stadium - Normally Open         | Blue  | East side of Current Football Stadium (DEMO) | Demolition          | Building will be demolished. |
| PMH-9 @ Hall 20                              | Blue  | Hall 20 (DEMO)                               | Demolition          | Building will be demolished. |
| PMH-9 @ PPD                                  | Blue  | Physical Plant Department (DEMO)             | Demolition          | Building will be demolished. |
| PMH-9 @ REC Pool SW Corner - Normally Open   | Red   | Recreation Center Pool (DEMO)                | Demolition          | Area will be demolished.     |
| PMH-9 @ Human Sciences North                 | Red   | Human Sciences North (DEMO)                  | Demolition          | Building will be demolished. |
| PMH-9 @ Tennis Courts                        | Red   | Tennis Court (DEMO)                          | Demolition          | Area will be demolished.     |

*\*Confirm that the PMH is in acceptable condition prior to reuse. If it is deemed unfit for reuse, initiate coordination for its removal.*



**Figure 6.** Proposed Electrical Loads

| Building/Area Name   | Area (GSF) | W/ SF | kW   | Total Load (kW) <sup>1</sup> | MECH Add. (kW) | Load (kVA) <sup>2</sup> |
|--|------------|-------|------|------------------------------|----------------|-------------------------|
| Science Building   | 160,000    | 10    | 1600 | 2000                         | 665            | 3332                    |
| Boynton Music Addition   | 28,500     | 8     | 228  | 285                          | 90             | 469                     |
| Art Building   | 113,500    | 8     | 908  | 1135                         | 355            | 1863                    |
| Facilities Services & Operations / Academic Building                 | 105,000    | 15    | 1575 | 1969                         | 328            | 2872                    |
| Greenhouse Locations <sup>3</sup>                                    | 10,000     | 5     | 50   | 63                           | 32             | 119                     |
| Tennis Venue   | 84,110     | 10    | 841  | 1052                         | 263            | 1644                    |
| South Operations Building  | 87,360     | 15    | 1310 | 1638                         | 273            | 2389                    |
| Baseball Venue   | 165,457    | 20    | 3309 | 4137                         | 517            | 5818                    |
| Softball Venue   | 74,868     | 20    | 1497 | 1872                         | 234            | 2633                    |
| HPE Renovation and Addition <sup>4</sup>                             | 1,200      | 15    | 18   | 23                           | 4              | 34                      |
| Shelton Addition & Renovation <sup>4</sup>                           | 2,150      | 15    | 32   | 41                           | 7              | 60                      |
| Student Recreation Center (SRC) Renovation and Addition <sup>4</sup> | 33,999     | 15    | 510  | 638                          | 113            | 939                     |
| Rec Support/Field Services Bldg.                                     | 4,000      | 8     | 32   | 40                           | 13             | 67                      |
| Rec Natural Fields   | 267,000    | 10    | 2670 | 3338                         | 834            | 5215                    |
| Rec Synthetic Turf Fields  | 267,000    | 10    | 2670 | 3338                         | 834            | 5215                    |
| Johnson Coliseum Renovation and Addition <sup>4</sup>                | 21,440     | 10    | 214  | 268                          | 71             | 424                     |
| Fieldhouse   | 190,081    | 15    | 2851 | 3565                         | 596            | 5202                    |

**Figure 6 (cont.)** Proposed Electrical Loads

| Building/Area Name         | Area (GSF) | W/ SF | kW   | Total Load (kW) <sup>1</sup> | MECH Add. (kW) | Load (kVA) <sup>2</sup> |
|----------------------------|------------|-------|------|------------------------------|----------------|-------------------------|
| Football Stadium           | 198,667    | 20    | 3973 | 4967                         | 621            | 6985                    |
| Soccer Venue               | 142,484    | 20    | 2850 | 3563                         | 445            | 5010                    |
| Indoor Practice Facility   | 95,260     | 15    | 1429 | 1787                         | 298            | 2607                    |
| Track & Field + Practice   | 177,926    | 20    | 3559 | 4449                         | 556            | 6257                    |
| Auditorium/ Welcome Center | 32,500     | 10    | 325  | 407                          | 102            | 637                     |
| Student Housing A          | 191,250    | 8     | 1530 | 1913                         | 598            | 3139                    |
| Student Housing B          | 281,750    | 8     | 2254 | 2818                         | 880            | 4623                    |
| Student Housing C          | 280,030    | 8     | 2240 | 2801                         | 876            | 4597                    |
| Student Housing D          | 115,150    | 8     | 921  | 1152                         | 36             | 1485                    |
| Garage A                   | 165,600    | 4     | 662  | 828                          | 517            | 1682                    |
| Garage B <sup>5</sup>      | 203,040    | 4     | 812  | 1016                         | 634            | 2580                    |
| Garage C <sup>6</sup>      | 241,484    |       | 1008 | 1260                         | 755            | 3036                    |
| <b>TOTAL LOAD</b>          |            |       |      |                              |                | <b>80517</b>            |

<sup>1</sup> Total load takes into account an additional 25% multiplying factor for any future needs.

<sup>2</sup> Using a power factor of 0.8 for conversion.

<sup>3</sup> Excludes proposed greenhouse locations in northern area of campus. Existing buildings in this area receive power from the electrical utility service provider. It is recommended that proposed buildings in this area shall also be supplied from the existing utility service.

<sup>4</sup> Only includes additional square footage.

<sup>5</sup> Garage B includes an additional 600A shore power capability.

<sup>6</sup> Garage C has 4W/SF but includes the Police Facility at 8W/SF.

**Figure 7.** Proposed Transformers

| Transformer Name            | Size (kVA) | Circuit |
|-----------------------------|------------|---------|
| Track and Field Venue No. 1 | 5000       | Blue    |
| Track and Field Venue No. 2 | 5000       | Blue    |
| Indoor Practice Facility    | 3500       | Blue    |
| Fieldhouse No. 1            | 3500       | Blue    |
| Fieldhouse No. 2            | 3500       | Blue    |
| Soccer Venue No. 1          | 3500       | Blue    |
| Soccer Venue No. 2          | 3500       | Blue    |
| Football Stadium No. 1      | 5000       | Blue    |
| Football Stadium No. 2      | 5000       | Blue    |
| Coliseum                    | 3500       | Blue    |
| Garage C                    | 3500       | Blue    |
| Student Housing C No. 1     | 3000       | Blue    |
| Student Housing C No. 2     | 3000       | Green   |
| Student Housing D           | 2000       | Green   |
| Science Building            | 5000       | Green   |
| Art Building                | 2500       | Blue    |
| Boynnton Music Addition     | 750        | Blue    |
| Auditorium/ Welcome Center  | 1000       | Blue    |
| Student Housing A           | 5000       | Blue    |
| Garage A                    | 2500       | Blue    |

**Figure 7 (cont.)** Proposed Transformers

| Transformer Name                           | Size (kVA) | Circuit |
|--|------------|---------|
| Student Housing B No. 1                    | 3000       | Blue    |
| Student Housing B No. 2                    | 3000       | Blue    |
| Facilities Ops/ Academic Building          | 5000       | Red     |
| SRC No. 1                                  | 3000       | Red     |
| SRC No. 2                                  | 3000       | Red     |
| Turf Field No. 1                           | 3500       | Red     |
| Turf Field No. 2                           | 3500       | Red     |
| Natural Grass Field/Challenge Course No. 1 | 3500       | Red     |
| Natural Grass Field/Challenge Course No. 2 | 3500       | Red     |
| Baseball Venue No. 1                       | 3500       | Red     |
| Baseball Venue No. 2                       | 3500       | Red     |
| Softball Venue                             | 3000       | Red     |
| South Ops. Building                        | 3000       | Red     |
| Tennis Venue                               | 2500       | Red     |
| Garage B                                   | 3500       | Red     |
| Shelton Addition                           | 15         | Red     |
| HPE Renovation and Addition                | 15         | Red     |
| Greenhouse Complex No.3                    | 150        | Red     |
| Rec Support and Field Services             | 112.5      | Red     |

*\*The proposed transformer locations shown in this table are preliminary and subject to change. Final placement will depend on the actual locations of the proposed buildings and site layout adjustments during design development.*

**Figure 8.** Proposed Pad Mounted Switchgear

| PMH Name                        | Voltage Class (kV) | Continuous Current Rating (A) | Loop       |
|---------------------------------|--------------------|-------------------------------|------------|
| PMH @ Indoor Practice Facility  | 15                 | 600                           | Blue       |
| PMH @ East Side Stadium         | 15                 | 600                           | Blue       |
| PMH @ Student Housing B No. 1   | 15                 | 600                           | Blue       |
| PMH @ Student Housing B No. 2   | 15                 | 600                           | Blue       |
| PMH @ Lumberjack Village        | 15                 | 600                           | Blue/Red   |
| PMH @ Raguet St.                | 15                 | 600                           | Red        |
| PMH @ South Ops. Building East  | 15                 | 600                           | Red        |
| PMH @ South Ops. Building West  | 15                 | 600                           | Red        |
| PMH @ Student Recreation Center | 15                 | 600                           | Red        |
| PMH @ Garage C                  | 15                 | 600                           | Blue       |
| PMH @ East Parking Lot          | 15                 | 600                           | Blue       |
| PMH @ Hall 16                   | 15                 | 600                           | Green      |
| PMH @ Student Housing A No. 2   | 15                 | 600                           | Green      |
| PMH @ Science Building North 1  | 15                 | 600                           | Green      |
| PMH @ Science Building North 2  | 15                 | 600                           | Green      |
| PMH @ Austin Building           | 15                 | 600                           | Green      |
| PMH @ Rusk Building             | 15                 | 600                           | Green      |
| PMH @ Science Building South    | 15                 | 600                           | Green/Blue |



## WATER

An existing 6-inch line runs from E. Starr Avenue, north to E. College Street and east to N. University Drive. The line appears to connect into the 12-inch main on E. Starr Avenue and ultimately into a 12-inch line within N. University Drive. It is recommended to consider upsizing this line to a 12-inch line in the future and making an additional connection into the 12-inch City main at E. College Street. Upsizing this line would alleviate any low fire flows that the campus is experiencing while allowing for scalability for future growth conditions.

The existing 8-inch asbestos concrete line from E. College Street running north to the new Fieldhouse is recommended for replacement.

Existing double-check valve assemblies throughout the campus are currently located in underground vaults. At the direction of the University, it is recommended that these be replaced with reduced-pressure backflow assemblies installed in above-grade enclosures. Relocating the assemblies above grade will improve accessibility and simplify maintenance. The new enclosures should also

be equipped with slab-mounted heaters to provide freeze protection. The exact location of these enclosures will be coordinated with the landscape architect and approved by the University since they can visually impact the area.

Fire hydrants will need to be relocated where in conflict with the proposed campus layout. Current guidelines require 400 feet of hose lay length between hydrants along a fire lane. Hydrants will need to be added along the proposed Wilson Drive relocation. As individual buildings begin design, the hose lay to all corners of the building will need to be evaluated. NFPA requires a maximum of 450 feet hose lay from the fire lane to all corners of the building when the building is equipped with a fire protection sprinkler system.

**Figure 9.** Proposed Domestic Water Service Pipe Sizing

| Building  | GSF     | Population served | Avg. Flow (MGD) | Avg. Flow (GMP) | Est. Max Daily Flow Water Demand | New Pipe Dia. (In.) | New Pipe Material |
|---|---------|-------------------|-----------------|-----------------|----------------------------------|---------------------|-------------------|
| Science Building  | 160,000 | 640               | 0.1376          | 95.56           | 215.01                           | 3                   | PVC               |
| Boynnton Music Addition                                 | 28,500  | 114               | 0.0245          | 17.01           | 38.27                            | 3                   | PVC               |
| Art Building  | 113,500 | 454               | 0.0976          | 67.78           | 152.51                           | 3                   | PVC               |
| Facilities Services & Operations / Academic Building    | 105,000 | 420               | 0.0903          | 62.71           | 141.1                            | 3                   | PVC               |
| Greenhouse Locations*                                   | -       | -                 | -               | -               | -                                | 2                   | PVC               |
| South Operations Building                               | 87,360  | 349               | 0.075           | 52.08           | 117.18                           | 3                   | PVC               |
| Baseball Venue  | 7,745   | 2,285             | 0.4913          | 341.18          | 767.66                           | 4                   | PVC               |
| Softball Venue  | 5,814   | 1373              | 0.2952          | 205             | 461.25                           | 4                   | PVC               |
| Student Recreation Center Renovation & Addition (SRC)** | 112,754 | 451               | 0.097           | 67.36           | 151.56                           | 3                   | PVC               |
| HPE Renovation & Addition**                             | 134,550 | 538               | 0.1157          | 80.35           | 180.79                           | 3                   | PVC               |
| Rec. Support - Field Services Building                  | 4,000   | 16                | 0.0034          | 2.36            | 5.31                             | 3                   | PVC               |
| Johnson Coliseum Renovation & Addition**                | 114,656 | 459               | 0.0987          | 68.54           | 154.22                           | 4                   | PVC               |
| Fieldhouse  | 190,081 | 760               | 0.1634          | 113.47          | 255.31                           | 4                   | PVC               |
| Football Stadium  | 42,037  | 168               | 0.0361          | 25.07           | 56.41                            | 3                   | PVC               |
| Soccer Venue (Visitor Locker Room)                      | 4,700   | 19                | 0.0041          | 2.85            | 6.41                             | 3                   | PVC               |
| Indoor Practice Facility                                | 95,260  | 381               | 0.0819          | 56.88           | 127.98                           | 3                   | PVC               |
| Auditorium/Welcome Center                               | 32,500  | 130               | 0.028           | 19.44           | 43.74                            | 3                   | PVC               |
| Student Housing A                                       | 191,250 | 765               | 0.1645          | 114.24          | 257.04                           | 4                   | PVC               |
| Student Housing B                                       | 281,750 | 1127              | 0.2423          | 168.26          | 378.59                           | 4                   | PVC               |
| Student Housing C                                       | 280,030 | 1120              | 0.2408          | 167.22          | 376.25                           | 4                   | PVC               |
| Student Housing D                                       | 115,150 | 461               | 0.0991          | 68.82           | 154.85                           | 3                   | PVC               |
| Police Facility (as part of Garage C)                   | 10,500  | 42                | 0.009           | 6.25            | 14.06                            | 3                   | PVC               |

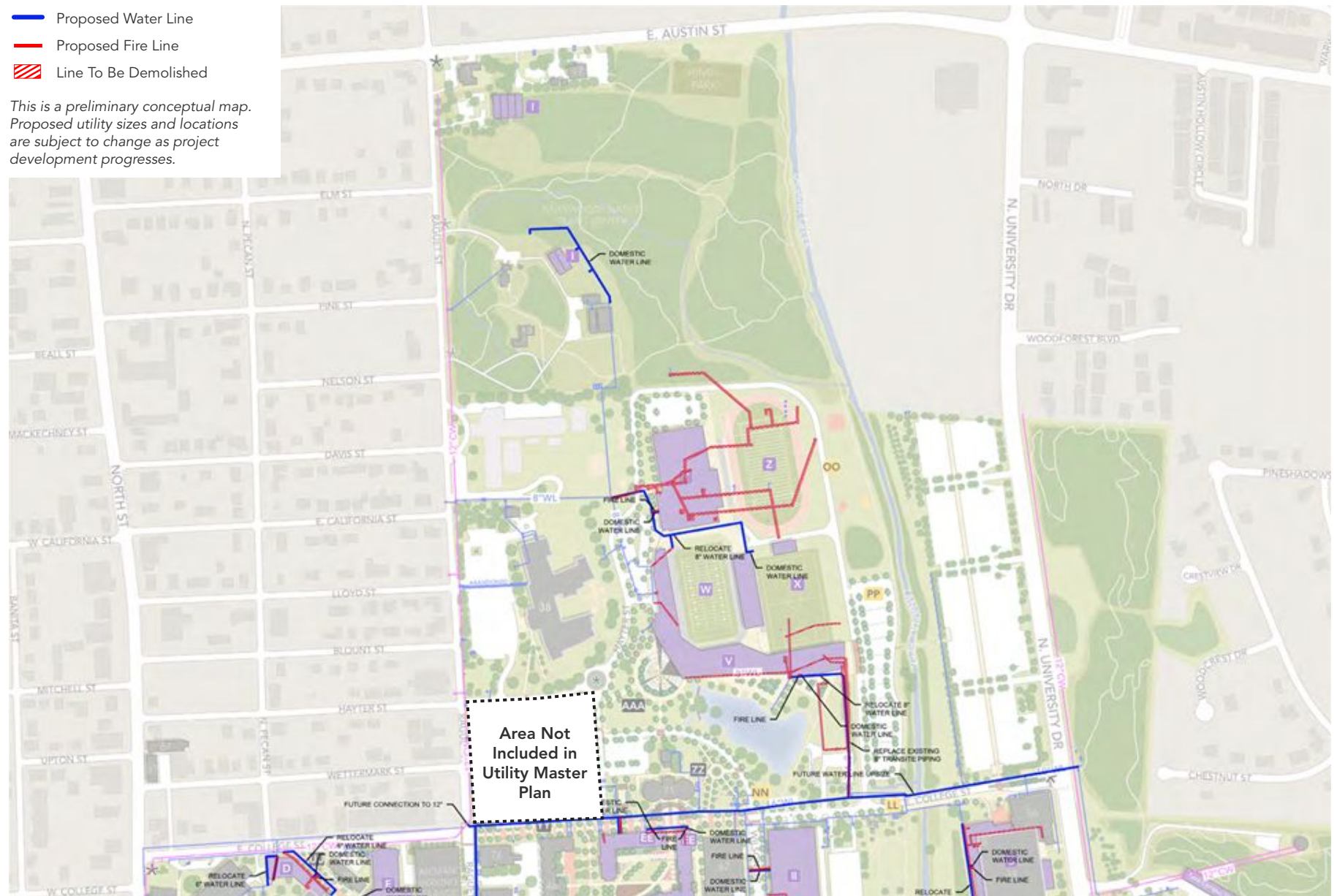
Gallon per capita of 215 used  
Peak factor of 2.25 used

\*It is anticipated that each greenhouse complex will have a 2" domestic service line. Further evaluation of the domestic service line will be required upon finalization of the greenhouse locations.

\*\*GSF includes additions to the existing building. It is anticipated the existing service will be upsized.

- Proposed Water Line
- Proposed Fire Line
- Line To Be Demolished

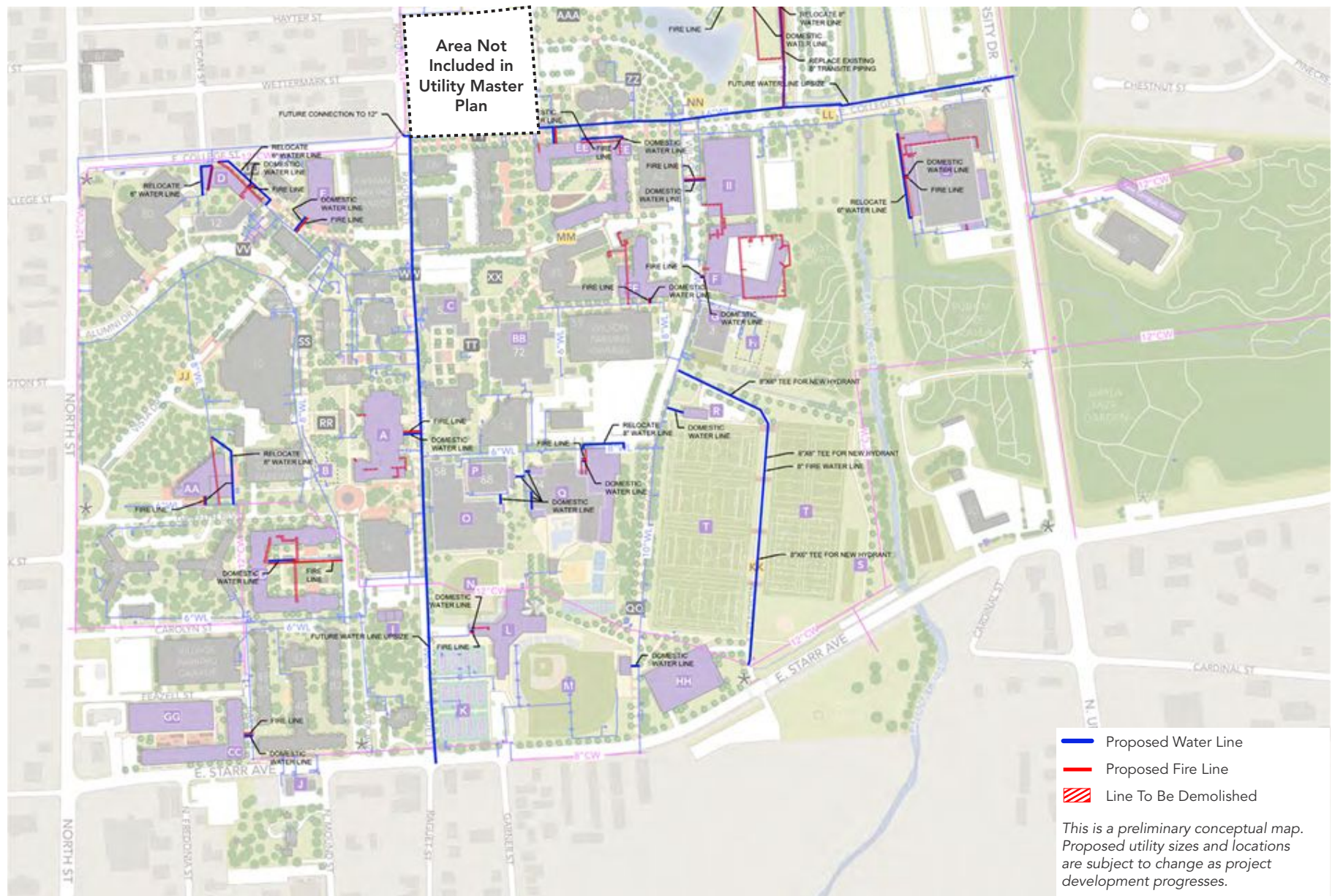
*This is a preliminary conceptual map. Proposed utility sizes and locations are subject to change as project development progresses.*



**Map 9. Proposed Water - North**

Scale: N.T.S.





## SANITARY SEWER

Portions of the existing sanitary sewer system will need to be relocated to accommodate the proposed campus layout. The existing network to be relocated consists of multiple gravity-fed lines and associated services. The key considerations for the realignment involve conflict avoidance, maintainability and gravity flow continuity. It is imperative from a cost and maintenance perspective that lift stations be avoided where a gravity flow solution is present. Manholes shall be utilized when changing direction or slope along the main lines. Sanitary sewer laterals shall have cleanouts at any change in direction.

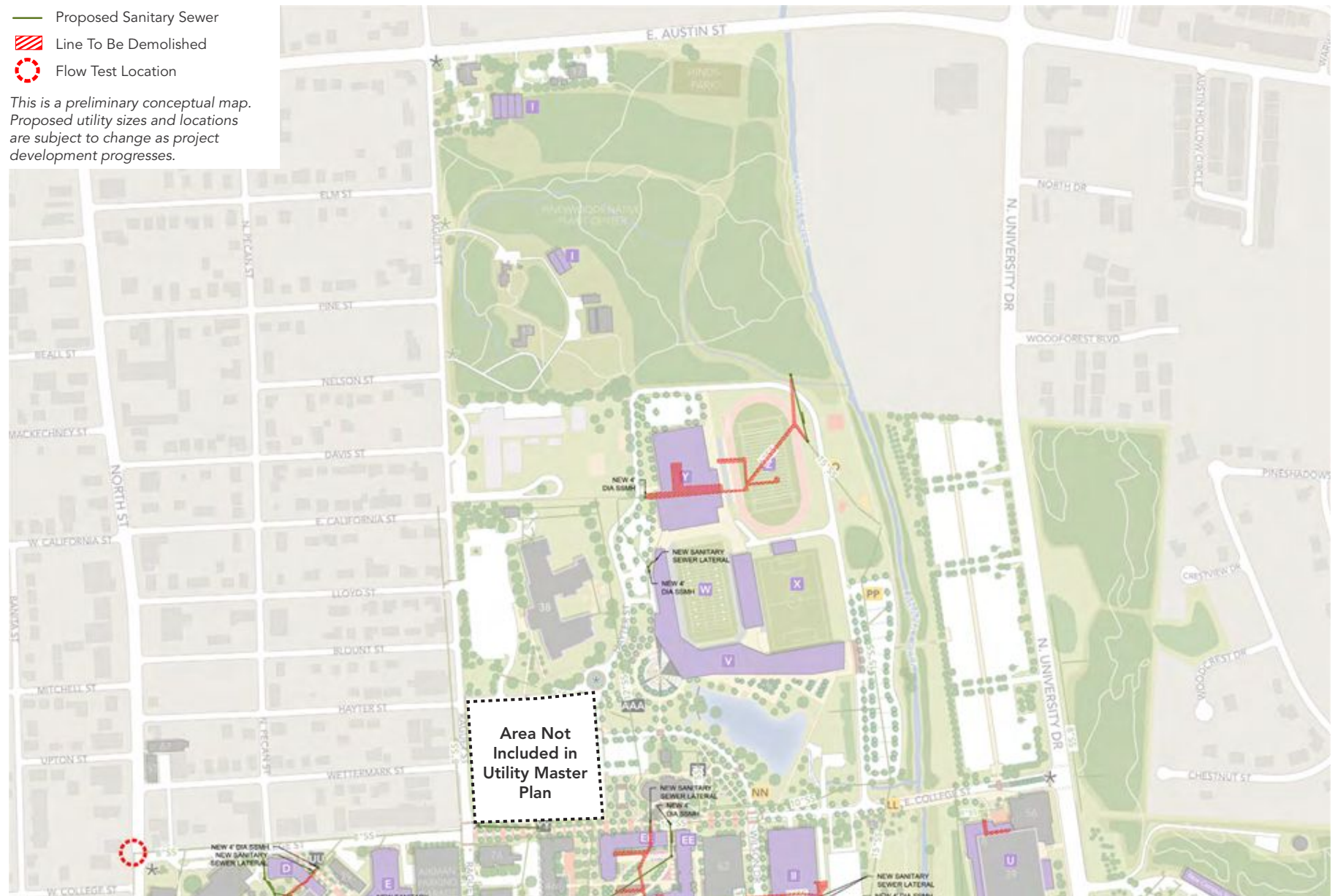
It has been noted by SFA staff that sanitary sewer waste is leaking into the Ag Pond from the adjacent system. The identification of the source of this flow and remediation of the situation should be a high priority for both the campus and city. It is recommended that a CCTV inspection of nearby lines be conducted. Where lines are not collapsed, but suspected leaking occurs at the joints and connections to manholes, a trenchless relining coating can be applied to the interior of the pipe and manhole to prevent leaking and extend the life of the system. Full sewer line replacement is recommended for the collapsed or damaged section of the lines. This process should occur alongside the City of Nacogdoches, as it is known that the 8-inch City-owned line along Raguette St has known inflow and infiltration issues and may be the source of the leaks.

The sanitary sewer lateral serving the Austin Building has been identified for replacement, as this line has been an ongoing maintenance problem. Additionally, the 6-inch line from E. Starr Ave to the STEM Building has been identified for replacement, along with the associated manholes, due to the age and maintenance issues with the vitrified clay pipe.

It is recommended that SFA perform flow testing along various main lines to determine existing flow conditions and line capacity. This testing will provide data on base flow conditions, peak flows, line and manhole capacities, and potential blockages or restrictions. Map 11 and Map 12 on the following pages identify five locations for flow monitoring and testing. These locations were selected to provide representative data covering the majority of the campus sewer infrastructure.

- Proposed Sanitary Sewer
- ▨ Line To Be Demolished
- ⊗ Flow Test Location

*This is a preliminary conceptual map. Proposed utility sizes and locations are subject to change as project development progresses.*



**Map 11. Proposed Sanitary - North**

Scale: N.T.S.





## STORM SEWER

It is recommended to maintain overall existing drainage patterns. Stormwater runoff north of E. College Street will continue to be captured and directed to the Ag Pond, with runoff ultimately discharging to Lanana Creek. Runoff south of E. College Street will be captured and directed southeast to Lanana Creek. Future development should consider low-impact development solutions, such as bioswales and rain gardens, to avoid adverse impacts to the Ag Pond and Lanana Creek.

Portions of the existing storm system will need to be relocated to accommodate the proposed campus layout. The proposed relocation of the existing lines is provided in this report. Inlets and associated laterals will need to be removed and installed along the new road layouts as determined by final grading design. Curb inlets are proposed along the new Wilson Drive layout, which outfall into the existing ditch leading to Lanana Creek. Junction boxes will be installed to redirect the storm lines around the proposed buildings. A new outfall to the Ag Pond is proposed to accommodate the new layout of the stadium and fields north of E. College Street.

It has been noted by SFA staff that ponding occurs adjacent to the McGee Business Building, McKibben Education Building, and the proposed Science Building. It is anticipated that the construction of the proposed Science Building and Central Mall Area landscape project will resolve drainage issues in these areas. A topographic survey of the courtyard and surrounding areas of the McGee Business and McKibben Education Buildings should be performed to identify the problem areas and determine the measures of grading and drainage improvements.

The Johnson Coliseum is planned for significant renovations/additions. If possible, it would be prudent to raise the finished floor elevation (FFE) above the flood limits to prevent future flooding. This would minimize the need for the existing levee and pumps which are continuous maintenance and cost items. The existing storm lines and check valves for this building should be a high priority for repair.



*Example of a Rain Garden Designed to Collect Runoff and Provide Habitat to Wildlife*

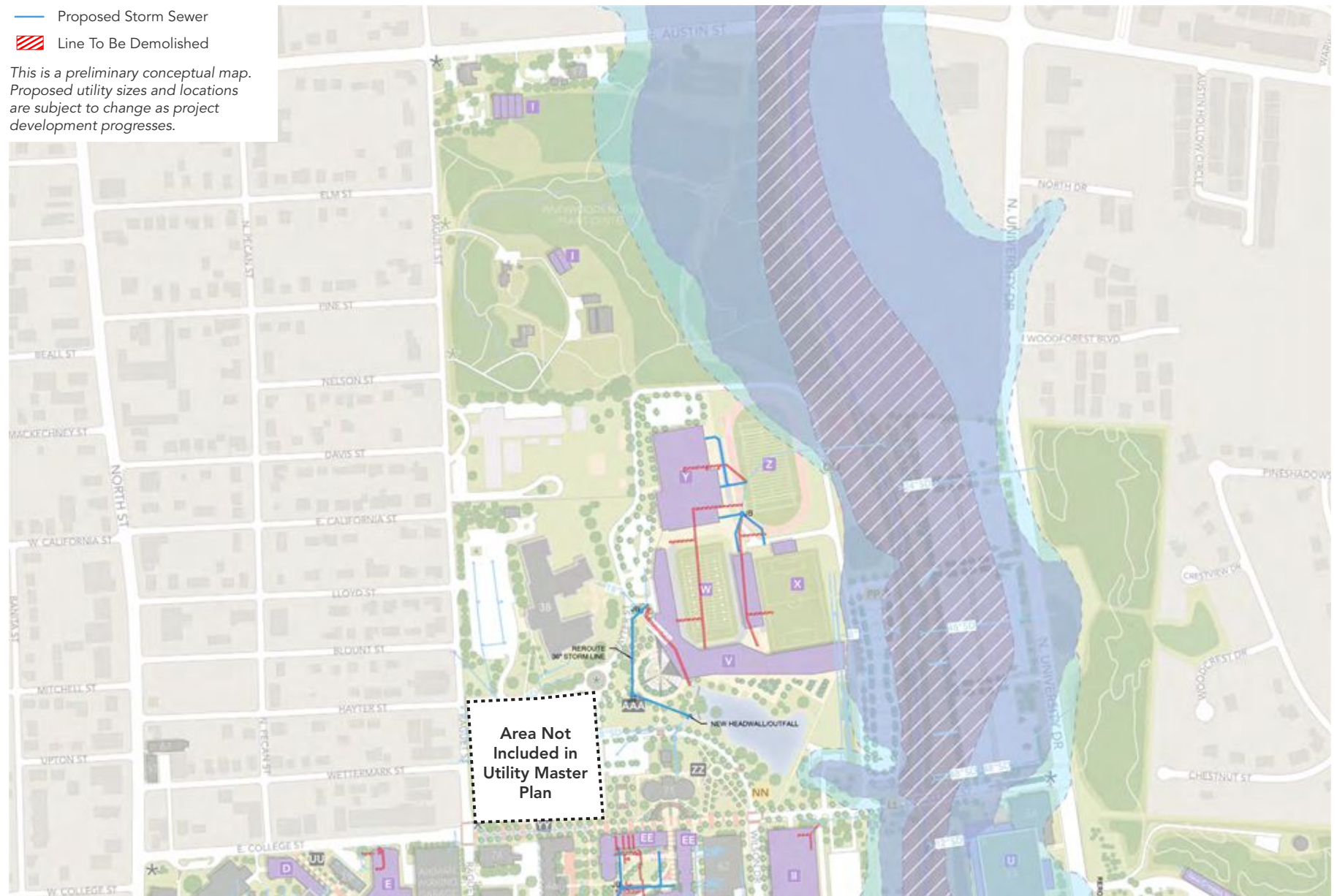


*Example of a Retention Pond Designed to Retain Excess Stormwater*



- Proposed Storm Sewer
- ▨ Line To Be Demolished

*This is a preliminary conceptual map. Proposed utility sizes and locations are subject to change as project development progresses.*



**Map 13.** Proposed Storm - North

Scale: N.T.S.





## MECHANICAL

Based on coordination with the client, the campus will retain and expand five central chiller plants to meet the projected cooling demands from future buildings and campus growth. These plants are:

- Plant 1
- Plant 2
- ECRC Plant
- Griffith-Kerr Plant
- Coliseum Plant

The proposed approach ensures that future loads are distributed strategically across the campus, leveraging existing infrastructure while addressing aging equipment and enhancing redundancy. These expansions will support both near-term and long-term campus growth, while also incorporating energy-efficient design strategies such as optimized variable frequency drives (VFDs), high-efficiency chillers and advanced controls for system balancing. The improvements will also provide resiliency against equipment outages and future climate-driven load increases. The approximate cooling capacity required for the buildout of the campus is shown in Figure 12.

**Figure 10.** Summary of Plant Removals and Load Transfers

| Plant Removed       | Loads Transferred To |
|---------------------|----------------------|
| ART/AG Plant        | Plant 2              |
| Village Plant       | Griffith-Kerr Plant  |
| BPSC Plant          | Griffith-Kerr Plant  |
| Human Science Plant | Plant 2              |

**Figure 11.** Summary of Plant Proposed Conditions

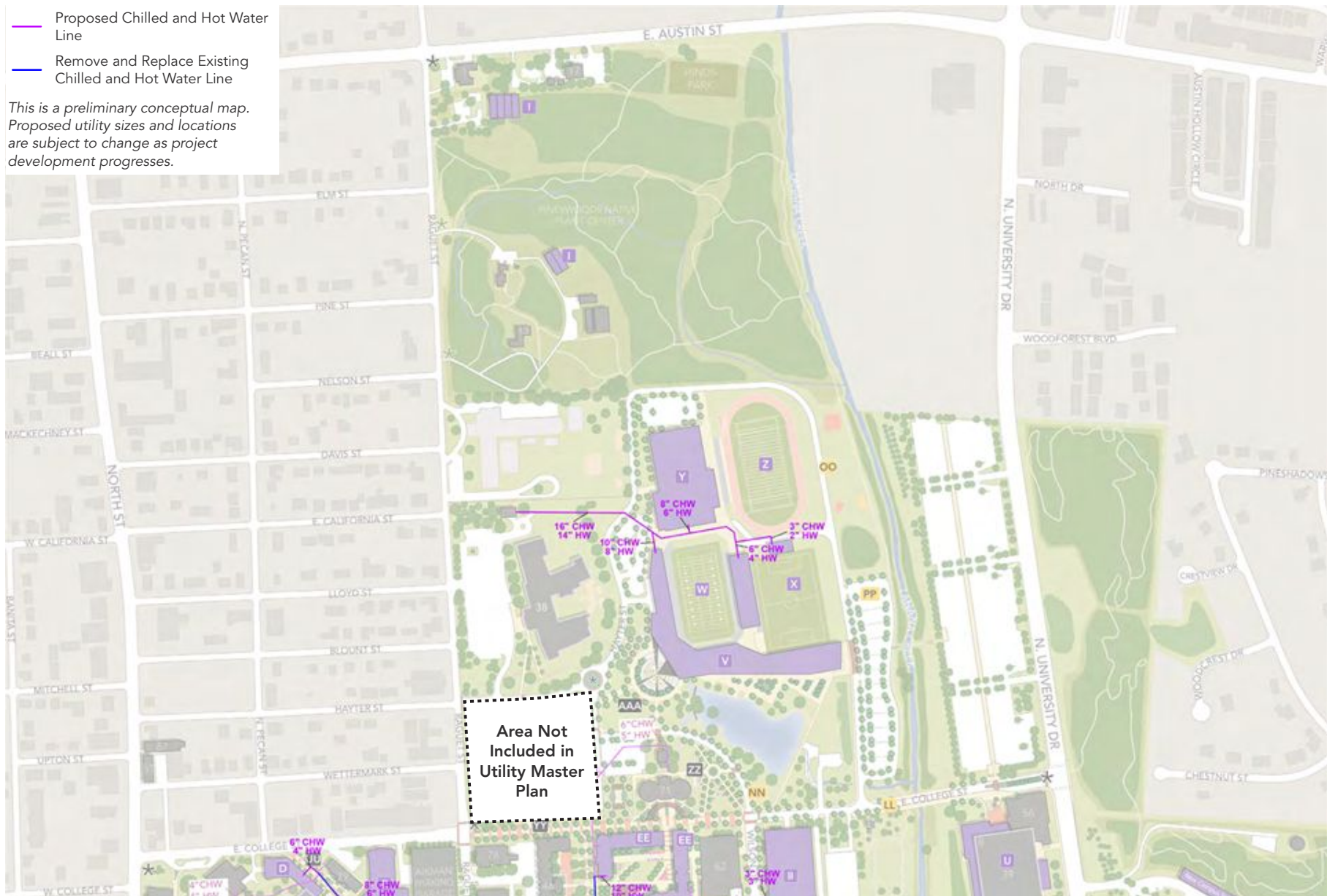
| Plant               | Additional Cooling Load (Tons) | Notes   |
|---------------------|--------------------------------|---|
| Plant 1             | 1,180                          | Expansion to improve reliability; addresses aging piping infrastructure.  |
| Plant 2             | 2,180                          | Largest plant; maintains redundancy and backbone of chilled water system. |
| ECRC Plant          | 1,110                          | Expansion with new chiller and cooling tower to add redundancy.           |
| Griffith-Kerr Plant | 1,690                          | Existing tower and piping in good condition; focus on added chillers.     |
| Coliseum Plant      | 71                             | Self-contained plant requiring significant modifications.                 |

**Figure 12.** Summary of Approximate Cooling Capacity Required for Campus Buildout

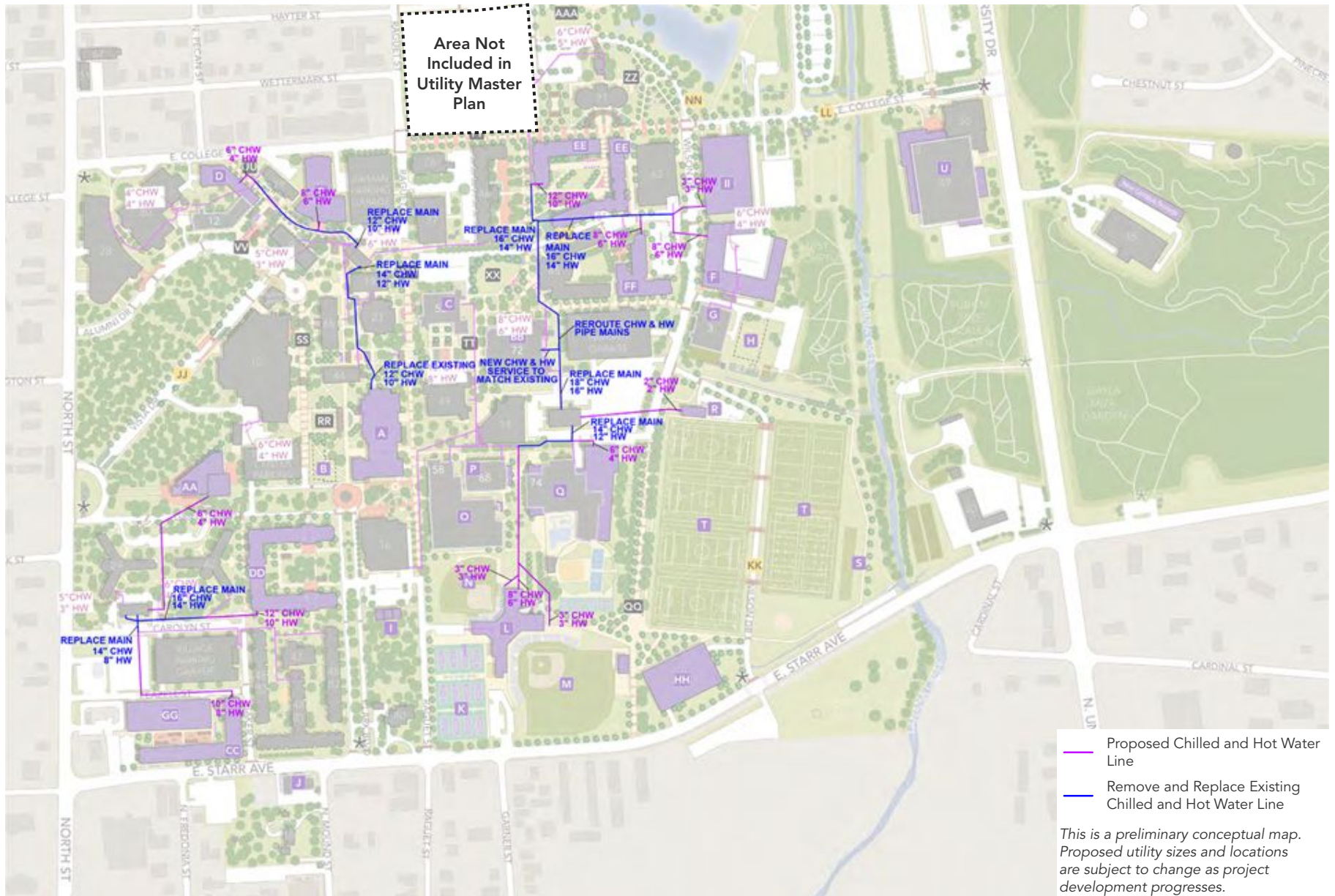
| Plant   | Building   | Gross Square Feet Addition | Approx. Chilled Water Capacity (Tons) |
|---------|--|----------------------------|---------------------------------------|
| Plant 1 | Boynton Music Addition                               | 28,500                     | 95                                    |
| Plant 1 | Art Building   | 113,500                    | 378                                   |
| Plant 1 | Science Building                                     | 160,000                    | 711                                   |
| Plant 2 | South Ops  | 87,360                     | 291                                   |
| Plant 2 | SRC Additions  | 33,999                     | 113                                   |
| Plant 2 | Residence Hall C                                     | 280,030                    | 933                                   |
| Plant 2 | Residence Hall D                                     | 115,150                    | 384                                   |
| Plant 2 | Shelton Addition                                     | 2,150                      | 7                                     |
| Plant 2 | Baseball Ballpark (Club/ Suites)                     | 7,745                      | 26                                    |
| Plant 2 | Softball Ballpark (Club/ Suites)                     | 5,814                      | 19                                    |
| Plant 2 | HPE Addition   | 1,200                      | 4                                     |
| Plant 2 | Rec. Field Service Building                          | 4,000                      | 13                                    |
| Plant 2 | Facilities Services & Operations / Academic Building | 105,000                    | 350                                   |

| Plant         | Building                           | Gross Square Feet Addition | Approx. Chilled Water Capacity (Tons) |
|---------------|------------------------------------|----------------------------|---------------------------------------|
| Plant 2       | Garage C Police Facility           | 10,500                     | 35                                    |
| Griffith Kerr | Student Housing A                  | 191,250                    | 638                                   |
| Griffith Kerr | Student Housing B                  | 281,750                    | 939                                   |
| Griffith Kerr | Auditorium/Welcome Center          | 32,500                     | 108                                   |
| ECRC          | Fieldhouse                         | 190,081                    | 634                                   |
| ECRC          | Football Stadium                   | 42,037                     | 140                                   |
| ECRC          | Indoor Practice Facility           | 95,260                     | 318                                   |
| ECRC          | Soccer Venue (Visitor Locker Room) | 4,700                      | 16                                    |
| Coliseum      | Johnson Coliseum                   | 21,440                     | 71                                    |





Map 15. Proposed Mechanical - North



Map 16. Proposed Mechanical - South

Scale: N.T.S.

# **APPENDIX F**

## **TECHNOLOGY MASTER PLAN**





# EXECUTIVE SUMMARY

Stephen F. Austin State University is reevaluating how technology supports its academic mission, administrative operations, and campus life. As part of a broader master planning initiative, the University commissioned a detailed assessment to gain a clearer understanding of its current technology landscape and to identify opportunities for improvement.

The assessment process was both comprehensive and collaborative. It involved direct engagement with a wide range of campus stakeholders, including Information Technology Services (ITS), Audiovisual Services, Facilities Management, Athletics, University Police, Residence Life, faculty, staff and students. Interviews and focus groups were complemented by walk-throughs of academic buildings, residence halls, and shared spaces to observe how technology is being used in real-world settings. This approach helped surface not only technical conditions but also user experiences and operational challenges.

What emerged is a clear picture of a University that has made steady investments in foundational technologies but is now encountering the limits of those systems. Many components remain functional and continue to support day-to-day activities; however, aging infrastructure, fragmented deployment practices and limited scalability are beginning to impact reliability and flexibility. In several cases, the physical layout and design of

systems—such as cabling, network spaces, security and audiovisual installations—pose constraints to modernization and expansion.

Stakeholder feedback reinforced these observations. Faculty and staff noted areas where technology is dependable and well-integrated, while also pointing out inconsistencies in performance, support, and access. Students shared perspectives on connectivity, classroom tools and residential technology, highlighting both strengths and areas for improvement. Technical teams described challenges in maintaining legacy systems, coordinating upgrades and responding to evolving institutional needs with limited resources.

Taken together, these findings suggest that a more strategic and coordinated approach to technology planning would be beneficial. There is a strong case for rethinking how core systems are planned, not only to address current limitations but also to support future growth, flexibility and resilience. This includes considering life cycle planning, standardization, and integration across platforms and departments.

This overview is intended to support informed decision-making and guide future investments. It reflects current conditions and provides a foundation for developing a technological environment that is reliable, adaptable and aligned with the University's long-term goals.

In addition to the recommendations listed in this section, it is recommended that the campus maintain an accurate geographic information system (GIS) of their existing technology infrastructure. GIS would allow the campus to have centralized utility data showing where each asset is, when it was installed and its maintenance history. This will lead to efficient maintenance repairs and damage prevention. This also allows for smooth collaboration between the campus and architects/engineers when designing future projects.

This document is organized as follows:

- A high-level identification of the principal areas of focus.
- A review of technology systems on campus with recommendations.
- An examination of user groups, their unique needs and recommendations.
- A discussion of financial planning with recommendations to improve service delivery.
- Appendices
  - Budget considerations for the projects identified in the Master Plan.

# FOCUS AREAS

## REFRESH CYCLES

Technology refresh efforts need to be more intentionally planned and properly funded. The current approach is inconsistent, with many technology refresh activities embedded within capital projects. This practice obscures the true cost of technology updates, inflates capital construction budgets, and complicates the scheduling of necessary upgrades—ultimately doing a disservice to the institution.

## STAFFING

The current IT staff at SFA is highly capable and well aligned with the University's needs. However, staffing levels are not sufficient to support the growing demands of the institution's technology infrastructure, which has expanded significantly over time while staffing has remained largely unchanged. This imbalance is increasingly unsustainable.

Recruitment and retention continue to be major challenges, largely due to SFA's rural location. The limited local talent pool and reluctance of candidates from urban areas to relocate—given the risk of needing to move again if the role does not work out—make it difficult to attract qualified professionals.

For those who do commit to SFA, career advancement opportunities have been identified as limited. This is reflected in internal movement within IT branches, as staff seek new challenges and growth. As

employees gain experience and take on more responsibility, their value to the University increases substantially. However, there are few formal mechanisms to recognize or reward this growth.

In the technology sector, skills are highly transferable, and compensation benchmarks are easily accessible across industries. This makes it easy for staff to identify pay disparities, which can lead to attrition. While SFA fosters a culture of learning and development, the recognition and reward structures do not currently align with industry standards.

Addressing these issues will require strategic investment in staffing, career development pathways, and competitive compensation to ensure SFA remains a viable and attractive workplace for top IT talent.

## FUNDING

While funding challenges are common across institutions, they are particularly evident when planning for technology replacement cycles and staff compensation. Historically, spending has often been tied to capital construction projects, resulting in uneven and reactive investment patterns. A more deliberate, evenly distributed funding strategy would promote greater stability and enable more accurate forecasting of long-term needs.

As capital improvements slow—due to reduced demand or shifts in macroeconomic conditions—maintaining sustainable technology refresh cycles and competitive compensation becomes increasingly difficult. Without a proactive funding model, the university risks falling behind in both infrastructure and talent retention.

## TRANSITION TO UNIVERSITY OF TEXAS (UT) SYSTEM

The transition to the UT System has had a broad impact across the University, though its effects on the IT department have been less immediately visible. While the department stands to benefit from the system-wide resources and standards, the transition also introduces new challenges. The UT System mandates a range of policies and procedures that all member institutions must adopt. While the value of these policies is clear, their timing and prioritization do not always align with SFA's immediate operational needs.

To navigate this effectively, a more comprehensive and strategic approach is needed—one that aligns SFA's IT priorities with UT System requirements in a phased and thoughtful manner. This would allow SFA to continue advancing its highest-priority initiatives while progressively building toward full compliance and integration with system-wide standards.

# PHYSICAL INFRASTRUCTURE

## OUTSIDE PLANT

Almost all newly installed outside communications media is fiber optic these days. There are, however, some legacy needs for copper circuits. At this point, ITS typically installs minimal copper cable pairs to provide for the legacy needs in or surrounding new buildings. For existing buildings with many more copper pairs already installed, we recommend keeping copper cabling in place. This cable represents a significant investment by the institution, and the cost of removing the cable is significant. As new construction disrupts or congestion inhibits the use of existing pathways, removing cable is warranted. Otherwise, the expense of cable removal is difficult to justify.

The goal of the outside plant is to provide two independent pathways to each building. This minimizes the likelihood of service interruptions to these buildings. For smaller, outlying buildings, this will be impractical.

In general, all branching of cabling should happen outside buildings. The buildings themselves should not be used as part of the outside pathway system. Should a building become unavailable, due to planned renovation or a catastrophic incident, only that building is impacted.

As changes take place on campus, capitalize on all opportunities when the ground is opened, to expand the outside plant pathway system. The more pathways available, the more resilient the network.

## INTRA-CAMPUS

Installation of new outside plant cabling is often done by ITS. They place cabling in duct banks, fusion splice the glass and test the cabling for damage and proper connections.

Most of the network topology follows the preferred fiber ring topology. This offers much greater flexibility for the network infrastructure and affords an easy means of providing path diversity. Having path diversity allows segments of the ring to be “opened” without disrupting service. As this Master Plan envisions numerous changes to the campus, having this flexibility is crucial. As the campus expands, continued emphasis on ring topology is important. This opportunity should also be leveraged to complete rings and “unfold” rings, which, while logically diverse, physically share common pathways.

Installation of air-blown fiber (ABF) should be considered for future installations. This technique has the potential for faster installation and replacement of optical fibers.

## INSIDE PLANT

SFA has recently been deploying Cat 6 cabling for all new installations. We recommend considering installation of Cat 6A, especially in new buildings. Furthermore, installation of shielded cabling, F/UTP, should also be considered.

## TELECOM SPACES

Telecom spaces should provide properly sized and environmentally controlled space with limited access. New construction on campus has embraced these requirements, but many legacy spaces do not. Legacy spaces are often shared with mechanical equipment or housekeeping materials and often lack environmental controls appropriate for technology.

A plan for systematically upgrading telecom spaces should be developed. All telecom spaces should be documented to identify those inconsistent with industry standards.

## TELECOM PATHWAYS

Pathways are often an overlooked aspect of the structured cabling system. At least 50% of the cost of installing new data outlets is the cost of placing the cable. When appropriately sized, easily accessible pathways are available,



the cost of placing that cabling is dramatically decreased. Since structured cabling systems are much more dynamic than other utilities, upfront investments that decrease future operating costs yield net savings for the institution. As mentioned earlier, SFA IT staff is undersized relative to the demands placed on it. Decreasing the time required to install new cabling provides both cost savings and improved utilization of available staff.

## CABLING

The useful life of data cabling is typically considered 10 – 15 years. The cost of replacing data cabling is dominated by labor costs. To maximize investment, the institution should strive to maximize the time between cable replacement and minimize the labor required to do so. Providing adequate, easily accessible cabling pathways is the best investment for decreasing labor costs. Installing a higher category of cabling implies a longer useful life for the cabling. Over the last 20 years, a shielded version of a category of cabling has yielded performance equivalent to the performance of the next higher category of unshielded cabling. Shielded cabling represents approximately 10% premium (fully loaded cost) over the unshielded version. Considering that shielded cable performs like the next generation of cabling, this can defer re-cabling by several years. The cost of cabling has remained relatively stable over the past 20 years. Extending useful life by 50% for a 10% premium makes good fiscal policy.

Additionally, metal-shielded cabling offers better heat dissipation than unshielded, UTP, cabling. As more power is supplied over

ethernet cabling, this advantage becomes significant.

## CONNECTIVITY

End-user connectivity is increasingly shifting toward wireless technologies. Wi-Fi has become the primary gateway to the internet, cellular networks keep us connected socially, and Bluetooth links our earbuds, printers and even unlocks our doors. Additional technologies support functions like wayfinding and cashless payments, further enhancing the wireless experience.

## WIRELESS

It is increasingly rare for students to carry Ethernet cables, making ubiquitous Wi-Fi coverage essential throughout campus buildings. In addition to broad area coverage, high-density coverage must also be prioritized, particularly in classrooms, meeting spaces and student housing where device usage is most concentrated.

The recent deployment of “hotel-style” access points has proven highly effective. This approach, which is gaining traction in student housing, places SFA ahead of the curve. These access points not only deliver excellent wireless coverage but also provide wired Ethernet ports for added flexibility. With dense deployment, the network can automatically compensate for individual access point failures by allowing devices to seamlessly roam to nearby units.

To support this performance, it is recommended to provision two 10 Gbps connections per access point. As wireless

radio technologies continue to advance and more devices rely on Wi-Fi, this bandwidth is necessary to ensure each access point can operate at full capacity.

## CELLULAR

Cellular coverage is very important to the current generation of college students. Although a cellular site is located on campus, coverage within buildings is often poor.

Improving poor cellular coverage within buildings is often a complex and time-consuming process. Enhancing signal strength typically requires coordination with the cellular carrier, which holds the radio spectrum license, making the effort lengthy and often tedious. To help address this challenge, the FCC has authorized the use of cellular spectrum over Wi-Fi, which is expected to significantly improve indoor connectivity. Given this development, traditional, in-building cellular solutions should be approached with caution.

Athletic venues, however, present a unique case. The high concentration of devices in a confined area during events can easily overwhelm the macro cellular network. In these environments, collaboration with cellular carriers is essential to ensure reliable coverage. This not only supports the operational needs of SFA Athletics but also helps meet the expectations of attendees and enhances the overall fan experience.

## PRIVATE LTE

For a campus the size of SFA, the installation of a private LTE network should be explored. This offers some interesting opportunities for the institution. The opportunity is two-fold. Private LTE offers a mechanism to extend and expand the carrier macro network. This supports events that bring large numbers of visitors to campus, such as sporting events or commencement. The macro network is not designed to accommodate such large changes in system demand. Similarly, providing access deep into campus buildings or cellars is also difficult to support from the macro network. Extending service into these areas helps not only students, but also employees and contractors who work in these spaces.

Private LTE also offers economical technology for extending network services. Registered devices can be connected to campus IT resources in the same way that devices connect to Wi-Fi. This can be leveraged for providing emergency alerts, supporting mobile data, providing connectivity for blue light phones and surveillance cameras in parking lots, and mobile data for the campus police. Since this technology is collected and managed by the campus, emergency communications can be prioritized and managed.

Historically, these systems were challenging to set up and manage, and negotiations with carriers were difficult to impossible. With the introduction of CBRS spectrum, carrier negotiations are streamlined. Connecting to the carrier network is handled via third-party

aggregators. Much of the newer technology is easier to set up and deploy, with many vendors such as Ericsson and Celona referring to the transceivers as “access points” rather than nodes.

## EMERGING TECHNOLOGY

NFC (Near Field Communication) technology is rapidly gaining traction. It is most seen at point-of-sale (POS) terminals, where users make payments using their smartphones. Beyond payments, NFC is also becoming increasingly popular for secure building and room access, offering a convenient alternative to traditional keys.

## DATA CENTER

The main data center in the Human Services building is well-managed and has ample available space. Currently, additional expansion within this facility is not anticipated. It has also been used to store spare IT equipment and material, likely due to space limitations elsewhere. Establishing dedicated storage and staging space on campus, or near campus, would improve operations. We estimate at least 15,000 SF is required for this function.

In contrast, the data center in the Boynton Building is older and in need of modernization. As the Master Plan envisions this area becoming part of the arts hub, relocating the data center to another part of campus is advisable.

Relocating the Boynton data center to the Facilities Services & Operations + Academic Building is the preferred location. Including the data center in this new building will make provisioning much easier. Although this location does little to mitigate the tornado threat, the building is expected to include an emergency generator, so this does mitigate the risk of a power loss to campus. As this location will be a principal command center for the campus, having data services collocated is extremely beneficial.

# NETWORK

## NETWORK ELECTRONICS

Network switching, routing and firewall management appear to be well-executed. The current topology reflects a strong emphasis on redundancy and resilience, and patching is performed in a timely manner. To maintain this level of performance and security, it is essential to ensure continued funding for timely hardware replacement that meets evolving throughput and cybersecurity requirements

## WORKSTATIONS

As noted elsewhere, technology refresh cycles require more consistent and adequate funding. Some users have expressed concerns that upgraded machines do not always align with their specific needs. ITS leadership is aware of this issue and has adjusted their criteria to better match equipment with user requirements.

## SERVERS

The principal server infrastructure at SFA is well-supported, with current hardware that is regularly patched and maintained. The ITS team demonstrates strong expertise in both Linux and Microsoft environments, enabling efficient deployment of virtualization and emerging microservices architectures.

However, there is evidence that some emerging computational needs are not being adequately supported. In certain cases, retired production servers are being repurposed to meet these demands—an approach that may not be sustainable. To address this, the computing environment should incorporate greater elasticity to support innovation and evolving workloads. While long-term funding will be necessary to accommodate major shifts in computing capacity, establishing flexible resources for exploratory initiatives and proof-of-concept projects would be highly beneficial.

## VOICE COMMUNICATIONS

SFA currently maintains an NEC hybrid PBX system. All voice trunks and most stations rely on VoIP. The system is also able to provide analog communication services. This is an asset since commercial carriers, such as ATT and Verizon, are retiring their analog service offerings. The primary challenge of this change lies in supporting legacy analog systems, such as elevator phones, fire alarm monitoring and emergency (blue light) phones.

The long-term solution is clear: replace these legacy devices with modern communication technologies. While maintaining support for existing services is practical in the near term, the industry's trajectory toward IP-based and cellular solutions demands proactive planning.

For non-critical services, analog gateways and ATAs offer viable interim options. For mission-critical systems, IP communications—alone or in combination with cellular redundancy—provide the reliability and resilience required.

Most importantly, POTS replacement must be approached holistically. NV5 has observed projects where multiple cellular POTS replacement devices were installed within a single building, creating unnecessary expense and management complexity. A unified, campus-wide strategy will optimize costs, simplify administration and ensure long-term scalability. By adopting this forward-thinking approach, SFA positions itself to lead in modern communications infrastructure while safeguarding operational continuity and emergency responsiveness.

## INTERNET OF THINGS (IOT)

The rise of the IoT presents significant challenges to campus network environments. While this shift has been anticipated for years, its real-world impact is only now becoming fully apparent.

Major concerns of the change are the management and security risk posed by these devices. Their affordability makes them attractive but also leads to their treatment as disposable commodities—often with minimal attention to patching or upgrades.



Increasingly, service providers and equipment vendors rely on remote access for monitoring, troubleshooting and updating systems on campus. This introduces complex security considerations that require dedicated time and resources to manage effectively.

Several strategies for addressing these challenges are available. Implementing these strategies requires up-to-date systems and staff resources to manage the plethora of devices. Until those criteria are met, the best course of action is to implement strict authentication and patching requirements. This is likely to slow the rate of adoption of these devices and ensure the security of the network.

## PHYSICAL STORAGE

ITS staff repeatedly brought up the need for storage and staging of new equipment as well as the accumulation of retired equipment. The central warehousing facility is not conducive to this need as it offers neither long-term storage, nor does it offer the inventory security required for these costly assets.

Storage requirements are both short-term and long-term. Short-term space is needed to receive technology shipments supporting

technology refresh cycles. Often, several hundred devices arrive at once. The devices need to be stored, configured and then deployed. The retired devices likewise need to be collected, wiped and stored for proper disposal. Long-term storage includes tools and materials for building network cabling systems. Cable boxes, reels of cables and ducts, cabling vehicles and trailers, tuggers, splicing equipment and other items. Since ITS does much of the cabling installation on campus, these assets are necessary and need secure, accessible places for storage.

## DISASTER RECOVERY/ BUSINESS CONTINUITY VS. AVAILABILITY

Relocating the Boynton data center to one of the planned new buildings, such as the proposed Facilities Services & Operations + Academic Building would improve the resilience of SFA's core IT infrastructure. Approximately 750 SF of space is required for this data center. The data center should have a separate entrance, so it is accessible by ITS 24/7, and to control access to the space. This building is expected to be provisioned with an emergency generator.

To ensure long-term institutional viability, leveraging the UT System's disaster recovery (DR) site is a prudent strategy. This approach would provide geographic redundancy and greater protection against regional disruptions. Implementing this solution will require increased funding—for initial setup, ongoing operational costs and future hardware refresh cycles. While not an immediate need, this is a critical long-term investment that should be incorporated into strategic planning and budget forecasts.

# AUDIOVISUAL

## DIGITAL SIGNAGE

Like many higher education institutions, SFA's digital signage infrastructure has grown organically, resulting in a fragmented and inefficient system. Individual monitors rely on small system-on-a-chip devices—such as Raspberry Pi—loaded with content via USB drives. For security reasons, these devices remain disconnected from the campus network, forcing staff to physically visit each sign for updates. This approach not only consumes valuable time and resources but also limits the institution's ability to deliver timely, consistent messaging.

Recognizing these limitations, SFA has taken decisive action by investing in Rise Vision, a robust, centralized digital signage solution. This strategic move establishes a unified hardware and software platform, streamlines support, and accelerates content refresh cycles. Beyond operational efficiency, the platform introduces copyright management safeguards and ensures cohesive, brand-aligned messaging across campus. Most importantly, it creates a powerful communication channel for urgent alerts and visitor engagement—positioning SFA as a forward-thinking institution committed to leveraging technology for enhanced campus experience and safety.

## CLASSROOM TECHNOLOGY

The audiovisual (AV) systems are currently adequate for supporting academic and operational needs. The university maintains an on-site inventory of spare parts and replacements, which helps ensure timely maintenance and system continuity. Newer buildings are being outfitted with modern AV technologies, aligning with current industry standards. However, to fully leverage these systems, staff training remains a critical area for improvement, as many users are not yet equipped to utilize the technology to its full potential. A limitation is the lack of access to the source code for AV control systems, which prevents the University's AV team from making necessary ad hoc adjustments. To address this, future AV contracts should include a requirement for contractors to provide complete source code and system documentation to the university upon project completion, ensuring long-term flexibility, autonomy and effective system management.

Since the onset of COVID-19, the number of Zoom-enabled spaces has grown significantly from just four rooms to 86, creating a new demand for additional microphones to support hybrid learning and remote collaboration. Meeting this requirement will require

dedicated funding to ensure these spaces are properly equipped and continue to function effectively. Addressing this need is essential to maintaining the quality and accessibility of AV services across campus.

## REFRESH CYCLES

To keep pace with evolving technology and maintain consistent performance across campus, SFA should follow a structured AV refresh cycle every five to seven years. This timeline allows the University to stay current without overextending resources.

The process should begin with a detailed review of existing AV systems to identify outdated equipment and areas where performance is falling short. Spaces with high usage or mission-critical functions should be prioritized for upgrades.

Procurement should focus on systems that are compatible with existing infrastructure and flexible enough to support future needs. New buildings should continue to be outfitted with modern AV solutions that align with current SFA standards and expectations.

After implementation, a review phase should be conducted to evaluate system performance and ensure that spare parts and replacements are stocked appropriately in the on-site inventory. This helps reduce downtime and supports ongoing maintenance.

## STAFFING

The University is experiencing growing demand for audiovisual support as AV systems become more integrated into classrooms, meeting spaces and campus-wide events. To effectively support this expansion, additional staffing is needed to manage day-to-day operations, provide timely technical assistance and maintain system reliability. This need extends beyond regular business hours, as many University events and activities take place in the evenings and on weekends. Expanding the AV team to include after-hours coverage will help ensure consistent support, reduce response times and enhance the overall user experience across campus.



# AUXILIARY SYSTEMS

## FIRE ALARM SYSTEMS

Fire alarm systems fall into the category of critical infrastructure that we hope never to use, making them easy to overlook until a failure occurs. This appears to be the case with many of the campus systems, which are now beyond end-of-support, cannot be upgraded, and are increasingly difficult to maintain. Some rely on outdated multimode fiber optics that ITS is actively working to retire. With the extensive campus changes envisioned in this plan, maintaining reliable physical connections for these systems presents an ongoing challenge.

Upgrading these legacy fire alarm systems will not only enhance building safety but also reduce the time and resources spent by ITS and Facilities staff on maintenance and troubleshooting. Additionally, many institutions are now leveraging fire alarm systems for urgent campus-wide announcements. We strongly support this trend, as it increases the utility of these systems and keeps them more visible and actively maintained.

## BUILDING AUTOMATION SYSTEMS (BAS) FACILITIES OPERATIONS

BAS has been widely used on university campuses, but it has functioned in a space separate from other information systems. The cabling, cabling pathways and signaling protocols have all been unique to that system. This is beginning to change. Increasingly, BAS is integrated with lighting, AV, fire alarm and other systems. Also, there is interest in mining these systems for insights into building usage, energy efficiency and other things correlating with other data.

We anticipate that BAS systems will increasingly migrate to Ethernet protocols using single pair Ethernet (SPE) and wireless media. SPE should use the same pathways and spaces as the general use network. Planning for this migration will have some impact on space planning and should be considered when planning new spaces.

### **SECURITY DOOR HARDWARE**

Replacing batteries in wireless locksets has been an ongoing challenge. Many other schools have experienced similar challenges. Residence Life is adamant about not managing keys for the students, so migrating to a wired lock system for student rooms is recommended.

### **WORK ORDER MANAGEMENT SYSTEM**

Upgrades to the work order management system would service Facilities well. The system is challenging to use and extract reports. Better data exchange with this and other systems would also be helpful.

# SECURITY SYSTEMS

## GENERAL

Electronic security systems have experienced the same challenges as other technologies on campus. Initial installation has been fine, but technology refresh has been largely neglected.

Current systems offer better feature sets, improved functionality, better integration and improved reporting. As the systems have migrated to IP communications, they have been much more open and interoperable.

## VIDEO SURVEILLANCE

Modern surveillance cameras are smaller, with higher resolution and better low-light sensitivity. Advanced analytics in the cameras offer tagging of images to make it easier to locate individuals or incidents in the archive. With higher resolution, cameras offer digital pan/tilt/zoom capabilities. This gives security the control and real-time situational awareness they want while continuing to record the entire scene without gaps. Virtual perimeters, motion sensors, and the like make the surveillance system more valuable for **detecting** incidents in progress rather than merely providing a record of the past. This changes the workload of the observer from trying to find potential issues to drawing their attention to areas that meet some threshold of interest.

Interest was expressed for establishing a campus perimeter, or at least, constraining vehicular access to campus to as few points

as possible. Much of this will be accomplished with landscaping and managing roadways. This will be supplemented by surveillance systems. Some interest was also expressed for license plate recognition technology. Placing these systems at the campus perimeter could allow campus police to be alerted when vehicles of interest enter campus.

## ACCESS CONTROL

Access control has not been a funding priority on campus. However, with the changing environment on campuses, this perception is changing. Certainly, all residential buildings need to have access control at the entrances. Academic buildings increasingly need access control for “after-hours” access, especially programs in which students work on projects at all hours. The library has been experimenting with never-late hours so that students can study whenever they wish. Adding access controls and duress buttons is crucial to maintaining student safety during these times.

## ALERT AND EMERGENCY COMMUNICATIONS

Mass notification is increasingly a necessity on campuses. There are many systems available to aid with this. Some systems and components are installed in the places

where the campus community is, while others leverage computers and mobile devices. More recently, these systems also incorporate alerting and duress buttons with the application. Some of these systems also offer features such as a virtual escort, which will verify that the individual reached their destination safely.

Ideally, these systems should tie-in to other systems on campus to allow a single alert to be communicated across all campus systems, such as digital signage and fire alarm paging systems.

SFA currently uses the Rave Guardian system to push alerts to constituents. Continued use and expansion of this system is encouraged.

## CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN

As the Master Plan is executed, it is important to keep in mind the principles of Crime Prevention Through Environmental Design (CPTED, pronounced “cep ted”). Fundamentally, people who are intended to be in a space should have a sense of ownership and control, and those who are not should feel exposed and vulnerable.

## TRAINING

Despite the best efforts of the security staff, the security of the University systems ultimately comes down to the users of those systems. Training of the users is a critical element of system security. For those of us who have sat through security training, getting users to listen, understand and modify their behavior is not a trivial task. Providing effective training requires creativity, thoughtfulness, careful observation and considerable perseverance. This is not a task that can be done as an afterthought. It must be deliberate.

It is important to develop a culture of good security practices at the institution. This needs to be built upon positive reinforcement rather than creating a punitive environment, as is most common. A number of anti-phishing campaigns have shown promise in this area. Expanding these lessons to all aspects of security is necessary.

## REPLACEMENT AND SPARES

For retrofit situations, an electric strike or cylindrical lockset make sense. For new construction, we recommend including door frame pathway system, such as [FrameFrog.us](https://www.framefrog.us/), to prepare for future additions and changes.

## CYBER SECURITY

The campus experienced a cyber security incident in 2023. Through the tremendous efforts of the ITS staff, the campus was able to return to normal operations in just a few weeks

with little loss of information. This should be contrasted with the months of curtailed operations and significant loss and damages experienced by major corporations.

This incident must serve as a warning to the institution. As a knowledge-based organization, access to and sharing of information is critical to the mission. Isolating the campus is not an option, so threats cannot be avoided. The institution must rely upon vigilance, strong operational policies and good training of all users.

## STAFFING

Maintaining vigilance requires additional, dedicated staff to monitor, assess, learn and teach security protocols. The threat is constantly evolving and maintaining a strong defense requires staff dedicated to this function.



# ATHLETICS & RECREATION

## SUMMARY

The University's ESPN studio and athletic venue infrastructure are significantly outdated, limiting broadcast quality, operational efficiency and the fan experience. Key issues include aging control systems, poor venue communications, inadequate lighting and connectivity, outdated scoreboards and sound systems, outdated medical technology and IT infrastructure. These limitations hinder modern sports broadcasting, student-athlete support and game-day operations.

## BROADCAST & COMMUNICATIONS INFRASTRUCTURE

### **BROADCAST STUDIO & CONTROL SYSTEMS**

SFA currently operates a broadcast studio, located in the Coliseum and built to ESPN's requirements, which has been in use for approximately 13 years. While it continues to support basic broadcast functions, the studio is dated and requires an upgrade to align with current production standards. The control systems and equipment show signs of wear and technological lag, which limit flexibility and scalability for modern sports broadcasting.

Connectivity from each of the sports venues to the studio is needed. Relocating the studio from the Coliseum to a more centrally located facility should be considered.

Additionally, each venue requires a local control room to support an upgraded in-venue experience. The ability to produce features such as pre-game, halftime, and post-game segments was mentioned specifically.

### **VENUE COMMUNICATIONS**

Talkback Systems: Limited or no announcer connectivity.

### **SIDELINE COMMUNICATIONS**

Wireless headsets are available, but only on home sidelines. Visitor sideline support is absent.

### **BROADCAST TRUCK ACCESS**

This is currently available at the Coliseum. Access is also required at each of the athletic venues.

### **IN-VENUE VIDEO**

Separate control systems exist for in-venue and broadcast operations, requiring both technical separation and dedicated staffing.

## VENUE TECHNOLOGY & INFRASTRUCTURE

### **STADIUM & PRESS BOX**

Both the Stadium and Press Box are due for replacement. Environmental conditions and outdated infrastructure limit functionality and expansion.

### **SCOREBOARDS & SOUND SYSTEMS**

Scoreboards: Many are outdated, including the one in Shelton Gym (late 1950s). The Coliseum scoreboard is heavy (3,500–12,000 lbs.) and lacks rigging support for speakers, limiting concert capabilities.

### **SOUND SYSTEMS**

Poor audio quality across venues. Cameras on the field lack infrared lighting, impacting night broadcasts.

### **LIGHTING & CONNECTIVITY**

Poor lighting in the Coliseum affects broadcast quality.

### **CONNECTIVITY**

Fiber is available in some areas, but copper extensions are still used (e.g., across the bridge to the commuter lot). Wi-Fi is available in at some seating in the Coliseum, but needs to be expanded to more seats and at all venues. Wi-Fi also needs upgrades to

support mobile ticketing and fan engagement. Providing private LTE at the venues could address many of these challenges, possibly at a better price point than Wi-Fi.

### **TICKETING & FAN EXPERIENCE**

To support mobile ticketing, reliable Wi-Fi is needed for both ticket downloads and scanning. NFC-enabled ticketing pedestals would also be beneficial, helping to streamline entry and reduce staffing requirements.

### **GAME-DAY ENHANCEMENTS**

To enhance the game day experience, several upgrades should be considered across all venues, including digital signage and screens at concession areas, updated seating and integrated tech in end zones. Providing studio environments or mobile “studios” to support pre-game, halftime and post-game coverage would enhance the experience in-venue as well as for broadcast viewers.

### **ACCESS SYSTEMS**

Currently, biometric locks are used at some locker rooms to control access. Expanding access control throughout the facility, potentially using wristbands should be explored.

Additionally, the implementation of electronically controlled doors for restrooms in the spectator areas should be considered.

### **SURVEILLANCE**

Security cameras are currently installed throughout the athletic facilities; however, the existing coverage is insufficient in certain

areas. Enhancing camera placement to eliminate blind spots and improve overall visibility should be considered.

### **SHELTON GYM & TRAINING FACILITIES**

Shelton Gym is due for upgrades, including the removal of certain walls to open the space and make it more functional for performance training purposes. These changes would help improve the layout and better support the needs of athletes and staff.

Currently, communication between Shelton Gym and the main athletic training room is limited, which can make coordination difficult. It would be worth looking into solutions like intercoms, wireless communication systems or other tools to improve connectivity between the two areas.

## **MEDICAL EQUIPMENT**

The X-ray machine is still operating on outdated Windows XP systems and relies on manual “sneaker-net” file transfers. Due to security concerns, the system cannot be connected to the campus network, making information transfer slow and inefficient. Upgrading these systems to modern platforms with secure, network-based data transfer should be prioritized.

Mobile X-ray and fluoroscopy units are currently in use and provide valuable flexibility; however, their integration with centralized systems could be improved to streamline workflows and data access.

Diagnostic ultrasound devices also require enhancements, particularly in image transfer

capabilities and appointment scheduling. Implementing a more robust digital infrastructure would help ensure timely access to imaging data and improve coordination of patient care.

## **AUXILIARY SERVICES & IT SYSTEMS**

Typically, Auxiliary Services are responsible for the initial purchase of equipment, while SFA (Student Financial Affairs or relevant department) manages replacements and life cycle upgrades. This arrangement applies to a range of technology assets, including:

- Computers
- Sound systems
- Cameras
- CATV and server infrastructure

CATV service has been discontinued on campus which leaves an entertainment gap at the Student Recreational Center. Establishing an alternative content delivery solution is of interest to the students.

Additionally, servers are still running on Windows 7, which presents significant security vulnerabilities and compatibility issues. Upgrading these systems to support operating platforms is critical to maintaining a secure and efficient IT environment.

# COMMUNITY AND ORGANIZATIONAL DEVELOPMENT

## USER SUPPORT

Users generally maintain a positive relationship with ITS. Support services are readily accessible and offer multiple avenues for engagement. Any shortcomings in this area are more reflective of limited staffing resources than of capability or willingness to assist.

## UNIVERSITY POLICE

As previously noted, the surveillance system presents ongoing challenges. Enhancing control at campus entry points and deploying license plate readers would help address these issues.

To respond to evolving threats and improve situational awareness, mobile technology must be expanded. Patrol vehicles are increasingly serving as technology hubs and communication relays. The department plans to implement FirstNet cellular services for data transmission and expand the use of body cameras. Considerations around powering, connectivity and data upload infrastructure are essential.

Growth in roles and staffing has outpaced the capacity of the current facility. A new location for the University Police is identified in the Campus Master Plan. Within the new space, the dispatch center requires modernization and expansion, with flexibility in design to accommodate future technological changes.

Interrogation rooms also need upgraded digital recording systems.

## RESIDENCE LIFE

The recent wireless upgrade in residence halls has been highly successful. Each student room now features a hotel-style wireless access point, providing robust Wi-Fi coverage and wired Ethernet access. This has significantly reduced wireless-related support requests. Some additional training for students and staff on optimal connectivity was identified. Planning for the renewal of this \$3 million investment should begin now.

As the University expands its Purple Promise initiative to support underprivileged students, additional public computing spaces will be necessary. Each residence hall should include accessible machines to complement larger computer labs in residences and the library.

## LIBRARY SERVICES

Like many academic libraries, the focus has shifted from printed materials to digital resources. Staying ahead of this transition requires proactive planning.

The library has extended its operating hours in recent years and aims to offer 24-hour access in select areas. Achieving this will require architectural modifications and updates to security systems.

## FACULTY

Faculty feedback highlighted the need for improved onboarding processes and better organization of resources to help new faculty navigate available support.

As is common in higher education, IT support staff are often assigned to individual schools but may not report directly to the CIO. At SFA, several of these positions remain vacant. While school-specific IT support is beneficial, operating outside the CIO's purview undermines efforts to manage and protect the University's intellectual property. Centralized oversight is essential.

From the schools' perspective, maintaining adequate staffing is critical to supporting academic programs. Onboarding challenges are symptomatic of broader staffing deficiencies.

## STUDENTS

Student feedback indicates a generally positive view of IT services, with enthusiasm for the WePA printing service and interest in its expansion. Students also expressed a desire for more public computing locations.

Cellular signal strength remains a concern, especially in outdoor areas where Wi-Fi is less effective and large gatherings occur.



A significant communication gap exists between students and faculty/staff. Staff are frustrated by low student response rates, while students feel that information is not delivered in formats they prefer. A task force should be established to address this disconnect. Leveraging social media could enhance communication and provide valuable feedback channels.

Students also noted the closure of the local public movie theater. While a movie space exists in the student union, it requires a technology refresh. Hosting movie nights for the community could strengthen town-gown relations.

## UNIVERSITY STAFF

Staff discussions revealed diverse perspectives, with student communication emerging as a key theme. A campus-wide digital signage system was proposed. Consolidating the various systems currently in use into a unified platform with layered publishing roles is recommended. However, content creation and management must be carefully planned before investing in infrastructure. Considerations around technology refresh cycles, staffing and potential advertising revenue should be addressed.

Staff also shared numerous ideas for new technologies, though IT teams are already stretched supporting existing systems. Ad hoc

reporting from the ERP system was discussed, and while solutions have been acquired, implementation has been delayed due to resource constraints.

Some staff have advocated for migrating to the ERP system used by most of the UT system. While this may offer incremental benefits, such migrations are costly, often tens of millions of dollars, and take years to complete. A more effective strategy is to invest in optimizing the current system and improving user training.

# IT STAFF

## TEAM DYNAMICS

The IT team demonstrates a strong sense of collaboration and mutual support. Their request to be co-located reflects a commitment to improving internal communication. This cohesion is largely driven by staff members transitioning across sub-disciplines in pursuit of growth and new challenges, which fosters a deep understanding of the unique demands within each area.

This cross-functional awareness enhances the team's adaptability and strengthens the institution's overall resilience. Through cross-training, staff are better equipped to respond to unexpected needs and to fill gaps caused by personnel changes.

## RIGHT SIZING

To effectively meet the evolving needs of the institution, staffing levels must be aligned with demand. As certain disciplines expand, corresponding increases in support staff are necessary. Establishing metrics to evaluate workload and staffing adequacy is critical. Additionally, the impact of new technologies and services on workload must be acknowledged and factored into staffing decisions.

## PATH FOR GROWTH

Many IT staff members feel limited in their opportunities for advancement. Due to the team's close-knit nature, turnover is low, resulting in long tenures in the same roles. Over time, employees develop skills that surpass the scope of their original positions, yet their compensation often fails to reflect this growth. This disconnect can be discouraging and may reduce motivation to continue learning.

As their expertise grows, so does their marketability, prompting some to explore opportunities outside the institution. It is well understood that compensation in the private sector often exceeds that in higher education. A common principle in IT management within academia is: "Don't give your staff a reason to look elsewhere." Once staff become aware of the financial advantages in the industry, retaining them becomes increasingly difficult.

## SUCCESSION PLANNING

Many IT group leaders are approaching or have surpassed retirement age, making succession planning a priority. A smooth transition requires proactive strategies, including maintaining adequate staffing levels and securing funding to fairly compensate those assuming new responsibilities.

Reducing the learning curve between roles not only stabilizes operations but also creates more opportunities for internal advancement.

## COMPENSATION

Compensation has long been a challenge for IT roles in higher education. Historically, the sector offers lower salaries, and many positions are unique to academia. However, IT skills are highly transferable and in demand across industries. Unlike for-profit organizations, higher-ed institutions often lack the ROI-driven justification for competitive salaries, especially when compared to other internal roles.

While some progress has been made, compensation remains a persistent issue. Non-monetary benefits such as tuition reimbursement, retirement plans and healthcare have traditionally helped retain staff, though these advantages are gradually diminishing.

What continues to attract and retain IT professionals in higher education is the work environment. The variety of tasks, autonomy in execution and more manageable deadlines contribute to a less pressured and more fulfilling workplace experience.

# FINANCIAL PLANNING

## FUNDING MODELS

The challenges surrounding refresh cycles and staffing are closely tied to the institution's IT funding models. Frequently, capital IT purchases are embedded within broader capital projects, which may be more expedient but ultimately obscure the true cost of maintaining IT infrastructure. This approach complicates long-term planning and makes it difficult to sustain the functionality of critical systems.

Staffing alignment is another concern. When IT infrastructure expands—often in unpredictable bursts—staffing levels rarely adjust accordingly. A prime example is the rapid growth of technology-enabled classrooms during the COVID-19 pandemic, which increased from fewer than 20 to over 80 rooms to support remote instruction. This expansion was unplanned, and staffing levels have remained unchanged since, despite the significant increase in technology to manage. Moreover, no funding model has been established to refresh this equipment. As it is nearing end-of-life, support demands rise, and the user experience for faculty and staff deteriorates. Without a consistent and well-funded refresh cycle, the institution experiences boom-and-bust cycles in technology, leading to

frustration, diminished trust in ITS, and the proliferation of ad hoc solutions that may not align with institutional goals.

To address these issues, we recommend a comprehensive assessment of the true cost of campus technology investments and the establishment of realistic funding for ongoing refresh cycles. Future investments should include refresh funding as part of the initial budget. While this may slow the pace of technology adoption in the short term, it will encourage more thoughtful evaluation of new tools and a clearer articulation of their long-term value to the institution. Too often, technology is adopted for its novelty or to match peer institutions, rather than for its ability to enhance productivity. In knowledge-based environments, measuring productivity gains is inherently difficult—time saved on one task is often reallocated to others that previously lacked attention.

Economic uncertainty further complicates efforts to increase staffing or compensation. Non-salary funds are generally easier to reallocate, but knowledge-based industries have limited discretionary budgets, making reductions particularly challenging. A common response is to outsource roles with more interchangeable skill sets. While this strategy

is widespread in higher education, it must be approached with caution to avoid losing critical institutional knowledge. SFA's rural location adds complexity, as local technology support options are limited, and few providers can match the scale and sophistication required. As a result, staff augmentation at SFA presents unique challenges.



# APPENDICES

**Figure 1.** High Level Technology Opinion of Cost

| Project  | Levels | Size (GSF) | IT          | Security    | AV LOW      | AV HIGH     | NOTES:  |
|--|--------|------------|-------------|-------------|-------------|-------------|---|
| <b>Academic</b>                                    |        |            |             |             |             |             |   |
| Science Building                                   | 3      | 160,000    | \$1,920,000 | \$1,024,000 | \$1,250,000 | \$2,000,000 | AV Cost dependent on final number of classrooms, labs, etc.   |
| Boynton Music Expansion                            | 2      | 28,500     | \$342,000   | \$183,000   | \$2,000,000 | \$3,500,000 | Academic spaces (music, media, radio/TV stations) - Addition Only   |
| Art Building                                       | 3      | 113,500    | \$1,362,000 | \$726,000   | \$1,200,000 | \$2,000,000 | AV Cost dependent on final number of classrooms, labs, etc.   |
| Facilities Services & Operations/Academic Building | 2      | 105,000    | \$1,560,000 | \$672,000   | \$120,000   | \$250,000   | AV Low Assumes Conference Rooms + Digital Signage; AV High Assumes Training Center + Meeting Spaces; Assumes \$300,000 for new data center. |
| <b>Athletics/Recreation</b>                        |        |            |             |             |             |             |   |
| Tennis Venue                                       |        |            |             |             | \$250,000   | \$500,000   | (12) lighted courts, PA, scoreboards; AV dependent on level of Audio and scoring systems  |
| South Operations Building                          | 3      | 87,360     | \$700,000   | \$315,000   | \$500,000   | \$700,000   |   |
| Baseball Venue                                     |        | 35,457     | \$310,000   | \$165,000   | \$350,000   | \$500,000   | 2285 seats; AV dependent on level of Audio and scoring systems  |
| Softball Venue                                     |        | 28,868     | \$245,000   | \$130,000   | \$250,000   | \$500,000   | 1,552 seats; AV dependent on level of Audio and scoring systems   |
| Recreation Support – Field Services Building       |        | 4,000      | \$48,000    | \$26,000    | \$100,000   | \$300,000   |   |
| Loop Trail and Challenge Course                    |        |            |             |             |             |             | Asphalt Trail Area: 37,550 SF; Ropes Course: 15,000 SF; Bonfire area  |
| Recreation Fields                                  |        |            |             |             |             |             | Synth turf and grass fields.  |
| Fieldhouse Building                                | 4      | 190,081    | \$1,372,000 | \$610,000   | \$1,000,000 | \$5,000,000 | AV High includes sports broadcast suite for Outdoor Fields.   |
| Football Stadium                                   |        | 122,667    |             |             | \$1,500,000 | \$5,000,000 | 10,438 Seat - AV Low includes Basic Scoring and Sound System, High End includes Multiple LED, Game Day Broadcast Suite, Etc.                |
| Soccer Stadium                                     |        | 25,700     | \$130,000   | \$70,000    | \$350,000   | \$650,000   | 1,417 seat bowl; AV dependent on level of Audio and scoring systems   |

**Figure 1 (cont.)** High Level Technology Opinion of Cost

| Project                        | Levels | Size (GSF) | IT          | Security    | AV LOW      | AV HIGH     | NOTES:  |
|--------------------------------|--------|------------|-------------|-------------|-------------|-------------|---|
| Indoor Practice                | 1      | 95,260     | \$564,000   | \$300,000   | \$75,000    | \$125,000   | 90' tall for punting; AV dependent on level of Audio and scoring systems                  |
| Track & Field + Practice       |        | 22,926     | \$140,000   | \$74,000    | \$75,000    | \$125,000   | 938 seats; AV dependent on level of Audio and scoring systems                             |
| <b>Student Experience</b>      |        |            |             |             |             |             |   |
| Auditorium/Welcome Center      | 2      | 32,500     | \$390,000   | \$208,000   | \$1,500,000 | \$2,500,000 | AV Cost dependent on final number of meeting spaces, classrooms in addition to Auditorium |
| Student Housing A              | 5      | 191,250    | \$1,380,000 | \$710,000   | \$100,000   | \$150,000   | 530 beds  |
| Student Housing B              | 5      | 281,750    | \$1,970,000 | \$1,015,000 | \$100,000   | \$150,000   | 780 beds  |
| Student Housing C              | 10*    | 280,030    | \$1,950,000 | \$1,004,000 | \$100,000   | \$150,000   | 775 beds, *includes two buildings with 5 stories each                                     |
| Student Housing D              | 4      | 115,150    | \$806,000   | \$415,000   | \$100,000   | \$150,000   | 335 beds  |
| University Police Facility     | 1      | 10,500     | \$126,000   |             |             |             |   |
| <b>Garages</b>                 |        |            |             |             |             |             |   |
| Garage A                       | 5      | 165,600    | \$87,000    | \$86,000    |             | N/A         | 1 cam/ 8kSF, 2 blue lights /floor, 3 WAPS   |
| Garage B                       | 5      | 203,000    | \$87,000    | \$93,000    |             | N/A         |   |
| Garage C                       | 5      | 241,500    | \$250,000   | \$137,000   |             | N/A         | Includes 10,500 SF police facility  |
| <b>Outside Plant</b>           |        |            |             |             |             |             |   |
| Additional 8500 ft of pathways |        | \$350,000  |             |             |             |             | This is combination of trenching, microtrenching and directional boring.                  |

**Assumptions:**

**Academic & Athletic Buildings**

**IT**

- 2 data outlets/100 SF
- Some athletic spaces 2 data outlets/200 SF
- 1 MDF per building & 1 IDF/floor
- Network access switches included
- WiFi included throughout buildings
- DAS cost is excluded

**Security**

- Access Control \$2.50/SF
- Surveillance System: \$1.50/SF
- Intrusion Detection System: \$0.10/SF
- No blue light phones

**Residential Buildings**

**IT**

- 1 MDF per building & 2 IDF/floor
- Data for computer lab space
- Hotel-style WAPs in student rooms
- WiFi in common spaces
- DAS cost is excluded

**Security**

- Keyless entry to student rooms
- Exterior access control
- Exterior Surveillance, minimal inside
- No intrusion detection

**Parking Structures**

**IT**

- 3 WAPs per structure
- 2 blue light phones/floor

**Security**

- Vehicle control system
- 1 cam/8000 SF

# **APPENDIX G**

## **LANDSCAPE CHARACTER GUIDELINES**





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# TABLE OF CONTENTS

|  |     |
|--|-----|
| Campus Zones .....                               | G4  |
| Tree Preservation and Mitigation.....            | G6  |
| Circulation.....                                 | G8  |
| Outdoor Furnishings .....                        | G12 |
| Landscape Typologies .....                       | G14 |
| Specialty Furniture per Landscape Typology ..... | G24 |
| Signage and Wayfinding .....                     | G30 |
| Landscape Sculptures .....                       | G36 |
| Appendix .....                                   | G38 |
| • Plant Palette .....                            | G39 |
| • Irrigation.....                                | G52 |

# CAMPUS ZONES

The Stephen F. Austin State University (SFA) campus is an established, diverse, and interconnected environment composed of distinct zones, each supporting a specific set of academic, residential, and recreational functions. These zones have been delineated in this document to guide long-term landscape planning that responds to their projected growth, unique patterns of use, safety considerations, flexibility for outdoor programming, and overall aesthetic character. Design strategies within each campus zone are further described in this document to serve as the starting point and minimum standard for new development.

## GARDENS & TRAILS

With over 138 acres of gardens and open space, this zone serves as the ecological lungs and recreational edge of the campus, connecting students and visitors with the region's natural heritage. The landscapes here are intentionally immersive, supporting passive recreation such as community events, outdoor learning, or simply walking through the gardens. Safety, accessibility, and comfort are addressed through clear trail hierarchy, outdoor furniture, lighting, and signage.

## EDUCATION

This zone includes academic buildings with classrooms, lecture halls, labs, and the library. The landscape character supports collaboration, wayfinding, and accessibility. A

hierarchy of walkways interconnects buildings and users with open spaces, quads, malls, plazas, and courtyards supporting pedestrian movement, outdoor study, interdisciplinary crossover, and academic events. Pedestrian safety is critical, with clear crosswalks, lighting, and emergency vehicle access enhancing connectivity, visibility, and day-to-day ease.

## FACILITIES

This service-oriented zone supports campus operations and infrastructure. It prioritizes function, safety, and screening. Materials are utilitarian but consistent with the broader campus aesthetic. Vegetative buffers and fencing help mitigate visual impacts, while clear circulation routes and designated parking ensure safe movement and minimize obstruction of service vehicles and pedestrians.

## HOUSING & DINING (CENTRAL AND PERIPHERAL)

As a residential and social hub, this zone is designed to accommodate high daily activity volumes. Landscape spaces support both formal and informal gatherings, with flexible lawns, plazas, courtyards, and shaded seating areas with flexible outdoor space adjacent to dining halls and residence halls. The design prioritizes flexibility of use and emphasizes safety through lighting and clear wayfinding, while the planting design offers seasonal color and comfort for year-round use. The

aesthetic of this zone is comfortable, fun, flexible, and intentional, with amenities such as hammocks, conversation swings, and large tables contributing to a sense of connectivity, collaboration, and belonging.

## FINE ARTS, FILM, & MEDIA ARTS

This area supports both academic learning and SFA's artistic identity. Outdoor spaces are flexible and visually interesting, with infrastructure to support art, such as sculptures, murals, pop-up events, and collaborative work. The landscape blends modern materials with native plantings, creating a contemporary and resilient aesthetic that highlights the existing architecture.

## STUDENT SERVICES

As the front door to campus, this zone is highly welcoming and historic. It includes some of the most important buildings, like the Austin Building (administrative offices) and the Pearman Alumni Center. It is also a part of the campus tour route for prospective students and visitors.


This campus zone is home to some of the most mature trees and conifers, highlighting SFA's spirit and commitment to the environment. Wayfinding, lighting, ADA accessibility, and pedestrian safety are critical to ensuring that every visitor can navigate and engage with campus resources and the landscape with ease.



- Gardens & Trails
- Athletics & Recreation
- Education
- Facilities
- Central Housing & Dining
- Fine Arts, Film, & Media Arts
- Student Services
- Housing & Dining
- Campus Parking Lots



Map 1. Campus Zones

Scale: N.T.S. 

# TREE PRESERVATION AND MITIGATION

## EXISTING TREE PRESERVATION

The SFA campus is home to a well-established, diverse framework of existing trees, native plantings, gardens, and trails that contribute significantly to its identity. This framework will be prioritized and built upon when new infrastructure is created on campus. During planning and construction of new projects, existing trees should be carefully evaluated, documented, and protected when feasible to avoid unnecessary tree removal. All renovation and new construction projects that impact significant tree canopies and root zones must be reviewed in collaboration with SFA staff, including the campus arborist and grounds manager, to evaluate design feasibility and opportunities for tree preservation. Tree preservation practices include fenced tree protection zones, proper root protection methods, and minimizing grading within the tree's critical root zone.

## TREE MITIGATION

When tree removal is unavoidable, the design team must consider mitigation strategies that equal or far exceed the targeted tree canopy conditions. For every tree removed, replacement trees can be planted in proportionate size and quantity elsewhere on campus or as approved by SFA's staff, including the campus arborist and grounds manager, using species appropriate to the site's character and micro-climate. The use

of native and regionally adapted species is strongly encouraged, and monocultures are discouraged, particularly in large planting efforts.

Instead, native and low-water-use tree species and plantings should be installed to create a diverse planting palette that complements the microclimates created by new structures. Reference the Appendix section in this document for the recommended Plant Palette list of species. These landscape areas should incorporate plants that support pollinators, are adaptable, and provide seasonal interest, with a strong backbone of evergreen species. The design intent should not only restore what is lost but also actively improve the building's surroundings and sustainability, and further expand the identity of the campus landscape.

## TREE TRANSPLANTING AND PRUNING

In cases where construction conflicts with healthy, high-value trees, transplanting should be considered as a first alternative to removal. When feasible, trees that can be successfully relocated should be moved to appropriate areas of campus where they can continue to contribute to the campus landscape character. All tree moving must be vetted with SFA staff, including the campus arborist and grounds manager, prior to pursuing.

Transplanting should consider the tree's size, health, and branching/root structure, and

Relocation should be performed under the supervision of a certified arborist.

Additionally, selective pruning may be considered to allow for construction access or clearance while preserving the tree's long-term health and structural integrity. Pruning should be done under the supervision of the campus arborist and grounds manager.





Austin Building



# CIRCULATION

## WALKWAYS

Walkways are the linkages between buildings, quads, courtyards, plazas, and roadways. These “people movers” are meant to be of a width that accommodates the anticipated volume of pedestrians or multimodal uses, typically 4’-8’ wide, with 6’ being the preferred standard width for narrow walkways, 8’-15’ wide for average-width walkways, and up to 26’ wide for life/safety access, which double as significant mall and multimodal pathways. Places to sit, rest, or gather should be located along walkways to activate their use.

The articulation of paving for each of these connectors is a substantial aesthetic statement on campus. The width and type of detailing of these walkways signals their significance among the network of campus circulation.

The average-width and life/safety access pathways should feature paver banding that can be combined with a percentage of broom-finish/scored concrete. Seating nooks consist of paver fields.

Narrow walkways are to be broom-finish concrete. All other paving design should be reviewed and approved by SFA’s staff, including the grounds manager, to ensure appropriate aesthetic and maintenance practices.

It is important to curve or angle path intersections to reduce the “cut through” damage to turf or plantings, as pedestrians and vehicles do not naturally make 90-degree

turns. Diagonal concrete paths can also be helpful in accommodating “point A to point B” patterns of movement across quads and reduce future desire lines.

### RED BRICK SIGNIFICANCE

The historic red brick streets of downtown Nacogdoches were a crucial part of the agreement that brought Stephen F. Austin State University to the city. In 1917, the state of Texas selected Nacogdoches as the location for a new teachers’ college. To help secure the college, the citizens of Nacogdoches promised to donate 208 acres of land and pave 8 miles of city streets with red brick.

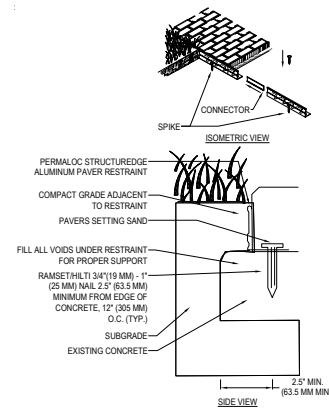
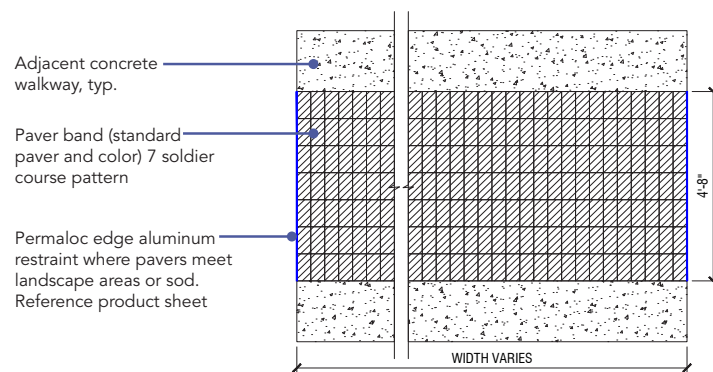
When the paving project began in 1922 and 1923, brick streets were a modern advancement over the city’s old dirt and wooden-block roads, making travel easier for the growing community.

While the university has grown far beyond its original campus, the red brick streets in the downtown area have remained an iconic symbol of the city’s rich history. The downtown district is now on the National Register of Historic Places.

Today, the university continues to recognize its connection to the historic brick streets. The inclusion of red brick pavers into the university’s landscape serves as an enduring landmark to the Nacogdoches community and the people who have stewarded the university’s growth for more than a century.

## PAVER STANDARDS

- Pavers to be light-duty for pedestrian walkways and heavy-duty for multimodal walkways, vehicular access, and fire lanes. **Depth of pavers listed below is dependent on use/application.**
- Standard pavers to be 4” x 8” in size. “Coppertone” in color by Endicott or approved equal. **No pavers on campus should be color white.**
- Accent unit pavers to be 4” x 8” wire cut texture. “Red Blend” in color by Endicott or approved equal.
- Accent unit pavers are to be used in special locations (as specified and approved by SFA) such as plazas and courtyards.
- Secondary accent unit pavers to be 4” x 8”. Color to be mutually agreed upon with SFA.
- All pavers to be set on a concrete base properly reinforced per the engineer’s recommendations.
- Pavers adjacent to landscape areas shall have metal edge restraint anchored to concrete base.
- Polymeric sand shall be used on bed setting and joint filler.

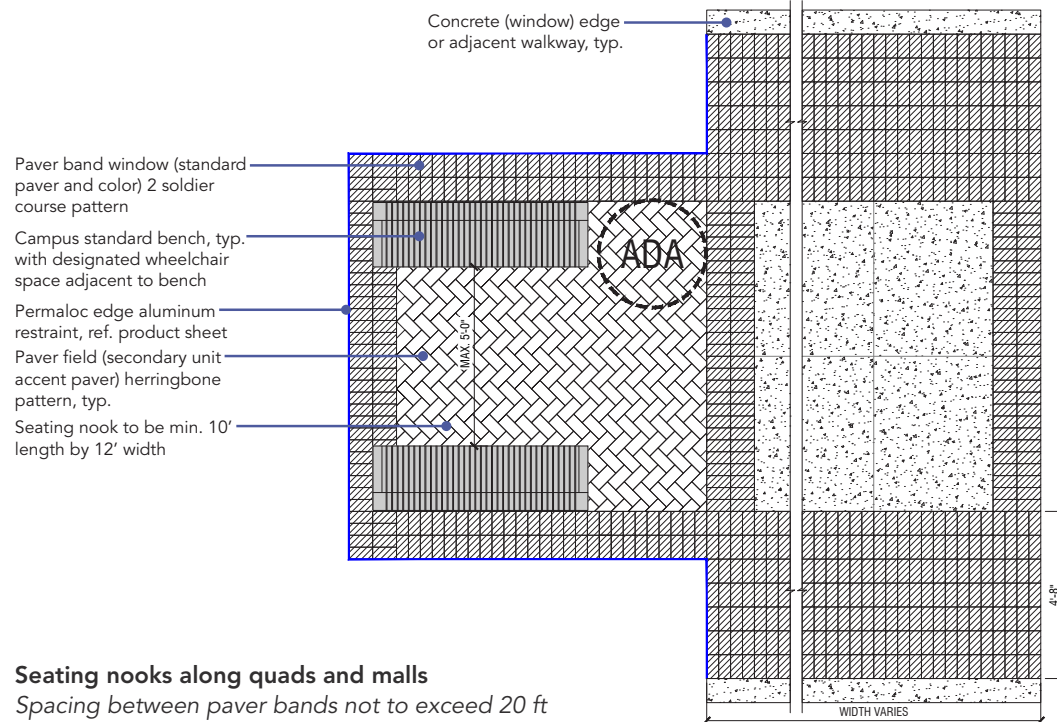


### Paver bands along quads and malls

Spacing between paver bands not to exceed 20 ft

### Permaloc paver edge restraint

Anchored to concrete base



### Seating nooks along quads and malls

Spacing between paver bands not to exceed 20 ft



### Existing paver banding along pedestrian malls

Soldier course paver window

Note: White pavers no longer allowed



### Seating Nook area along pedestrian mall

Field of pavers

## FIRE & VEHICULAR ACCESS

Emergency vehicle access throughout campus is a life safety requirement that often informs the final landscape design. To lessen their visual impact, these access lanes should consider the use of gravel pave, grass pave, or pavers on a concrete base. Emergency lanes require heavy-duty concrete and vehicular-rated pavers. Emergency lanes should comply with the applicable local codes and standards for SFA.

All fire lanes must be appropriately marked on the curbs and curb ends, or as required by the local code. If a fire lane is required but no continuous curb exists, then mounted signage, alternate painting, or collapsible bollards are required to prevent unauthorized vehicle access. The local fire department shall review all building projects. Fire lane markings/signage must be approved by the local Fire Marshall.

## MAJOR VEHICULAR CIRCULATION

Major campus streets serve as the primary internal circulation network supporting every day access. These streets should follow existing campus standards for one-way or two-way traffic, with the same paving material. Where feasible, street trees, and planting medians should be incorporated or as directed by SFA.

## CAMPUS SERVICE VEHICULAR CIRCULATION AND PARKING

Service roads, exclusively for maintenance access within the garden and trail zones, should be discreet, narrow paths, typically 10- to 14-feet-wide, depending on the existing topography or vegetation. They should blend into the landscape to discourage general vehicle use. Final location and paving materials should be approved by SFA's ground manager.

Utility vehicle routes and parking should also be coordinated with campus leadership and grounds manager. The parking of utility vehicles should be integrated into every design and coordinated with the project architect to match the building style and create readily identifiable parking spots for the drivers to minimize pedestrian/vehicular conflicts.

## PEDESTRIAN SAFETY AND ACCESSIBILITY







Light fixtures at pedestrian malls and gathering spaces shall meet SFA's required illumination level of 1-foot candle. All pedestrian poles need GFCI receptacles.

Light fixtures and tree canopies should not be in conflict. Special consideration should be taken to accurately predict the mature canopy of trees when determining the light fixture and/or tree spacing and location.

Additionally, emergency phones should be installed at key outdoor locations and be readily accessible and visible to contact campus security.






-  Campus Core
-  Pedestrian Mall with  
Emergency Vehicle  
Access
-  Parking Garage
-  Roundabout
-  Major Vehicular  
Circulation
-  Campus Service  
Vehicular Circulation



**Map 2.** Circulation

Scale: N.T.S. 

# OUTDOOR FURNISHINGS

## UNIFYING FURNITURE

A cohesive campus identity is reinforced through the thoughtful selection and consistent use of site furnishings. This section introduces a selective, unified family of site furniture that serves both functional and aesthetic purposes. These elements act as the connective tissue, tying diverse areas together and enhancing wayfinding, safety, comfort, and the overall student experience.

Standardizing furnishings such as benches, waste and recycling receptacles, bicycle racks, light poles, bollards, and charging stations is integral to the visual continuity and durability of campus malls, quads, plazas, and courtyards. While certain zones may incorporate specialty furnishings that reflect their unique character, the unifying furniture palette provides a dependable and recognizable baseline that supports ease of maintenance, cost efficiency, and a strong sense of place.

All outdoor furniture should meet the needs of diverse users, withstand various weather conditions, and undergo periodic assessments to ensure it is sturdy, safe, and not vandalized. Outdoor furniture must be stable and secure to prevent accidents. Some existing furnishings in good shape can be relocated to new places as new furnishings are installed.

Unifying furniture includes:

### 1. Benches

Simple yet elegant and durable benches should be placed along walkways, at building entries, in plazas, and under shade trees. A uniform material, color, and finish reinforce campus identity while offering weather-resistant comfort.

### 2. Waste and Recycling Receptacles

These should be placed at high-traffic nodes, near dining areas, academic buildings, and along trails, with clear signage and ease of maintenance.

### 3. Bicycle Racks

Racks should be functional and secure, with a consistent style placed at residence halls, academic zones, and recreation areas. Their location should support active transportation and avoid conflicts with pedestrian circulation.

### 4. Light Poles

Pedestrian-scaled lighting is essential for safety, wayfinding, and ambiance. A standardized fixture type, with warm lighting and consistent pole height and spacing, should be used throughout the core campus, with the flexibility to scale up in athletic or vehicular zones as needed.

### 5. Bollards

Used to define pedestrian zones and restrict vehicular access. Removable mounting bollards should be installed at all areas with fire lane access and coordinated with SFA's grounds manager.

### 6. Charging Stations

Discreet but accessible outdoor charging stations should be strategically placed near seating areas.





## STANDARD UNIFYING FURNITURE



**Campus Standard Bench (mounted)**  
 Texas Correctional Industries  
 4 ft: 650-06-35100-4, 6 ft: 650-06-35110-3,  
 8ft: 650-06-35120-2  
 Color: SFA Purple powder coat



**Campus Standard Outdoor Receptacle**  
 Texas Correctional Industries  
 CO-23-6073  
 Color: Black



**Campus Standard Bicycle Rack**  
 Manufacturer to be provided by campus  
 Color: Gray



**Campus Standard Light Pole** (Color Index to be a min. of 80 CRI)  
 Manufacturer to be provided by campus  
 Color: Black



**Campus Standard Bollard (Removable Where Necessary)**  
 Reliance Foundry, R-7591 (removable mounting)  
 Color: Black



**Campus Standard Wire-mold Charging Station**  
 Legrand  
 Color: Silver, Custom



# LANDSCAPE TYPOLOGIES

To create a more intentional, memorable, and functional campus experience, this document organizes the campus into a hierarchy of landscape types: open space, quads, malls, plazas, and courtyards. This framework allows each area to develop a unique character and programmatic purpose, supporting activities that range from large campus gatherings to quiet moments of reflection. Additionally, shared design element, such as cohesive furniture, materials, planting palettes, and lighting, ensure continuity across these spaces, making the campus feel cohesive, navigable, and distinctly representative of SFA.

## OPEN SPACE

Open Spaces serve as the campus's "living rooms." These areas are designed to accommodate large gatherings, such as new student orientation events, outdoor performances, or graduation ceremonies, while also functioning as informal play areas and flexible fields for daily gathering and use. Their character ensures they are adaptable, and they anchor the broader campus with a sense of nature, openness, and community.

## QUAD

Typically framed by buildings, quads are the connective tissue between academic buildings and offer opportunities for casual gatherings, student events, and the expression of academic identity. These spaces are ideal

for art installations, small performances, food truck opportunities, or simply as outdoor gathering nooks for students to pause between classes. Because they are embedded within the academic core, quads help define the university's character, support daily pedestrian traffic, and aid in student collaboration.

## MALL

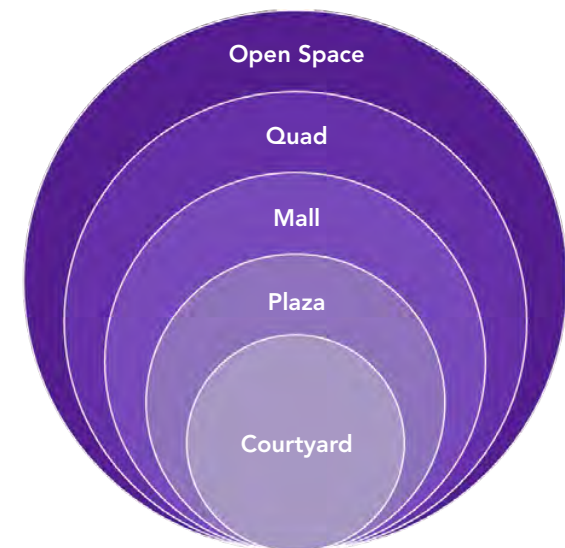
Malls function as the primary arteries of the campus. These tree-lined promenades prioritize safety, walkability, and ease of navigation. They support accessibility and promote a calm, shaded mobility experience while connecting key academic, residential, and social destinations. Malls help reinforce wayfinding, safety, and accessibility while encouraging a culture of multi-modal transportation and informal encounters.

## PLAZA

Plazas are lively outdoor rooms designed for informal gathering, relaxing, and socializing. Often located near student hubs like libraries, dining halls, or student unions, these spaces offer seating, shade, and opportunities for people-watching. They are ideal for everything from quick conversations to college clubs and organizations tabling, creating a strong sense of place and belonging.

## COURTYARD

Courtyards are smaller, more enclosed spaces that support focused activities such as studying, small group discussions, residence hall events, casual dining, or faculty-student meetings. Tucked within or between buildings, they provide calm environments that foster connection, reflection, and productivity. These spaces are vital to supporting academic success beyond the classroom.



*Diagram of landscape typology scales*

- 1 Central Quad
- 2 Central Mall Area
- 3 Austin Plaza and Aikman Mall
- 4 Student Housing Courtyard and College Mall



Map 3. Focus Landscape Typologies

Scale: N.T.S. 



## FOCUS AREAS

### ① CENTRAL QUAD

The Central Quad serves as the heart of campus life and an iconic green space framed by the historic core of SFA. Its central location makes it both a symbolic and functional anchor, balancing the preservation of tradition with the needs of a modern, student-centered campus space. Defined by generous open lawns, the quad provides flexible areas for everyday student activity while also accommodating larger gatherings, including student-led events, formal ceremonies, and SFA-programmed activities.

Diagonal pedestrian connectors weave through the Central Quad, ensuring direct, intuitive movement between the Student

Center Parking Garage on the west and the academic core to the east. These pathways not only strengthen connectivity but also activate the space with daily foot traffic.

The use and color of fields of pavers or paver banding at the Central Quad should be agreed upon with SFA. Accent pavers may be used at gathering nodes and pavilions to highlight areas of activity and reinforce the quad's visual identity. Beginning from Student Center Parking Garage, the Student Center Mall runs north-south as a pedestrian mall with emergency vehicle access walkway featuring paver banding to break up its linear character, while maintaining its required functionality.

The quad incorporates both unifying campus furniture for consistency and specialty furniture, including benches, café-style chairs, and tables, that encourages group interaction, study, and relaxation under shade.

At the center of the quad, an architectural pavilion creates a focal point for gathering, collaboration, and informal performances. To ensure safety and support flexibility of outdoor events, outdoor classrooms, or performances, pedestrian light poles, power receptacles, and pedestals should be provided throughout the quad.

A unique design feature is the catenary lighting strung above the Student Center Mall and tying into the quad. During the day, the lights create a sculptural visual element, while at night they transform the quad into a vibrant, welcoming venue for evening programs, events, or casual socializing.

Together, these features establish the Central Quad as a versatile campus destination that supports daily student use, enhancing safety and visibility, and offering a flexible setting for cultural, academic, and community events.

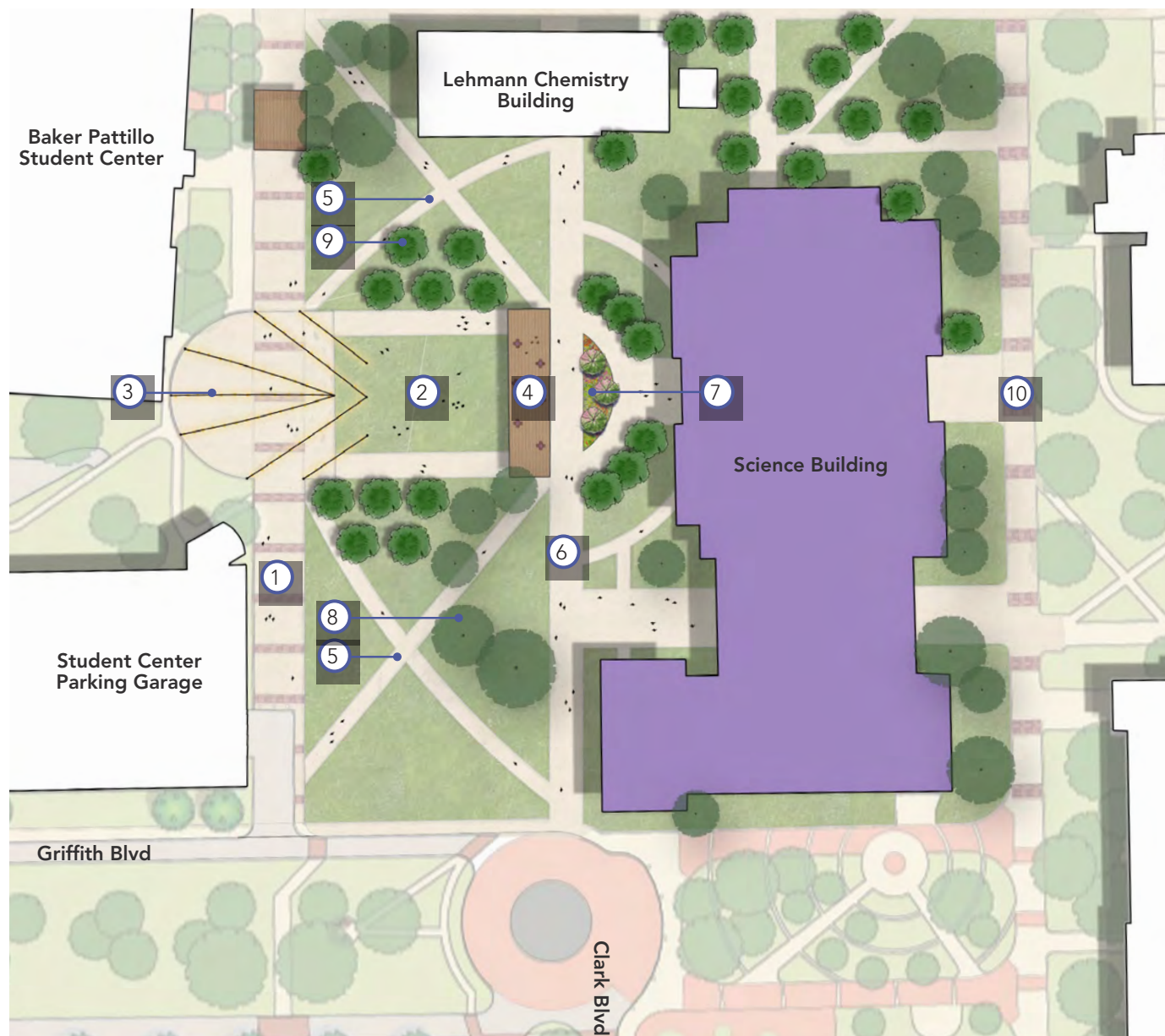


*Example of a quad with a central open lawn (with opportunities for art), a pedestrian mall, and metal shade structures with outdoor furniture*




- 1 Student Center Mall  
(pedestrian mall  
with emergency  
vehicle access)
- 2 Open lawn
- 3 Event Plaza
- 4 Central Quad  
Pavilion with  
furniture
- 5 Pedestrian  
connectors, typ.
- 6 Pedestrian walkway  
connecting  
Lehmann Chemistry  
Building and Clark  
Boulevard
- 7 Science Building  
entry sign
- 8 Existing tree, typ.
- 9 Proposed tree, typ.
- 10 Raguet Mall  
(pedestrian mall  
with emergency  
vehicle access)

*Note: Electric power  
should be integrated and  
distributed throughout  
quads to ensure  
pedestrian safety and  
support outdoor activities.*



**Map 4.** Landscape Typology - Central Quad

Scale: N.T.S. 

## 2 CENTRAL MALL AREA

The Central Mall Area is a defining pedestrian spine within the historic core of campus, linking significant destinations while celebrating both tradition and contemporary campus life. Anchored by the iconic Stephen F. Austin statue and fountain on the east and extending westward toward the Baker Pattillo Student Center, the Central Mall Area comprises a series of distinct spaces that together create a dynamic, memorable experience.

At the eastern edge, the statue and fountain remain a centerpiece, framed by two adjoining building courtyards that serve as high-capacity student gathering areas, enhanced by canopy trees, four small shade structures, and outdoor furniture that encourages student engagement. To ensure safety and support

outdoor gathering, pedestrian light poles, and power receptacles at shade structures should be provided throughout the mall.

Moving west, the Raguet Mall introduces a vertical, more linear character, marked by paver banding that enhances legibility and visual rhythm. Along this corridor, seating nooks are nestled under the canopy of existing trees, offering shaded places to pause, socialize, or study. Catenary lighting and unifying campus furniture add both consistency and evening vibrancy to the corridor.

At the heart of the mall, a central rotunda serves as a symbolic focal point. Echoing the geometry of the existing roundabout (located south of the mall along Clark Boulevard), this node is envisioned as a celebratory space with opportunities to integrate art sculptures or other commemorative elements. Additional metal shade structures with power receptacles

and furniture in this portion of the mall support outdoor gathering, informal performances, and study stations, making it an active hub throughout the day.

Rain gardens are integrated into the landscape areas throughout the mall to ensure storm runoff is captured and properly drained.

Moving further west, the Central Mall Area intersects with the Student Center Mall, a pedestrian mall with emergency vehicle access walkway moving north-south along the Baker Pattillo Student Center. Here, the design integrates shade trees, paver bandings, and metal shade structures to accommodate outdoor dining and daily social activity, reinforcing the Central Mall Area as both a thoroughfare and a destination.

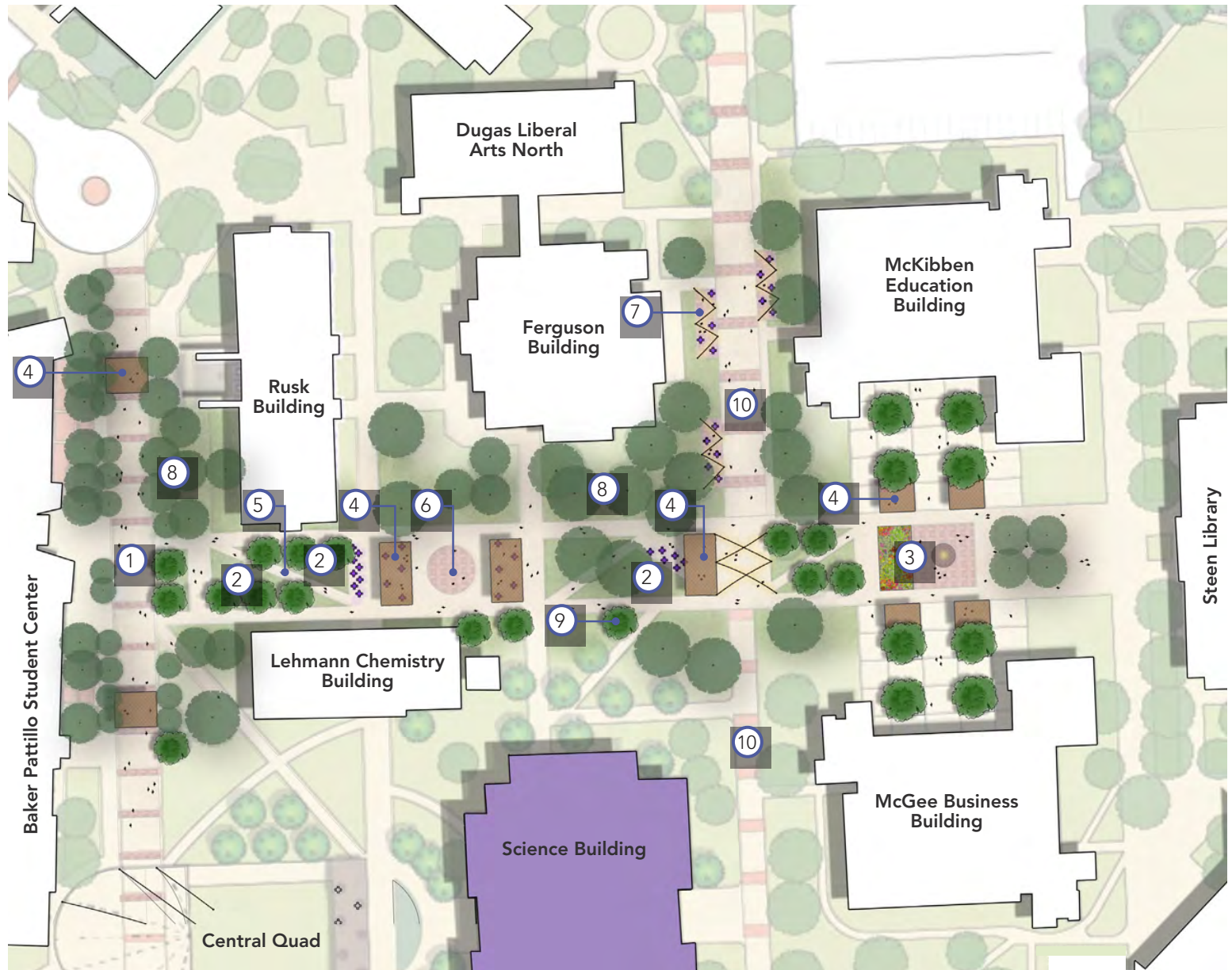


*Example of a central mall area with shade trees, pavers, benches, light fixtures, and historic markers*



- 1 Student Center Mall (pedestrian mall with emergency vehicle access)
- 2 Rain garden areas, typ.
- 3 Stephen F. Austin statue and fountain
- 4 Metal shade structures with outdoor furniture, typ.
- 5 Pedestrian connectors, typ.
- 6 Central Rotunda / Sculpture Plaza
- 7 Seating nooks with catenary lights and outdoor furniture
- 8 Existing tree, typ.
- 9 Proposed tree, typ.
- 10 Raguet Mall (pedestrian mall with emergency vehicle access)

*Note: Electric power should be integrated and distributed throughout malls to ensure pedestrian safety and support outdoor activities.*



**Map 5.** Landscape Typology - Central Mall

Scale: N.T.S. 



### 3 AUSTIN PLAZA AND AIKMAN MALL

The Austin Plaza serves as a welcoming gateway for visitors and social hub for students at the northern edge of the historic core of campus, positioned adjacent to the Austin Building, one of the oldest and most significant academic buildings on campus, and just south of Wisely Hall, the first men's dormitory at SFA.

Its location makes it a pivotal space for prospective students and visitors arriving to campus, as well as a daily gathering place for staff or students who reside in Wisely Hall, Griffith Fine Arts Building, Wright Music Building, or Boynton Building. Designed as both an arrival point and an outdoor living room, the Austin Plaza reinforces the campus identity while encouraging interaction and engagement.

The Austin Plaza consists of three metal shade structures that accommodate different uses such as outdoor gathering, studying, or as a small event space. The plaza blends concrete paving with fields of accent pavers that define the different seating zones beneath each shade structure. A mix of surface mounted and movable furniture allows for flexibility in every day uses while also providing comfort. Catenary lighting at the plaza adds warmth and visibility during evening hours.

To ensure safety and support outdoor gathering, pedestrian light poles, and power receptacles at shade structures should be provided throughout the plaza and mall.

Existing mature trees are preserved to maintain the character of the space, complemented by new canopy trees to enhance shade and the aesthetics of the plaza. Between the Austin Plaza and Wisely Hall, the

Aikman Mall intersects the space, providing a strong east–west connection to the campus core. This mall provides emergency vehicle access while featuring paver bandings, campus standard pedestrian light fixtures and shade trees flanking the mall. A field of pavers at the intersection of Wisely Hall and Austin Plaza emphasizes the main zone of high pedestrian traffic.

This integration of pedestrian flow with outdoor gathering space reinforces the plaza's role as a connective threshold, a place where the academic and residential life converge.



*Example of a plaza with a metal shade structure, outdoor furniture, and festoon lighting as a space for gathering and socializing*

- 1 Aikman Mall (pedestrian mall with emergency vehicle access)
- 2 Pedestrian light fixtures at paver bands
- 3 Metal shade structures with outdoor furniture, typ.
- 4 Outdoor furniture, typ.
- 5 Catenary lights, typ.
- 6 Field of Pavers
- 7 Landscape area, typ.
- 8 Existing tree, typ.
- 9 Proposed tree, typ.

*Note: Electric power should be integrated and distributed throughout plazas and malls to ensure pedestrian safety and support outdoor activities.*



**Map 6.** Landscape Typology - Austin Plaza and Aikman Mall

Scale: N.T.S. 



## 4 STUDENT HOUSING COURTYARD AND COLLEGE MALL

Student Housing courtyards serve as the central social and recreational heart of the residential district, positioned between the iconic Steen Hall “twin towers” to the north, the Lumberjack Lodge to the west, the Lumberjack Landing to the south, and the Pineywoods Dining Hall to the east.

The courtyard is designed as a flexible, multi-use outdoor space that fosters both community interaction and individual retreat. A generous, central open lawn accommodates informal recreation and lawn games, while a network of seating nooks with movable furniture around the lawn provides opportunities for studying, socializing, and small gatherings or spontaneous activities.

Overhead catenary lighting adds vibrancy and safety during the evening hours, creating a warm and welcoming ambiance. A metal shade structure on the south side anchors the courtyard, offering a focal point for outdoor grilling, small performances, and residence hall events. To ensure safety and support outdoor gathering, pedestrian light poles, and power receptacles at shade structures should be provided throughout the courtyard.

Shade and ornamental trees along with layered vegetation soften building edges, provide screening, and enhance the overall aesthetics of the courtyard.

To the north of the Student Housing, the College Mall connects the new residence halls with Steen Hall, the football stadium, and academic buildings, serving as a key pedestrian spine within this residential district.

The mall features paver banding, seating nooks shaded by trees, and is illuminated by standard campus light fixtures that reinforce connectivity and continuity with the broader campus landscape.

Between the College Mall and Steen Hall, an architectural arbor marks and modernizes the entrance to Steen Hall, providing additional outdoor spaces for gathering, studying, and dining. This architectural feature ties the historic character of Steen Hall with the contemporary design language of the new housing precinct, creating a cohesive and active residential environment.

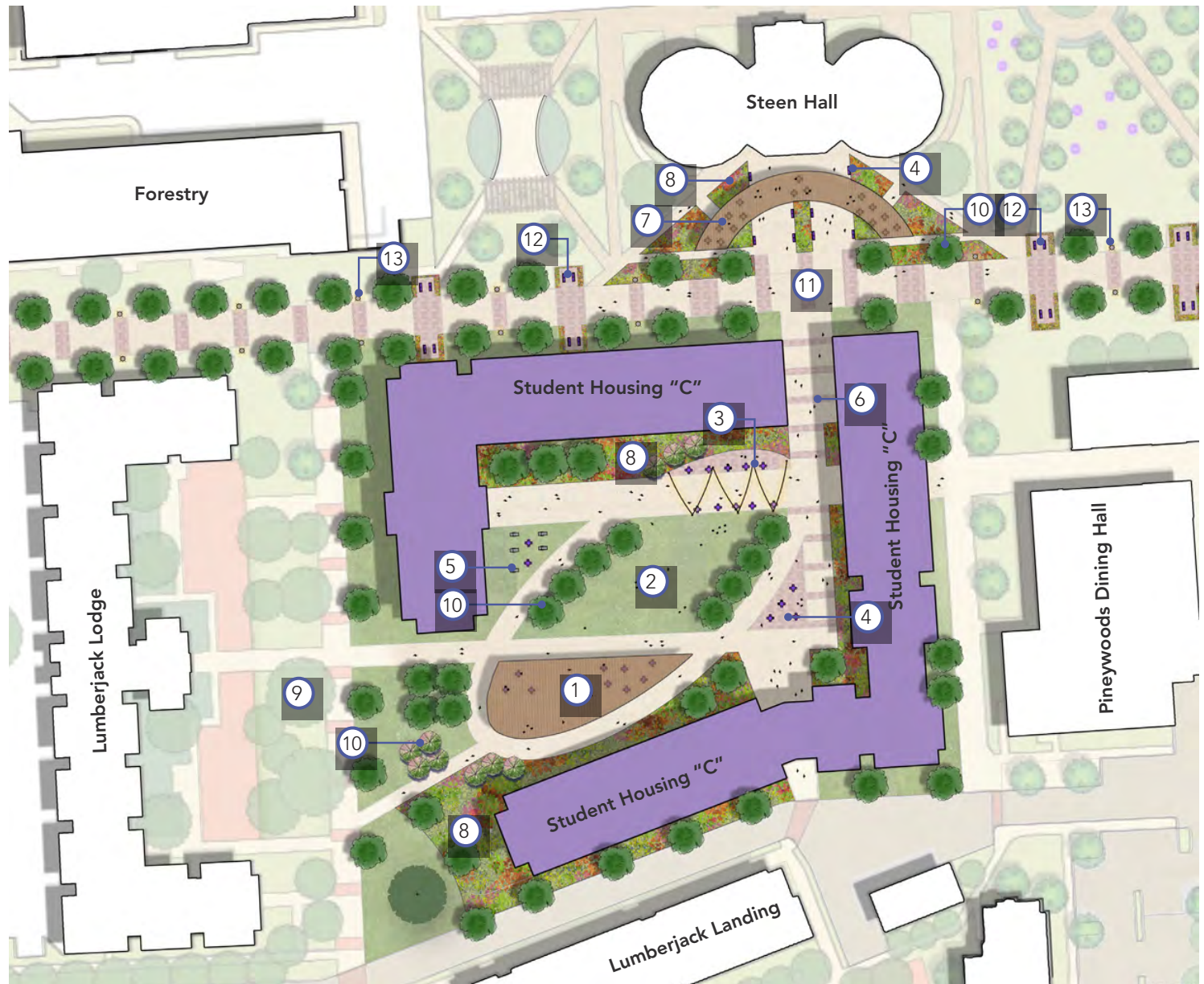


*Example of residence hall courtyard with specialty furniture*




- 1 Metal shade structures with outdoor furniture, typ.
- 2 Central open lawn
- 3 Seating nook with pavers and catenary lights
- 4 Outdoor furniture, typ.
- 5 Hammock grove
- 6 Paver banding, typ.
- 7 Architectural arbor with outdoor furniture
- 8 Landscape area, typ.
- 9 Existing tree, typ.
- 10 Proposed tree, typ.
- 11 College Mall (pedestrian mall with emergency vehicle access)
- 12 Seating nook along Mall, typ.
- 13 Pedestrian light fixtures at paver bands

Note: Electric power should be integrated and distributed throughout courtyards and malls to ensure pedestrian safety and support outdoor activities.



**Map 7.** Landscape Typology - Student Housing Courtyard and College Mall

Scale: N.T.S. 

# SPECIALTY FURNITURE PER LANDSCAPE TYPOLOGY

While a consistent family of standard unifying furniture forms the backbone of the campus identity, each landscape typology calls for specialty furnishings that respond to its unique character, support distinct uses and scale, and enhance the campus identity within its context. These furnishings complement the unifying palette while allowing design and activity flexibility that aligns with the programmatic and aesthetic goals of each landscape typology. All specialty furniture must be reviewed and approved by SFA prior to procurement.

## OPEN SPACE

Specialty furniture in these areas should be durable, weather-resistant, and flexible, with minimal fixed elements to allow reconfiguration based on seasonal or programmatic needs. Long benches, perimeter seating walls, and integrated seating along lawn edges are appropriate. Where possible, furniture should support large-scale events.



**Decorative Concrete Bench with Skate Stops at Open Spaces**

*Wausau Tile*

*Materials: Decorative concrete*

## QUADS

Specialty furniture in quads should be fixed in place to maintain organization, durability, and alignment with circulation. Specialty pieces may include benches with backrests and armrests, arranged in seating nooks or along main walkways. Metal shade structures at different scales are recommended to promote social activities during warmer months and enhance the space's character. Furniture design should reflect the formal, academic tone of these spaces.



**Vroom Bench or Modules at Quads**

*Vestre*

*Color: Purple (RAL)*



## MALL

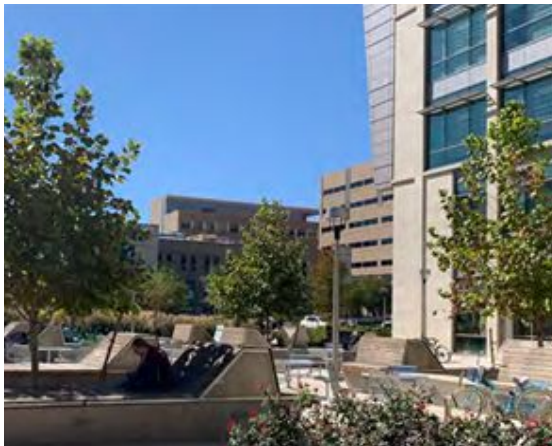
As primary pedestrian corridors, malls require specialty furniture that is both permanent and purposeful. Seating should be anchored and located in clearly defined zones, such as small plazas or nooks along the path, to avoid obstructing pedestrian, maintenance, or emergency vehicle circulation. Specialty furniture can include seat walls, fixed benches, fixed carousel tables and chairs, custom design pieces such as plinths, and light elements such as light bollards and festoon lights. Where appropriate, covered seating nooks with landscape buffer or shade elements should provide opportunities for respite and moments of pause without disrupting the linear flow of movement.



**Carousel Table and Chairs at Malls or Plazas**

*Landscape Forms*

*Metal, Casual or Dining Height, Umbrella hole  
(optional depending on location), surface mounted*



**Boat Plinths at Malls**

*Custom Design*

*Materials: Concrete and wood*



**Adirondack Chairs at Plaza**

*Loll Furniture*

*Color: Sage, Fog, Navy Blue or approved equal*

## PLAZAS

Plazas are social, high-traffic spaces meant for informal gathering and interaction. Specialty furniture in these spaces should be loose, movable, and comfortable to accommodate group dynamics and daily use. Lightweight café-style tables and chairs, lounge seating, and, where appropriate, soft seating elements like swings and hammock stands promote a casual, student-friendly atmosphere with a social emphasis. Central shade structures are encouraged to support gatherings, events, or day-to-day activities.



**Air Seat and Table with Vroom Module at Plaza**

*Vestre*

*Color: Pearl Violet or approved equal by SFA*



## COURTYARD

Courtyards are smaller-scale, often semi-enclosed spaces that support studying, dining, on-campus residence hall activities, and small meetings. Here, specialty furniture should be flexible, informal, and varied, offering a mix of solo seating, small group tables, and movable lounge pieces. Comfortable furniture such as Adirondack chairs, bistro tables, swings, and outdoor sofas may be used where security and durability allow. These spaces also offer opportunities for integrated planter seating, vertical shade elements, designated hammock posts, and outdoor power access to support productivity and comfort.

Skateboard and e-scooter parking areas are primarily appropriate around student housing and dining areas.



**Lakeside 48" Swing at Courtyards or Plazas**  
Polywood  
Color: Slate Grey, or Sand



**Adirondack Chairs and Sofas at Courtyards or Plazas**  
Loll Furniture  
Color: Sage, Fog, Navy Blue or approved equal



**Hammock Posts at Courtyards**  
Custom Steel  
HSS Round post, powder coated black or purple  
Height: 54" to 60"



**Harvest Table and Benches at Courtyards**  
Landscape Forms  
Color: Leaf Green, Navy Blue, or approved equal  
Accessories: Bag Hanger. Style: Rectangular



**Harvest Table and Benches at Courtyards**  
Landscape Forms  
Color: Leaf Green, Navy Blue, or approved equal  
Accessories: Bag Hanger. Style: Round





**Adirondack Rockers at Courtyards or Plazas**  
 Loll Furniture  
 Color: Sage, Fog, Navy Blue or approved equal



**Adirondack Chaise at Courtyards or Plazas**  
 Loll Furniture  
 Color: Sage, Fog, Navy Blue or approved equal  
 Style: 405 Chaise



**Scooter & Skateboard Rack at Courtyards  
 (or outside Student Housing)**  
 Skatedock by Ground Control Systems  
 Surface mount



**1050 Bar Height Tables and Stools at Courtyards**  
 Maglin  
 Color: Reseda Green, Pastel Blue, or approve eq.



**Personal E-Scooter Parking & Charging Station  
 at Courtyards (or outside Student Housing)**  
 bikeep or comparable  
 App-based system with charging socket add-on



## GARDEN & TRAIL ZONE

Within naturalized areas at the Garden and Trail Zones, furnishings should be context-sensitive and low-impact. Benches, picnic tables, and waste receptacles should be made of metal, high-density polyethylene (H.D.P.E.), wood, concrete, or limestone to blend with the surrounding landscape and reduce maintenance needs. Rest areas with seating should be strategically located at scenic overlooks, intersections, under tree canopies to encourage natural shade, reflection, and interaction with nature.

Where natural shade from trees is not available, shade sails may be incorporated to provide comfort and relief from sun exposure and heat.



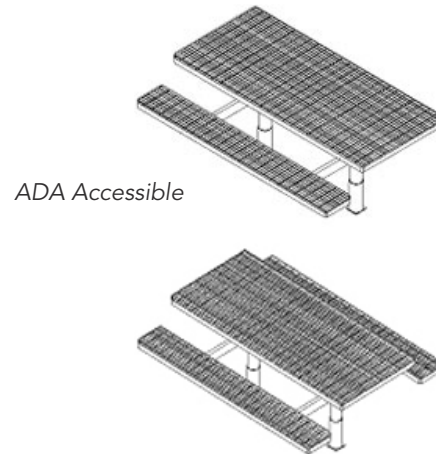
**Butterstick Block at Gardens and Trails**  
Local Quarry  
Material: Limestone



**Shade Sail at Gardens and Trails**  
Kraftsman Play  
Color to be approved by SFA



**Campus Standard Bench (mounted)**  
Texas Correctional Industries  
4 ft: 650-06-35100-4, 6 ft: 650-06-35110-3,  
8ft: 650-06-35120-2  
Color: SFA Purple powder coat



**Picnic Table (mounted)**  
Texas Correctional Industries  
650-36-36100-7 and 650-36-31090-5 (ADA where  
applicable), 8 ft length  
Color: SFA Purple powder coat



**Habitat Wings at Gardens and Trails**  
Vestre  
Materials: Metal and Wood  
Color to be approved by SFA



## LIGHTING AND SAFETY

In addition to the previously-listed unifying furniture standards, a new family of specialty lighting and safety elements is recommended to support modern campus improvements and enhance safety throughout the SFA campus. These elements, consisting of illuminated bollards and blue-light emergency phones, are intended to complement, rather than compete with, the established unifying furniture palette. Their clean, modern design provides an updated aesthetic that aligns with new construction and renovation projects while maintaining visual harmony with the broader campus environment.

Specialty illuminated bollards should be strategically integrated within all landscape typologies, such as open spaces, malls, quads, plazas, and courtyards, where they can enhance visibility, define circulation routes, and improve nighttime comfort for all users. Their placement should emphasize pedestrian pathways, gathering areas, and transition zones, i.e. mall nodes or gateways, ensuring consistent illumination.

Campus blue-light emergency phones remain a critical component of campus safety and should be prioritized in accessible locations across landscape typologies. They are to be placed at key pedestrian intersections, open spaces, and near major building entries to maximize visibility and ease of use. The integration of these specialty furniture devices within the landscape should be coordinated, reviewed, and approved by SFA.



**Inula Light Bollard**  
*Selux*  
*Color: Bronze*



**Campus Blue-Light Emergency Phone**  
*Manufacturer to be provided by campus*  
*Color: White*

# SIGNAGE & WAYFINDING

Visible, harmonious, and well-maintained signage is essential to creating a welcoming and navigable campus environment. Entry monument signs, wayfinding signage, and trail markers all work together to establish a strong sense of identity for SFA, improve first impressions, and support safe and intuitive movement throughout the campus. A cohesive signage system reinforces campus branding, reduces visual clutter, and ensures that visitors, students, and staff can easily locate campus entrances/edges, buildings, destinations, and amenities. Signs must be readable both day and night and designed with materials that withstand weather and time with minimal maintenance.

## EXISTING MONUMENT SIGNS

All additional campus entry points must comply with the established design standards of the existing primary monument sign located along North Street and secondary monument sign located along E. Starr Avenue. Primary and secondary entry signs convey the university's identity at key arrival points and must match the existing monuments in style, materials, branding, and landscape integration. They serve as iconic gateways and should be illuminated and placed in clear sight lines for maximum visibility. Consistency between primary and secondary signage ensures a seamless arrival experience across campus thresholds and maintains campus branding and identification.

## GARDEN AND TRAIL ENTRY SIGNS

Entrances into garden areas and trail systems must also be marked by consistent, scaled-down signage that reflects the overall campus signage standards. These signs should be thoughtfully integrated into the landscape, using durable materials and legible graphics. Trail heads and wayfinding markers within the gardens and trails should be strategically placed to support navigation, safety, and educational interpretation, reinforcing both campus identity and a connection to the surrounding ecosystem.








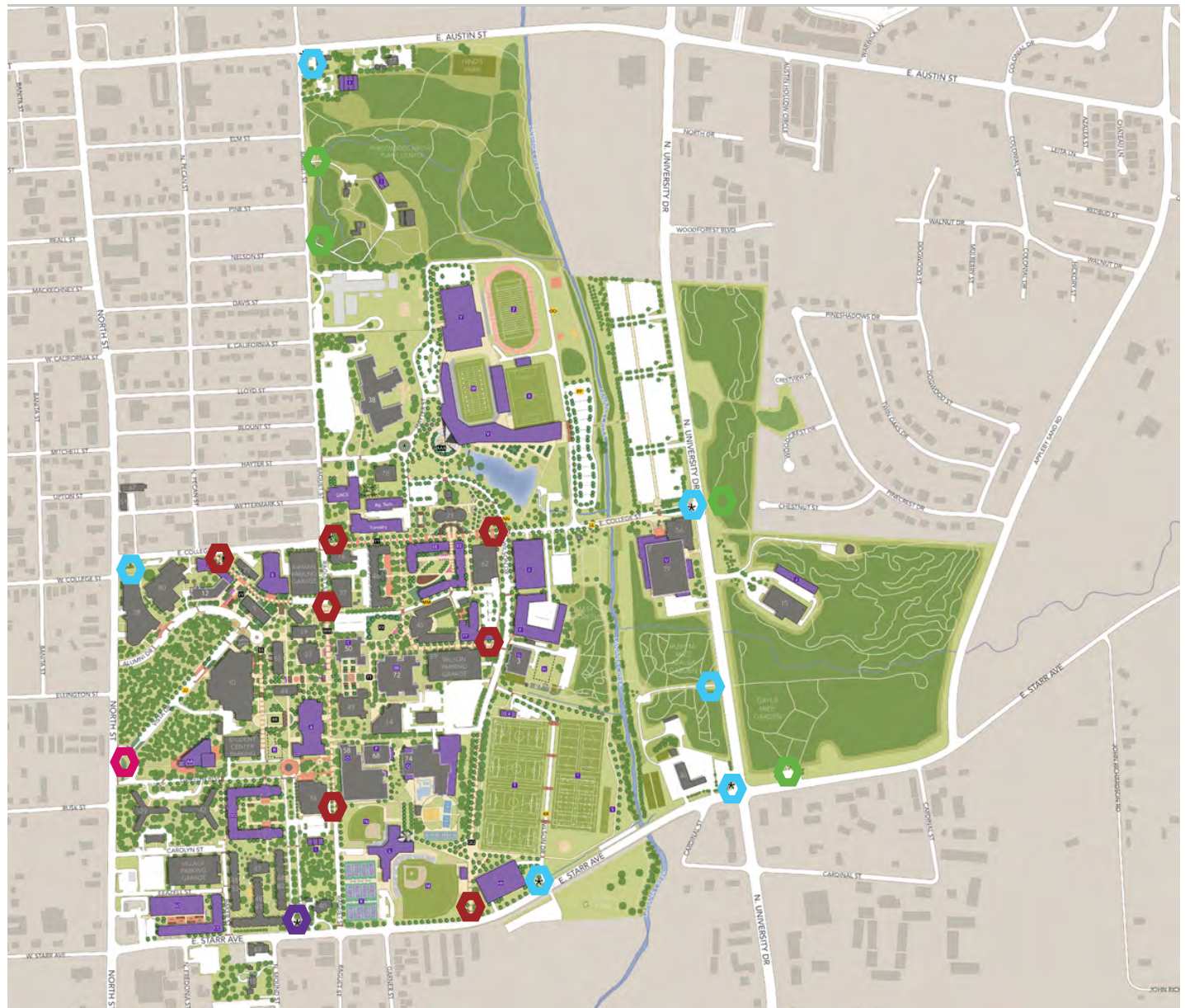
*Existing Primary Monument Sign along North Street*



*Existing Secondary Sign along E. Starr Avenue*



-  Existing Primary Monument Sign (Standard)
-  Existing Secondary Monument Sign (Standard)
-  Secondary Monument Sign (New or Retrofitted)
-  Pedestrian Gateway
-  Garden and Trail Entry Sign (New)



**Map 8.** Main Campus - Proposed Signage Hierarchy

Scale: N.T.S. 



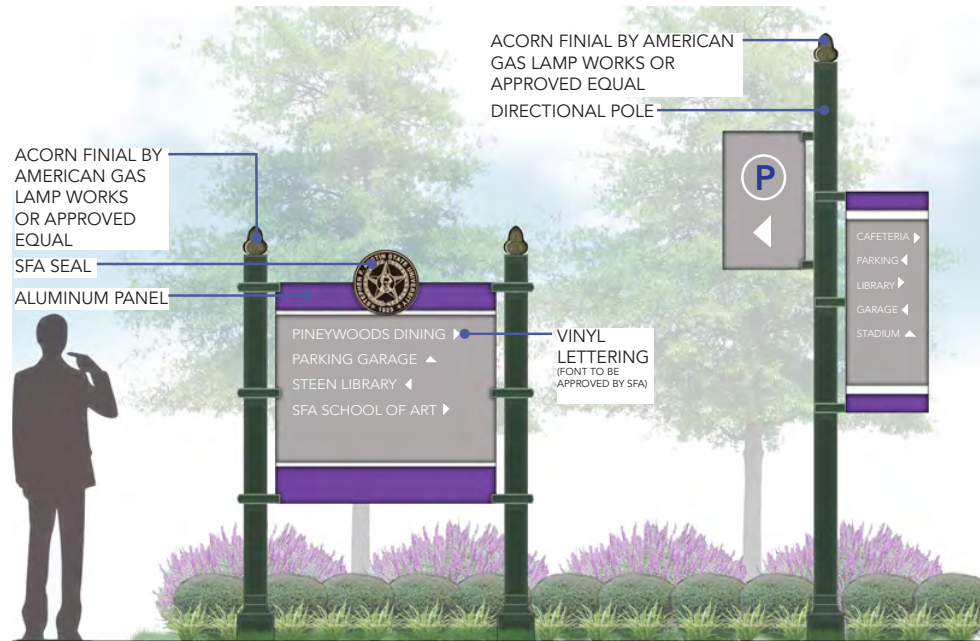
## PEDESTRIAN WAYFINDING SIGNAGE

The pedestrian wayfinding signage is designed to enhance clarity, connectivity, and campus identity. Two different pedestrian wayfinding signs are used simultaneously, upon agreement with SFA, to guide students, visitors, and staff efficiently through the campus.

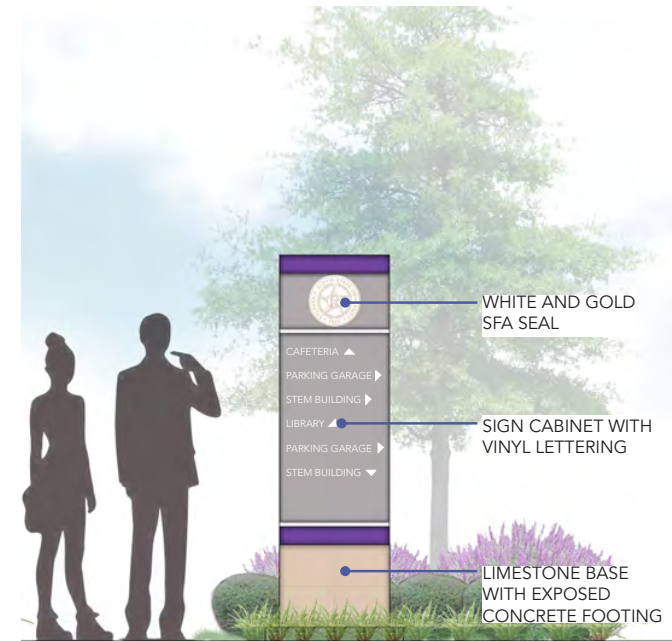
The first and second type is a metal panel and directional pole system, strategically located adjacent to walkways, adjacent to roads such as intersections, and within gardens and trails. Their slender, durable design provides clear directional information, helping people orient themselves and navigate key campus destinations, such as academic buildings, residence halls, and offices. Its minimal profile and consistent branding ensure legibility without detracting from the surrounding landscape.

The third type is a metal cabinet plinth with a limestone base, serving as a more substantial and architectural marker. These are best suited for placement near building, within prominent landscape typologies such as malls, quads, or plazas, and at key campus intersections.

Together, all three signage types reinforce a unified wayfinding language that is elegant, durable, and responsive to the scale of each campus zone.



Type 1 metal panel and Type 2 directional pole decorated with seal and acorn finials



Type 3 metal cabinet plinth with limestone base

## PEDESTRIAN GATEWAY

The pedestrian gateways align with the architectural style and materials of the existing entry monument sign family and, like it, function to create a sense of arrival at the pedestrian scale. These gateways establish visual continuity and strengthen campus edges and experiences. Located at key pedestrian entry points, such as a mall terminus, pedestrian nodes, or courtyard or garden entrances, these formal markers signal entry into the university grounds or landscape typology.

Where space is limited, the first type of pedestrian gateway consists of a set of limestone columns adjacent to the pedestrian walkway. Both columns should match the architectural detail, style, material, and illumination as the existing columns located along Griffith Boulevard (see image below). These type of pedestrian gateway can be embellish with shrubs and groundcovers at ground level adjacent to the sidewalk.



**Type 1 limestone columns to match existing**

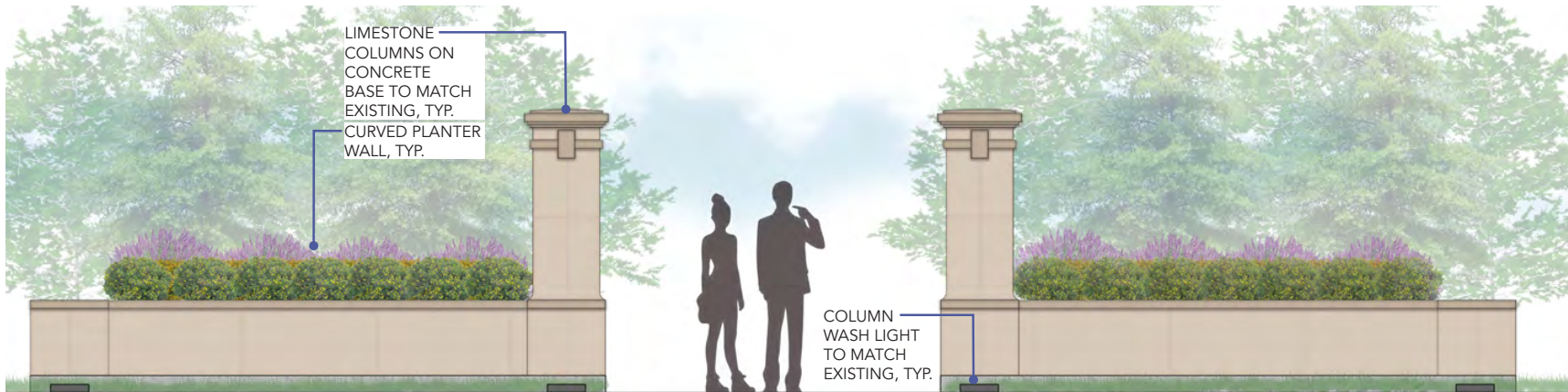


**Existing limestone wall and columns along Vista Drive**

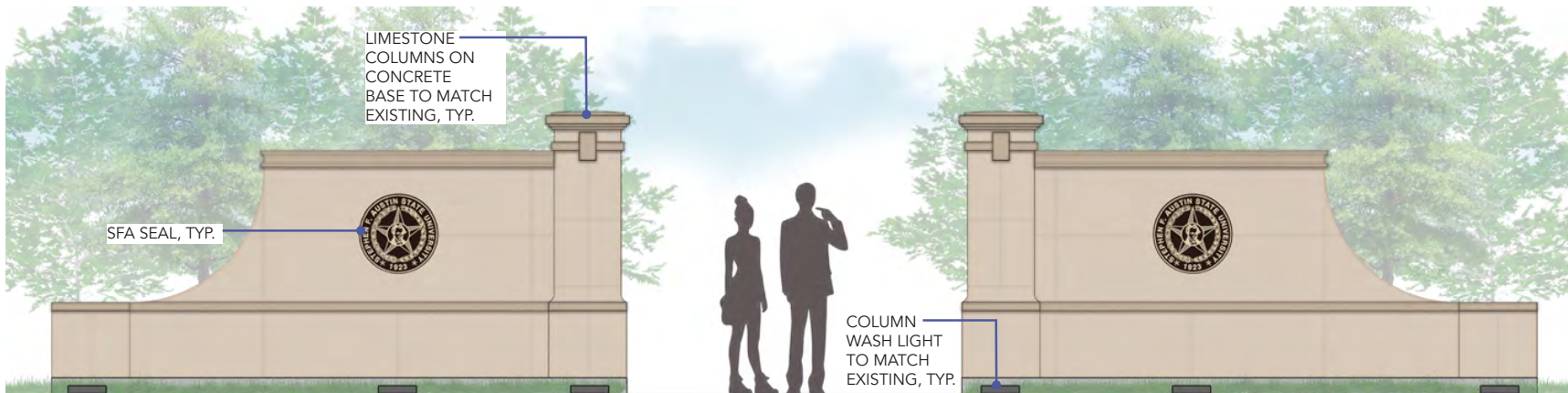
## PEDESTRIAN GATEWAY (CONT.)

The second and third type of pedestrian gateway incorporates the same set of limestone columns along Griffith Boulevard but extends out on each side to create two curved wing walls. Type 2 wing walls incorporates planters and offers the opportunity to add annual flowers or shrubs to bring a pop of color and beauty to the campus edges or entrances.

Type 3 wing walls replaces the planters with taller curved walls and the SFA seal. The combination of stone, metal accents, illuminated features, and the opportunity to integrate a planter or SFA seal created a welcoming and memorable experience for users.



**Type 2 limestone columns with curved planters**



**Type 3 limestone columns with curved walls**



## INDIVIDUAL BUILDING SIGNAGE

Individual building signage should maintain a consistent, durable, and high-quality appearance that aligns with the overall campus identity. Building signage design shall be approved by SFA prior to manufacturing and installing. Each sign must be mounted on a subsurface post, providing a uniform installation method per SFA's recommendation that enhances durability and created a cohesive look across campus. This standardized approach ensures that building identification remain consistent, elegant, and easily recognizable for everyone.

Below are examples of building signs designed and approved by SFA.



**Austin Building Signage**

*24w x 12h*

*Solid Cast Bronze*

*Single Line*

*Black Leatherette*

*Integral post cap mounting standard with post*



**Forestry & Agriculture Building Signage**

*24w x 12h*

*Solid Cast Bronze*

*Single Line*

*Black Leatherette*

*Integral post cap mounting standard with post*

# LANDSCAPE SCULPTURES

## OPPORTUNITIES FOR ART

Outdoor art installations on campus play an important role in expressing the university's identity, commemorating individuals, and enhancing the character of open spaces, quads, and malls. When introducing new art pieces, it is essential to consider proper placement, visibility, architectural scale, and clearance requirements, as well as safety and ADA compliance. The surrounding landscape, including trees, plantings, and site furnishings, should also be evaluated to ensure that the artwork complements, rather than conflicts with, its setting.

To support long-term stewardship, all outdoor art installations must include provisions for ongoing maintenance, typically through an established endowment. Additionally, any outdoor art piece exceeding a cost threshold dictated by SFA must be designed and installed to allow for future removal or relocation without significant disruption to the site or surrounding landscape



*Micky Elliott College of Fine Arts Art Installation*



*STEM Building Art Installation*



*Example of an art installation along a mall*




*Example of a mural within a building courtyard*



- ✱ Area for Outdoor Art Installation
- ✱ Area for Murals



**Map 9.** Main Campus - Opportunities for Outdoor Art

Scale: N.T.S. 



# APPENDIX

# PRIMARY PLANT PALETTE

## SHADE TREES



*Longleaf & Short Leaf Pine*

*Pinus palustris*



*Loblolly Pine*

*Pinus taeda*



*Live Oak*

*Quercus virginiana*



*Southern Red Oak*

*Quercus falcata*



*Chinquapin Oak*

*Quercus muehlenbergii*



*Water Oak*

*Quercus nigra*



*American Elm*

*Ulmus americana*



*Cedar Elm*

*Ulmus crassifolia*

NOTE: Primary shade tree palette is readily available and supports the character of the campus as a primary element.

# SECONDARY PLANT PALETTE

## SHADE TREES



*Nuttall Oak*  
*Quercus texana*



*Shumard Oak*  
*Quercus shumardii*



*Mexican White/Monterey Oak*  
*Quercus polyphorma*



*Pond Cypress*  
*Taxodium ascendens*



*Southern Magnolia*  
*Magnolia grandiflora*

NOTE: Secondary shade tree palette is smaller and to be used to diversify the primary palette and for specific areas or uses.



# TERTIARY PLANT PALETTE

## SHADE TREES



Black Tupelo/Blackgum  
*Nyssa sylvatica*



White Oak  
*Quercus alba*



Post Oak  
*Quercus stellata*



Bur Oak  
*Quercus macrocarpa*



Overcup Oak  
*Quercus lyrata*



Swamp Chestnut Oak  
*Quercus michauxii*



Cherrybark Oak  
*Quercus pagoda*



Pecan Tree  
*Carya illinoensis*



American Sycamore  
*Platanus occidentalis*



Mexican Sycamore  
*Platanus mexicana*

NOTE: Tertiary shade tree palette increases the diversity, interest, or replaces trees that are challenging to procure.

# PRIMARY PLANT PALETTE

## ORNAMENTAL TREES



*Eastern Redbud*  
*Cercis canadensis*



*Texas Mountain Laurel*  
*Dermatophyllum secundiflorum*



*Vitex*  
*Vitex agnus-castus*



*Little Gem Dwarf Southern Magnolia*  
*Magnolia grandiflora 'Little Gem'*

NOTE: Primary ornamental tree palette is readily available, prioritized, and used throughout campus.



# SECONDARY PLANT PALETTE

## ORNAMENTAL TREES



*Dogwood*

*Cornus florida*



*Japanese Maple*

*Acer palmatum*  
(multiple cultivars available)



*'Little Gem' Magnolia*

*Ilex x 'Nellie R. Stevens'*



*Rusty Blackhaw Viburnum*

*Viburnum rufidulum*

NOTE: Secondary ornamental tree palette to be used to diversify the primary palette and for specific areas or uses.



# TERTIARY PLANT PALETTE

## ORNAMENTAL TREES



*Japanese Black Pine*  
*Pinus thunbergii*



*Mexican Sugar Maple*  
*Acer skutchii*



*Red Maple*  
*Acer rubrum*

NOTE: Tertiary ornamental tree palette increases the diversity and interest throughout campus. Can also be used as accent trees.

# PRIMARY PLANT PALETTE

## SHRUBS



*Azalea*

*Rhododendron* spp.

(multiple species available)



*Azalea* 'red ruffles'

*Rhododendron* 'Red Ruffles'



*Azalea* 'Pink Ruffles'

*Rhododendron* 'Pink Ruffles'



*Azalea* Encore 'Autumn Royalty'

*Rhododendron* 'Conlec'



*Azalea* Encore 'Autumn Angel'

*Rhododendron* 'Robleg'



*Azalea* 'George Tabor'

*Rhododendron* x 'George Tabor'



Red Turk's Cap

*Malvaviscus arboreus* var.  
*drummondii*



Pink Turk's Cap

*Malvaviscus Drummondii*  
'Pam Puryear'

NOTES: Primary shrub palette is readily available and support the character of the campus as a primary element.



# PRIMARY PLANT PALETTE

## SHRUBS



Texas Sage

*Leucophyllum frutescens*



Texas Sage 'Little Lynn'

*Leucophyllum langmaniae* 'Little Lynn'



Oak Leaf Hydrangea

*Hydrangea quercifolia*



Knockout Roses

*Rosa* 'Knock Out'



Pittosporum

*Pittosporum* spp.

(multiple varieties available)



Coral Drift Rose

*Rosa* 'Meidrifora'

(multiple cultivars available)



Rose Spirea

*Spirea douglasii*



Dwarf Yaupon Holly

*Ilex vomitoria* 'Nana'



# PRIMARY PLANT PALETTE

## SHRUBS



*Dwarf Burford Holly*  
*Ilex cornuta 'Burfordii'*



*Indian Hawthorn*  
*Raphiolepis indica* spp.



*Cherry Laurel*  
*Prunus laurocerasus*



*Spider Lily*  
*Lycoris radiata*



*White Drift Rose*  
*Rosa 'Meizorland'*  
(multiple cultivars available)



*Japanese Spirea*  
*Spiraea japonica*



*American Beautyberry*  
*Callicarpa americana*

# SECONDARY PLANT PALETTE

## SHRUBS



*Illicium*  
*Illicium verum*



*Holly Fern*  
*Cyrtomium falcatum*



*Gardenia*  
*Gardenia* spp.  
(multiple varieties available)



*Japanese Yew*  
*Taxus cuspidata*  
(multiple varieties available)



*Chinese Fringe Flower*  
*Loropetalum chinense* var. *rubrum*



*Variegated Jazz Hands*  
*Loropetalum chinense* 'Irodori'



*Purple Diamond Loropetalum*  
*Loropetalum chinense* 'Shang-hi'



*Wintergreen Boxwood*  
*Buxus sinica* var. *insularis*  
'Wintergreen'

NOTE: Secondary shrub palette is to be used to diversify the primary palette and for specific areas or uses.



# SECONDARY PLANT PALETTE

## SHRUBS



Wild Bergamot

*Monarda fistulosa*



Creeping Lily Turf

*Liriope spicata*



# TERTIARY PLANT PALETTE

## SHRUBS



Giant Hyssop  
*Agastache 'Blue Fortune'*



Milkweed  
*Asclepias syriaca*



Witch-hazel  
*Hamamelis virginiana*



Serviceberry  
*Amelanchier arborea*



Coneflower  
*Echinacea purpurea*



Blue Sage  
*Salvia azurea*



Wax Leaf Ligustrum  
*Ligustrum japonicum*



Emerald Green Arborvitae  
*Thuja occidentalis 'Emerald Green'*

NOTES: Tertiary shrub palette increase the diversity, interest, and color of flowering plants. Can be used as accent plants.

# ADDITIONAL PRIMARY PLANT PALETTE

## GROUNDCOVER



*Lantana*

*Lantana* spp.\*

*\*Prioritize purple for school pride*



*Asian Jasmine*

*Trachelospermum asiaticum*

# IRRIGATION

## IRRIGATION SYSTEM STANDARDS

Stephen F. Austin State University is primarily a Rainbird irrigation campus. Controllers are transitioned to Wi-Fi compatibility when replaced.

### ***Rainbird valves:***

- 100-PEB and 100-PESB: 1"NPT
- 150-PEB and 150-PESB: 1 1/2 " NPT
- 200-PEB and 200-PEBT: 2" NPT

### ***Rainbird spray heads:***

These heads are primarily for small turf areas and possibly for shrub beds.

- 1800 series

### ***Rainbird rotor heads:***

These are for larger turf areas with increased spray radius.

- 3500 and/or 5000 series

### ***Athletic Fields:***

These rotors have an increased spray radius for larger areas.

- Falcon 6504 model

### ***Rainbird controllers:***

Can be controlled by smart phone or i-Pad out in the field.

- ESP-ME3 series Wi-Fi compatible
- ESP-LXME2 + Pro Smart

### ***Rainbird Wireless Rain/Freeze sensor:***

Runs on batteries and will keep system from running during rainfall periods.

- WR2RFC-48

### ***Pipe:***

- Schedule 40 pipe and fittings

### ***Wire:***

- 16 gauge wire

**No drip lines should be used on campus** due to ongoing issues with squirrels chewing the tubes, which creates a significant maintenance burden to keep irrigation lines repaired and functioning properly. SFA will transition to shrub heads in existing beds as needed.



# **APPENDIX H**

## **FACILITY CONDITION ASSESSMENTS**



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5/5/2025

## Stephen F. Austin State University - Architectural Facility Assessment

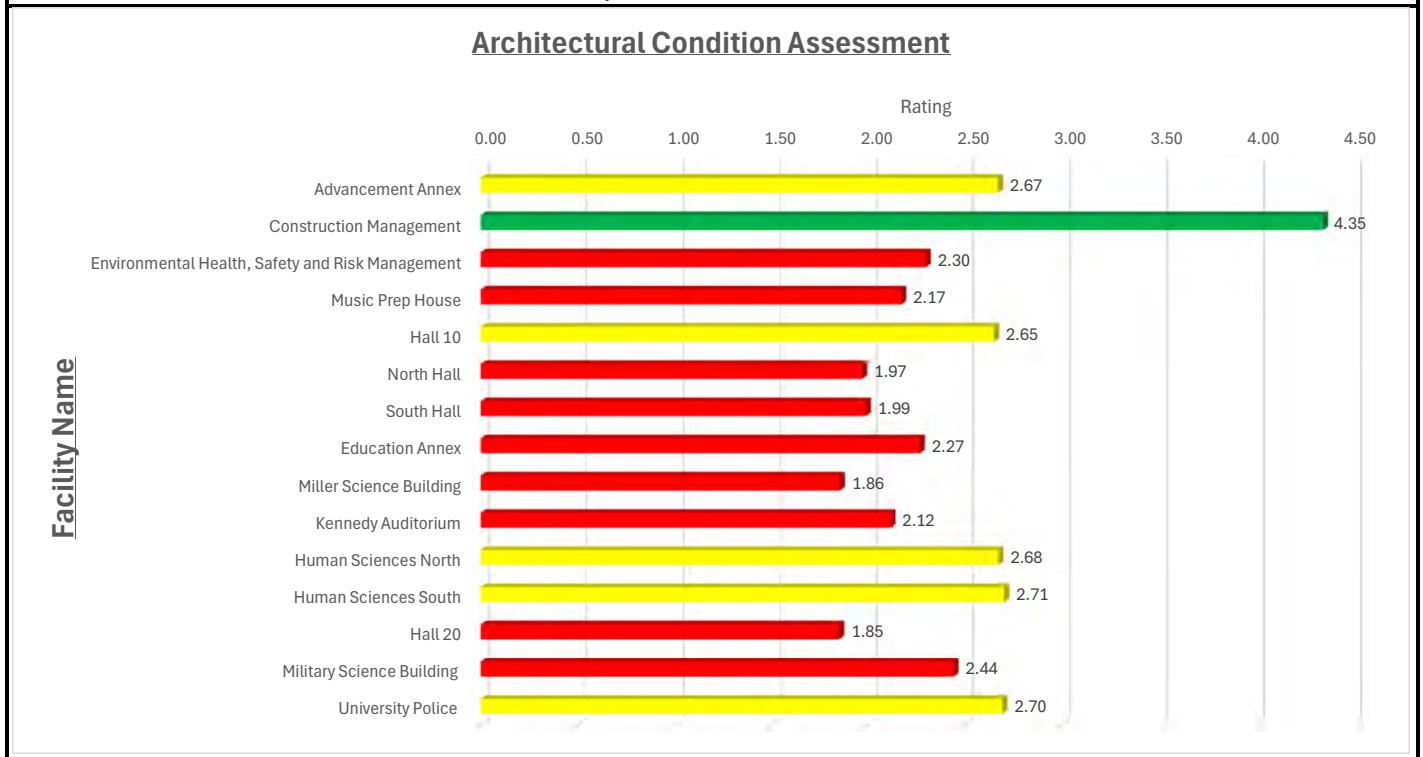
| Building # | Facility Name                                    | Approximate Area | Construction Date | Assessment Date | Rating |
|------------|--|------------------|-------------------|-----------------|--------|
| 206        | Advancement Annex                                | 6375             | 1974              | 12/17/2024      | ▶ 2.67 |
| 187        | Construction Management                          | 3879             | 2001              | 12/17/2024      | ▶ 4.35 |
| 186        | Environmental Health, Safety and Risk Management | 2498             | 1964              | 12/17/2024      | ▶ 2.30 |
| 190        | Music Prep House                                 | 4392             | 1928              | 12/17/2024      | ▶ 2.17 |
| 516        | Hall 10  | 26,928           | 1962              | 12/18/2024      | ▶ 2.65 |
| 511        | North Hall                                       | 17,407           | 1960              | 12/18/2024      | ▶ 1.97 |
| 512        | South Hall                                       | 17,407           | 1960              | 12/18/2024      | ▶ 1.99 |
| 152        | Education Annex                                  | 31,469           | 1974              | 12/18/2024      | ▶ 2.27 |
| 121        | Miller Science Building                          | 144,550          | 1966/1998         | 12/18/2024      | ▶ 1.86 |
| 120        | Kennedy Auditorium                               | 14,268           | 1968              | 12/18/2024      | ▶ 2.12 |
| 123        | Human Sciences North                             | 18,592           | 1969              | 12/18/2024      | ▶ 2.68 |
| 185        | Human Sciences South                             | 11,020           | 1981              | 12/18/2024      | ▶ 2.71 |
| 538        | Hall 20  | 90646            | 1985              | 12/17/2024      | ▶ 1.85 |
| 110        | Military Science Building                        | 5815             | 1965              | 12/17/2024      | ▶ 2.44 |
| 153        | University Police                                | 6,088            | 1988              | 12/18/2024      | ▶ 2.70 |

### Rating Legend

Facilities with Scores >3 are in decent shape

Facilities with Scores >2.5 and <3 need some work

Facilities <2.5 need extensive work and could be considered for replacement





## Advancement Annex

Inspection Date: 12/17/2024

### Facility Information

Address: 3034 Raguet St,  
Nacogdoches, TX 75965

Year Built: 1974

Construction Type: Wood Frame

Identifier Number 206



### Scoring Guidelines

- 0 Non Existent
- 1 Imminent failure, rehabilitation or replacement required
- 2 Poor condition, improvements recommended to maintain reliability
- 3 Average condition, normal maintenance recommended to maintain function
- 4 Above Average Condition, No Improvements
- 5 Like-new condition, no improvements recommended

### CONDITION ASSESSMENT - ARCHITECTURAL

| Building Components    | Type                       | Material         | Date Manufactured or Installed | Expected Life (Years) | Years Remaining | Component Condition Rating | Weight Factor | Weighted Component Rating | Comments   |
|------------------------|----------------------------|------------------|--------------------------------|-----------------------|-----------------|----------------------------|---------------|---------------------------|--|
| Site                   |                            |                  |                                |                       |                 | 4.3                        | 10%           | 0.43                      |  |
| Paving                 | Walks                      | Concrete         |                                |                       |                 | 3                          |               |                           | Cracks on concrete walkways                                      |
|                        | Parking                    | Concrete         |                                |                       |                 | 5                          |               |                           | Newly paved Concrete parking                                     |
|                        | Building Entry/Exit Access | Accessibility    |                                |                       |                 | 5                          |               |                           | Entry is Accessible  |
| Envelope               |                            |                  |                                |                       |                 | 2.9                        | 40%           | 1.14                      |  |
| Roof                   |                            | Asphalt shingles |                                | 15                    | 5               | 3                          |               |                           | Ok condition of the roof, no leakage reported                    |
| Gutters and Downspouts |                            |                  |                                |                       |                 | 3                          |               |                           |  |
| Windows                |                            | Wood             |                                |                       |                 | 2                          |               |                           | Need work in areas   |
| Doors and Frames       |                            |                  |                                |                       |                 |                            |               |                           |  |
| Exterior               |                            | Painted Brick    |                                |                       |                 | 3                          |               |                           |  |
| Walls                  |                            | Wood Cladding    |                                |                       |                 | 3                          |               |                           | Walls on the rear side might need some repair though no leakage. |
| Trim                   |                            |                  |                                |                       |                 | 3                          |               |                           |  |
| Soffit                 |                            |                  |                                |                       |                 | 3                          |               |                           |  |
| Interiors              |                            |                  |                                |                       |                 | 3.3                        | 10%           | 0.33                      |  |
| Floor Finishes         |                            |                  |                                |                       |                 |                            |               |                           |  |
| Wood                   |                            |                  |                                |                       |                 | 4                          |               |                           |  |
| Vinyl                  |                            |                  |                                |                       |                 | 4                          |               |                           |  |
| Carpet                 |                            |                  |                                |                       |                 | 2                          |               |                           |  |
| Epoxy                  |                            |                  |                                |                       |                 | 4                          |               |                           |  |
| Ceramic tile           |                            |                  |                                |                       |                 | 3                          |               |                           |  |
| Wall Finish            |                            |                  |                                |                       |                 |                            |               |                           |  |
| Paint                  |                            |                  |                                |                       |                 | 3                          |               |                           |  |
| Ceiling                |                            |                  |                                |                       |                 |                            |               |                           |  |
| Wood                   |                            |                  |                                |                       |                 | 3                          |               |                           | Wood ceiling in garage sagging                                   |
| Painted Gypsum         |                            |                  |                                |                       |                 | 4                          |               |                           |  |
| Doors                  |                            |                  |                                |                       |                 | 4                          |               |                           |  |
| Accessible             |                            |                  |                                |                       |                 | 2                          |               |                           | Only first floor is accessible, stairs, restrooms not accessible |
| MEP                    |                            |                  | 2022                           |                       | 5 - 10 years    | 3                          | 15%           | 0.45                      | 3-10 years old   |
| Structural             |                            |                  |                                |                       |                 | 3                          | 25%           | 0.75                      | No issues noted  |
| Condition Rating       |                            |                  |                                |                       |                 |                            | 100%          | 2.67                      |  |

### Miscellaneous Items

- 1) Saggy ceiling in the garage, needs repair or replacement.
- 2) Some rot around fascia boards at rear of building. Recently replaced rear patio doors that had rotted at the bottom.
- 3) No issues other than this is a residential building used for commercial application, limits expansion and/or additions.
- 4) Due to construction type and lack of egress, 2nd floor not occupied

# Construction Management (Winnebago House)

Inspection Date: 12/17/2024

## Facility Information

Address: 514 E Austin St,  
Nacogdoches, TX 75965  
Year Built: 2001  
Construction Type: Wood Frame  
Identifier Number 187



## Scoring Guidelines

- 0 Non Existent
- 1 Imminent failure, rehabilitation or replacement required
- 2 Poor condition, improvements recommended to maintain reliability
- 3 Average condition, normal maintenance recommended to maintain function
- 4 Above Average Condition, No Improvements
- 5 Like-new condition, no improvements recommended

## CONDITION ASSESSMENT - ARCHITECTURAL

| Building Components    | Type                       | Materials        | Date Manufactured or Installed | Expected Life (Years) | Years Remaining | Component Condition Rating | Weight Factor | Weighted Component Rating | Comments   |
|------------------------|----------------------------|------------------|--------------------------------|-----------------------|-----------------|----------------------------|---------------|---------------------------|--|
| Site                   |                            |                  |                                |                       |                 | 3.7                        | 10%           | 1.00                      |  |
| Paving                 | Walkway                    | Concrete         |                                |                       |                 | 3                          |               |                           | No Cracks on concrete walkway  |
|                        | Parking                    | Concrete         |                                |                       |                 | 3                          |               |                           |  |
|                        | Building Entry/Exit Access | Accessibility    |                                |                       |                 | 5                          |               |                           | Building is accessible   |
| Envelope               |                            |                  |                                |                       |                 | 3.9                        | 40%           | 1.54                      |  |
| Roof                   |                            |                  |                                | 15                    | 10              | 3                          |               |                           | No Leaks reported  |
| Gutters and Downspouts |                            | Asphalt shingles |                                |                       |                 | 4                          |               |                           |  |
| Windows                |                            |                  |                                |                       |                 | 4                          |               |                           |  |
| Doors and Frames       |                            |                  |                                |                       |                 |                            |               |                           |  |
| Exterior               |                            |                  |                                |                       |                 | 4                          |               |                           | Good Condition of exterior walls                                     |
| Walls                  |                            | Brick Veneer     |                                |                       |                 | 4                          |               |                           | No Cracks or leakage reported  |
| Trim                   |                            |                  |                                |                       |                 | 4                          |               |                           |  |
| Soffit                 |                            |                  |                                |                       |                 | 4                          |               |                           |  |
| Interiors              |                            |                  |                                |                       |                 | 3.6                        | 10%           | 0.36                      |  |
| Floor Finish           |                            |                  |                                |                       |                 |                            |               |                           |  |
| Concrete               |                            |                  |                                |                       |                 | 4                          |               |                           |  |
| Vinyl                  |                            |                  |                                |                       |                 | 4                          |               |                           |  |
| Ceramic tile           |                            |                  |                                |                       |                 | 4                          |               |                           |  |
| Wall Finish            |                            |                  |                                |                       |                 |                            |               |                           |  |
| Paint                  |                            |                  |                                |                       |                 | 4                          |               |                           |  |
| Ceiling                |                            |                  |                                |                       |                 |                            |               |                           |  |
| Painted Gypsum         |                            |                  |                                |                       |                 | 4                          |               |                           |  |
| Doors                  |                            |                  |                                |                       |                 | 4                          |               |                           |  |
| Accessible             |                            |                  |                                |                       |                 | 1                          |               |                           | Only first floor is accessible, stairs, restrooms are not accessible |
| MEP                    |                            |                  |                                |                       | 3 to 10         | 3                          | 15%           | 0.45                      | DX system 5-10 years old   |
| Structural             |                            |                  |                                |                       |                 | 4                          | 25%           | 1.00                      |  |
| Condition Rating       |                            |                  |                                |                       |                 |                            | 100%          | 4.35                      |  |

## Miscellaneous Items

- 1) No issues other than this is a residential building used for commercial application, limits expansion and/or additions.
- 2) HVAC – DX systems from 10years old to 5 years old
- 3) Newer residential-type building, w/ RV bay

# Environmental Health, Safety and Risk Management

Inspection Date: 12/17/2024

## Facility Information

Address: 430 E Austin St,  
Nacogdoches, TX 75965  
Year Built: 1964  
Construction Type: Wood Frame  
Identifier Number 186



## Scoring Guidelines

- 0 Non Existent
- 1 Imminent failure, rehabilitation or replacement required
- 2 Poor condition, improvements recommended to maintain reliability
- 3 Average condition, normal maintenance recommended to maintain function
- 4 Above Average Condition, No Improvements
- 5 Like-new condition, no improvements recommended

## CONDITION ASSESSMENT - ARCHITECTURAL

| Building Components        | Type          | Materials        | Date Manufactured or Installed | Expected Life (Years) | Years Remaining | Component Condition Rating | Weight Factor | Weighted Component Rating | Comments   |
|----------------------------|---------------|------------------|--------------------------------|-----------------------|-----------------|----------------------------|---------------|---------------------------|--|
| <b>Site</b>                |               |                  |                                |                       |                 | 1.3                        | 10%           | 0.13                      |  |
| Paving                     | Walkway       | N/A              |                                |                       |                 | 2                          |               |                           | Several cracks and uneven Walkway  |
|                            | Parking       | Asphalt          |                                |                       |                 | 2                          |               |                           | Newly paved Parking area and way   |
| Building Entry/Exit Access | Accessibility |                  |                                |                       |                 | 0                          |               |                           | Most of the building is not Accessible, stairs throughout                    |
| <b>Envelope</b>            |               |                  |                                |                       |                 | 2.3                        | 40%           | 0.91                      |  |
| <b>Roof</b>                |               | Asphalt shingles |                                | 15                    | 3               | 2                          |               |                           | Leakage on roof reported   |
| Gutters and Downspouts     |               |                  |                                |                       |                 | 3                          |               |                           | Need cleaning out, full of leaves  |
| <b>Windows</b>             |               | Aluminum         |                                |                       |                 | 2                          |               |                           | Might need new sealant and resealing, single pane                            |
| <b>Doors and Frames</b>    |               |                  |                                |                       |                 |                            |               |                           |  |
| <b>Exterior</b>            |               |                  |                                |                       |                 | 2                          |               |                           | Bad condition of walls   |
| Walls                      |               | Wood Cladding    |                                |                       |                 | 2                          |               |                           |  |
| Trim                       |               |                  |                                |                       |                 | 3                          |               |                           |  |
| Soffit                     |               |                  |                                |                       |                 | 2                          |               |                           |  |
| <b>Interiors</b>           |               |                  |                                |                       |                 | 2.9                        | 10%           | 0.29                      |  |
| <b>Floor Finish</b>        |               |                  |                                |                       |                 |                            |               |                           |  |
| Floor Tiles                |               |                  |                                |                       |                 | 3                          |               |                           |  |
| Carpet                     |               |                  |                                |                       |                 | 3                          |               |                           |  |
| Wood patio floor           |               |                  |                                |                       |                 | 2                          |               |                           |  |
| <b>Wall Finish</b>         |               |                  |                                |                       |                 |                            |               |                           |  |
| Paint                      |               |                  |                                |                       |                 | 3                          |               |                           |  |
| Exposed brick              |               |                  |                                |                       |                 | 4                          |               |                           |  |
| <b>Ceiling</b>             |               |                  |                                |                       |                 |                            |               |                           |  |
| Painted Gypsum             |               |                  |                                |                       |                 |                            |               |                           |  |
| <b>Doors</b>               |               |                  |                                |                       |                 | 3                          |               |                           | OK condition   |
| <b>Accessible</b>          |               |                  |                                |                       |                 | 2                          |               |                           | Only first floor is accessible, stairs to basement, restrooms not accessible |
| <b>MEP</b>                 |               |                  | 2022                           | 15                    | 12              | 4                          | 15%           | 0.60                      | DX System 4 - 15 years old   |
| <b>Structural</b>          |               |                  |                                |                       |                 | 2                          | 25%           | 0.50                      |  |
| <b>Condition Rating</b>    |               |                  |                                |                       |                 |                            | 100%          | 2.30                      |  |

## Miscellaneous Items

- 1) Storm drains and area drains in driveway between it and construction management need replacing. New drains need to be engineered and installed to accommodate driveways and parking as it currently is.
- 2) DX systems upstairs 4 years old downstairs 12-15 years old.
- 3) Water infiltration in basement area (used to be an old garage). Sump
- 4) Possible environmental issues - asbestos
- 5) Garage has new roof, rotting plywood siding, gap under door
- 6) Exterior masonry needs cleaning



# Music Prep House

Inspection Date: 12/17/2024

## Facility Information

Address: 3028 Raguet St,  
Nacogdoches, TX 75965  
Year Built: 1928  
Construction Type: Wood Framing  
Identifier Number 190



## Scoring Guidelines

- 0 Non Existent
- 1 Imminent failure, rehabilitation or replacement required
- 2 Poor condition, improvements recommended to maintain reliability
- 3 Average condition, normal maintenance recommended to maintain function
- 4 Above Average Condition, No Improvements
- 5 Like-new condition, no improvements recommended

## CONDITION ASSESSMENT - ARCHITECTURAL

| Building Components        | Type          | Materials            | Date Manufactured or Installed | Expected Life (Years) | Years Remaining | Component Condition Rating | Weight Factor | Weighted Component Rating | Comments   |
|----------------------------|---------------|----------------------|--------------------------------|-----------------------|-----------------|----------------------------|---------------|---------------------------|--|
| <b>Site</b>                |               |                      |                                |                       |                 | 1.3                        | 10%           | 0.13                      |  |
| Paving                     | Walkway       | Asphalt              |                                |                       |                 | 2                          |               |                           | Cracks on pavement   |
|                            | Parking       | Asphalt              |                                |                       |                 | 2                          |               |                           | Cracks on pavement   |
| Building Entry/Exit Access | Accessibility |                      |                                |                       |                 | 0                          |               |                           |  |
| <b>Envelope</b>            |               |                      |                                |                       |                 | 1.9                        | 40%           | 0.74                      |  |
| <b>Roof</b>                |               | Asphalt shingles     |                                | 15                    | 3               | 1                          |               |                           | Leakage reported and observed damage                                 |
| Gutters and Downspouts     |               |                      |                                |                       |                 | 2                          |               |                           |  |
| <b>Windows</b>             |               | Aluminum single pane |                                |                       |                 | 2                          |               |                           |  |
| <b>Doors and frames</b>    |               |                      |                                |                       |                 |                            |               |                           |  |
| <b>Exterior</b>            |               | Painted Wood Siding  |                                |                       |                 | 2                          |               |                           | Needs painting   |
| Walls                      |               | Wood Cladding        |                                |                       |                 | 2                          |               |                           |  |
| Trim                       |               |                      |                                |                       |                 | 2                          |               |                           |  |
| Soffit                     |               |                      |                                |                       |                 | 2                          |               |                           |  |
| <b>Interiors</b>           |               |                      |                                |                       |                 | 2.3                        | 10%           | 0.23                      |  |
| <b>Floor Finishes</b>      |               |                      |                                |                       |                 |                            |               |                           |  |
| Ceramic Tile               |               |                      |                                |                       |                 | 3                          |               |                           | Need repointing  |
| Vinyl Flooring             |               |                      |                                |                       |                 | 3                          |               |                           |  |
| Carpet                     |               |                      |                                |                       |                 | 1                          |               |                           | Needs replacing, stained   |
| Painted Concrete           |               |                      |                                |                       |                 | 2                          |               |                           |  |
| <b>Wall Finish</b>         |               |                      |                                |                       |                 |                            |               |                           |  |
| Paint                      |               |                      |                                |                       |                 | 2                          |               |                           |  |
| <b>Ceiling</b>             |               |                      |                                |                       |                 |                            |               |                           |  |
| Concealed Spline           |               |                      |                                |                       |                 | 2                          |               |                           |  |
| Painted Gypsum             |               |                      |                                |                       |                 | 3                          |               |                           |  |
| Wood                       |               |                      |                                |                       |                 | 3                          |               |                           |  |
| <b>Doors</b>               |               |                      |                                |                       |                 | 3                          |               |                           |  |
| <b>Accessible</b>          |               |                      |                                |                       |                 | 1                          |               |                           | Only first floor is accessible, stairs, restrooms are not accessible |
| <b>MEP</b>                 |               |                      | Various                        |                       | 5 to 10         | 3                          | 15%           | 0.45                      | 6 to 13 year old equipment, not sure if all systems are functioning  |
| <b>Structural</b>          |               |                      |                                |                       |                 | 3                          | 25%           | 0.75                      | No issues noted  |
| <b>Condition Rating</b>    |               |                      |                                |                       |                 |                            | 100%          | 2.17                      |  |

## Miscellaneous Items

- 1) Some water penetration into garage area. Old leaks show up on east side of house.
- 2) HVAC system – Upstairs unit is 6 years old, downstairs unit is 12-13 years
- 3) Needs sanitary drain lines re-piped under house from each fixture and under parking area all the way to the sanitary lift station in the yard.
- 4) Emergency Blue phone not working, located in parking area

## Hall 10

**Inspection Date:** 12/18/2024

### Facility Information

Address: 605 Horseshoe Dr West, Nacogdoches, TX 75965  
 Year Built: 1962  
 Construction Type: Masonry Veneer  
 Identifier Number: 516



### Scoring Guidelines

- 0** Non Existent
- 1** Imminent failure, rehabilitation or replacement required
- 2** Poor condition, improvements recommended to maintain reliability
- 3** Average condition, normal maintenance recommended to maintain function
- 4** Above Average Condition, No Improvements
- 5** Like-new condition, no improvements recommended

### CONDITION ASSESSMENT - ARCHITECTURAL

| Building Components        | Type          | Materials | Date Manufactured or Installed | Expected Life (Years) | Years Remaining | Component Condition Rating | Weight Factor | Weighted Component Rating | Comments  |
|----------------------------|---------------|-----------|--------------------------------|-----------------------|-----------------|----------------------------|---------------|---------------------------|---|
| <b>Site</b>                |               |           |                                |                       |                 | <b>3.7</b>                 | <b>10%</b>    | <b>0.37</b>               |   |
| Paving                     | Walkway       | Concrete  |                                |                       |                 | 3                          |               |                           |   |
|                            | Parking       | Asphalt   |                                |                       |                 | 3                          |               |                           | Shared parking with other buildings   |
| Building Entry/Exit Access | Accessibility |           |                                |                       |                 | 5                          |               |                           | Building is Accessible  |
| <b>Envelope</b>            |               |           |                                |                       |                 | <b>2.9</b>                 | <b>40%</b>    | <b>1.14</b>               |   |
| <b>Roof</b>                |               | TPO Roof  | 2015                           | 20                    | 10              | 3                          |               |                           | No leakage reported, minor ponding  |
| Gutters and Downspouts     |               |           |                                |                       |                 | 4                          |               |                           |   |
| <b>Windows</b>             |               | Aluminum  |                                |                       |                 | 2                          |               |                           | Some windows needs replacement, single pane aluminum windows  |
| <b>Doors and frames</b>    |               |           |                                |                       |                 |                            |               |                           |   |
| <b>Exterior</b>            |               |           |                                |                       |                 | 2                          |               |                           |   |
| Walls                      |               | Masonry   |                                |                       |                 | 3                          |               |                           | No water penetration reported   |
| Trim                       |               |           |                                |                       |                 | 3                          |               |                           |   |
| Soffit                     |               |           |                                |                       |                 | 3                          |               |                           |   |
| <b>Interiors</b>           |               |           |                                |                       |                 | <b>2.4</b>                 | <b>10%</b>    | <b>0.24</b>               |   |
| <b>Floor Finishes</b>      |               |           |                                |                       |                 |                            |               |                           |   |
| Carpet                     |               |           |                                |                       |                 | 3                          |               |                           |   |
| Ceramic Tile               |               |           |                                |                       |                 | 3                          |               |                           |   |
| <b>Wall Finish</b>         |               |           |                                |                       |                 |                            |               |                           |   |
| Paint                      |               |           |                                |                       |                 | 4                          |               |                           | Newly painted, finishes   |
| <b>Ceiling</b>             |               |           |                                |                       |                 |                            |               |                           |   |
| ACT                        |               |           |                                |                       |                 | 3                          |               |                           |   |
| Plaster                    |               |           |                                |                       |                 | 2                          |               |                           |   |
| <b>Doors</b>               |               |           |                                |                       |                 | 1                          |               |                           | Some doors needs replacement  |
| <b>Accessible</b>          |               |           |                                |                       |                 | 1                          |               |                           | No Elevator, Front entry ramp with handrails, entry counter not ADA, drinking fountain not accessible |
| <b>MEP</b>                 |               |           |                                |                       |                 | <b>1</b>                   | <b>15%</b>    | <b>0.15</b>               |   |
| <b>Structural</b>          |               |           |                                |                       |                 | <b>3</b>                   | <b>25%</b>    | <b>0.75</b>               |   |
| <b>Condition Rating</b>    |               |           |                                |                       |                 |                            | <b>100%</b>   | <b>2.65</b>               |   |

### Miscellaneous Items

- 1) No major building envelope issues.
- 2) HVAC system – Air handlers are from the 90's, chillers were installed in 2004.
- 3) Boiler upgrades needed soon.
- 4) Brick entry stairs needs handrail, and repointing, rear access ramp has handrail
- 5) Drinking fountains not accessible, not high/low EWC
- 6) Based on reports, multiple areas within the building were tested positive for asbestos

## North Hall

**Inspection Date:** 12/18/2024

### Facility Information

Address: 619 Horseshoe Dr,  
Nacogdoches, TX 75965

Year Built: 1960

Construction Type: Masonry

Identifier Number 511



### Scoring Guidelines

- 0** Non Existent
- 1** Imminent failure, rehabilitation or replacement required
- 2** Poor condition, improvements recommended to maintain reliability
- 3** Average condition, normal maintenance recommended to maintain function
- 4** Above Average Condition, No Improvements
- 5** Like-new condition, no improvements recommended

### CONDITION ASSESSMENT - ARCHITECTURAL

| Building Components    | Type                       | Materials            | Date Manufactured or Installed | Expected Life (Years) | Years Remaining | Component Condition Rating | Weight Factor | Weighted Component Rating | Comments                                  |
|------------------------|----------------------------|----------------------|--------------------------------|-----------------------|-----------------|----------------------------|---------------|---------------------------|---|
| Site                   |                            |                      |                                |                       |                 | 2.0                        | 10%           | 0.20                      |   |
| Paving                 | Walkway                    | Concrete             |                                |                       |                 | 3                          |               |                           |   |
|                        | Parking                    | Asphalt              |                                |                       |                 | 3                          |               |                           | Parking shared with other buildings       |
|                        | Building Entry/Exit Access | Accessibility        |                                |                       |                 | 0                          |               |                           | Has parking, but no accessible entrance   |
| Envelope               |                            |                      |                                |                       |                 | 2.4                        | 40%           | 0.95                      |   |
| Roof                   |                            | TPO Roofing          | 2011                           | 20                    | 6               | 3                          |               |                           | No leakage reported, minor water ponding  |
| Gutters and Downspouts |                            |                      |                                |                       |                 | 3                          |               |                           |   |
| Windows                |                            | Single pane aluminum |                                |                       |                 | 1                          |               |                           | Some windows might need replacement,      |
| Doors and frames       |                            |                      |                                |                       |                 | 2                          |               |                           | Interior door hinges rusty                |
| Exterior               |                            |                      |                                |                       |                 | 2                          |               |                           | Masonry needs cleaning and repointing     |
| Walls                  |                            | Masonry              |                                |                       |                 | 3                          |               |                           | No water penetration reported             |
| Trim                   |                            |                      |                                |                       |                 | 2                          |               |                           | Need painting                             |
| Soffit                 |                            |                      |                                |                       |                 | 3                          |               |                           |   |
| Interiors              |                            |                      |                                |                       |                 | 1.7                        | 10%           | 0.17                      |   |
| Floor Finishes         |                            |                      |                                |                       |                 |                            |               |                           |   |
| Carpet                 |                            |                      |                                |                       |                 | 3                          |               |                           |   |
| Wood                   |                            |                      |                                |                       |                 | 2                          |               |                           | Lobby wooden floor needs replacement      |
| Wall Finish            |                            |                      |                                |                       |                 |                            |               |                           | Some areas need repainting                |
| Paint                  |                            | Plaster              |                                |                       |                 | 1                          |               |                           | Painted plaster walls                     |
| Ceiling                |                            |                      |                                |                       |                 |                            |               |                           |   |
| Plaster                |                            |                      |                                |                       |                 | 1                          |               |                           | Need replacement in some areas            |
| ACT                    |                            |                      |                                |                       |                 | 2                          |               |                           |   |
| Doors                  |                            |                      |                                |                       |                 | 2                          |               |                           | Some doors might need replacement         |
| Accessible             |                            |                      |                                |                       |                 | 1                          |               |                           | Upper Floors No, No Elevator, Shared Bath |
| MEP                    |                            |                      |                                |                       | 5               | 1                          | 15%           | 0.15                      | Chillers need replacement                 |
| Structural             |                            |                      |                                |                       |                 | 2                          | 25%           | 0.50                      |   |
| Condition Rating       |                            |                      |                                |                       |                 |                            | 100%          | 1.97                      |   |

### Miscellaneous Items

- 1) No major building envelope issues.
- 2) HVAC system – Air handlers were installed in the 80's, Needs replacement soon. Chiller were installed in 2014.
- 3) Boiler upgrades needed soon.
- 4) Mechanical room, the concrete structure has substantial cracks in the roof.
- 5) Possible environmental issue - Mold.
- 6) Screen wall to mechanical yard, brick is cracking and needs repair.



## South Hall

**Inspection Date:** 12/18/2024

### Facility Information

Address: 507 Horseshoe Dr,  
Nacogdoches, TX 75965

Year Built: 1960

Construction Type: Masonry

Identifier Number 512



### Scoring Guidelines

- 0** Non Existent
- 1** Imminent failure, rehabilitation or replacement required
- 2** Poor condition, improvements recommended to maintain reliability
- 3** Average condition, normal maintenance recommended to maintain function
- 4** Above Average Condition, No Improvements
- 5** Like-new condition, no improvements recommended

### CONDITION ASSESSMENT - ARCHITECTURAL

| Building Components     | Type                       | Materials     | Date Manufactured or Installed | Expected Life (Years) | Years Remaining | Component Condition Rating | Weight Factor | Weighted Component Rating | Comments  |
|-------------------------|----------------------------|---------------|--------------------------------|-----------------------|-----------------|----------------------------|---------------|---------------------------|---|
| <b>Site</b>             |                            |               |                                |                       |                 | 2.3                        | 10%           | 0.23                      |   |
| Paving                  | Walkway                    | Concrete      |                                |                       |                 | 3                          |               |                           |   |
|                         | Parking                    | Asphalt       |                                |                       |                 | 3                          |               |                           | Parking shared with other buildings   |
|                         | Building Entry/Exit Access | Accessibility |                                |                       |                 | 1                          |               |                           | Has parking, but no accessible entrance   |
| <b>Envelope</b>         |                            |               |                                |                       |                 | 2.4                        | 40%           | 0.95                      |   |
| <b>Roof</b>             |                            | TPO Roofing   | 2015                           | 20                    | 10              | 3                          |               |                           | No leakage reported, minor water ponding  |
| Gutters and Downspouts  |                            |               |                                |                       |                 | 3                          |               |                           |   |
| <b>Windows</b>          |                            |               |                                |                       |                 | 1                          |               |                           | Some windows might need replacement   |
| <b>Doors and frames</b> |                            |               |                                |                       |                 | 2                          |               |                           | Interior door hinges rusty, door and frame near mechanical yard need replacing - rusted |
| <b>Exterior</b>         |                            |               |                                |                       |                 | 2                          |               |                           | Masonry needs cleaning and repointing   |
| Walls                   |                            | Masonry       |                                |                       |                 | 3                          |               |                           | No water penetration reported   |
| Trim                    |                            |               |                                |                       |                 | 2                          |               |                           | Needs painting  |
| Soffit                  |                            |               |                                |                       |                 | 3                          |               |                           |   |
| <b>Interiors</b>        |                            |               |                                |                       |                 | 1.6                        | 10%           | 0.16                      |   |
| <b>Floor Finish</b>     |                            |               |                                |                       |                 |                            |               |                           |   |
| Carpet                  |                            |               |                                |                       |                 | 3                          |               |                           |   |
| Wood                    |                            |               |                                |                       |                 | 1                          |               |                           | Lobby wooden floor needs replacement  |
| <b>Wall Finish</b>      |                            | Plaster       |                                |                       |                 |                            |               |                           |   |
| Paint                   |                            |               |                                |                       |                 | 1                          |               |                           | Needs repainting in some areas  |
| <b>Ceiling</b>          |                            |               |                                |                       |                 |                            |               |                           |   |
| Plaster                 |                            |               |                                |                       |                 | 1                          |               |                           | Need replacement in some areas  |
| ACT                     |                            |               |                                |                       |                 | 2                          |               |                           |   |
| <b>Doors</b>            |                            |               |                                |                       |                 | 2                          |               |                           | Some doors might need replacement   |
| <b>Accessible</b>       |                            |               |                                |                       |                 | 1                          |               |                           | Upper Floors No, No Elevator, Shared Bath, knobs on doors                               |
| <b>MEP</b>              |                            |               |                                |                       | 5               | 1                          | 15%           | 0.15                      | Boilers need replacement, Old Condenser   |
| <b>Structural</b>       |                            |               |                                |                       |                 | 2                          | 25%           | 0.50                      |   |
| <b>Condition Rating</b> |                            |               |                                |                       |                 |                            | 100%          | 1.99                      |   |

### Miscellaneous Items

- 1) HVAC system - Air handlers were installed in the 80's, Needs replacement soon. Chiller were installed in 2014.
- 2) Boiler upgrades needed soon.
- 5) Possible environmental issue - Mold.

## Education Annex

Inspection Date: 12/18/2024

### Facility Information

Address: 1620 Raguet St,  
Nacogdoches, TX 75965  
Year Built: 1974  
Construction Type: Steel  
Identifier Number 152



### Scoring Guidelines

- 0 Non Existent
- 1 Imminent failure, rehabilitation or replacement required
- 2 Poor condition, improvements recommended to maintain reliability
- 3 Average condition, normal maintenance recommended to maintain function
- 4 Above Average Condition, No Improvements
- 5 Like-new condition, no improvements recommended

### CONDITION ASSESSMENT - ARCHITECTURAL

| Building Components        | Type          | Materials                                       | Date Manufactured or Installed | Expected Life (Years) | Years Remaining | Component Condition Rating | Weight Factor | Weighted Component Rating | Comments  |
|----------------------------|---------------|---|--------------------------------|-----------------------|-----------------|----------------------------|---------------|---------------------------|---|
| <b>Site</b>                |               |   |                                |                       |                 | 3.7                        | 10%           | 0.37                      |   |
| Paving                     | Walkway       | Concrete  |                                |                       |                 | 3                          |               |                           |   |
|                            | Parking       | Concrete/Asphalt                                |                                |                       |                 | 3                          |               |                           | Lot to the North of building  |
| Building Entry/Exit Access | Accessibility |   |                                |                       |                 | 5                          |               |                           | Building is accessible  |
| <b>Envelope</b>            |               |   |                                |                       |                 | 3.7                        | 40%           | 1.49                      |   |
| <b>Roof</b>                |               | Membrane roofing, assumption from aerial photos | 2019                           |                       | 7               | 3                          |               |                           | No leakage reported, did not access   |
| Gutters and Downspouts     |               |   |                                |                       |                 | 4                          |               |                           |   |
| <b>Windows</b>             |               | Aluminum storefront                             |                                |                       |                 | 4                          |               |                           |   |
| <b>Doors and frames</b>    |               |   |                                |                       |                 |                            |               |                           |   |
| <b>Exterior</b>            |               | Brick   |                                |                       |                 | 3                          |               |                           | Needs tuck pointing   |
| Walls                      |               |   |                                |                       |                 | 4                          |               |                           |   |
| Trim                       |               |   |                                |                       |                 | 4                          |               |                           |   |
| Soffit                     |               |   |                                |                       |                 | 4                          |               |                           |   |
| <b>Interiors</b>           |               |   |                                |                       |                 | 2.3                        | 10%           | 0.23                      |   |
| <b>Floor Finish</b>        |               |   |                                |                       |                 | 2                          |               |                           |   |
| Carpet                     |               |   |                                |                       |                 | 2                          |               |                           |   |
| VCT Tile                   |               |   |                                |                       |                 | 3                          |               |                           |   |
| Ceramic Tile               |               |   |                                |                       |                 | 1                          |               |                           | Restroom floor tiles needs replacement  |
| <b>Wall Finish</b>         |               |   |                                |                       |                 |                            |               |                           |   |
| Paint                      |               |   |                                |                       |                 | 3                          |               |                           |   |
| Wall Tiles                 |               |   |                                |                       |                 | 1                          |               |                           | Restroom Wall tiles needs replacement.  |
| <b>Ceiling</b>             |               |   |                                |                       |                 |                            |               |                           |   |
| ACT                        |               |   |                                |                       |                 | 2                          |               |                           | Some tiles needs replacement  |
| <b>Doors</b>               |               |   |                                |                       |                 | 4                          |               |                           |   |
| <b>Accessible</b>          |               |   |                                |                       |                 | 3                          |               |                           | ADA parking at the front of the building, all one-story, restrooms have ambulatory stalls |
| <b>MEP</b>                 |               |   |                                |                       | 2 to 10         | 2                          | 15%           | 0.30                      | Boilers and chillers need replacement   |
| <b>Structural</b>          |               |   |                                |                       |                 | 1.0                        | 25%           | 0.25                      | Significant slab settlement in the rear of the building. cracks                           |
| <b>Condition Rating</b>    |               |   |                                |                       |                 |                            | 100%          | 2.27                      |   |

### Miscellaneous Items

- 1) HVAC system – Air handlers were installed 5 years ago. Pumps, boilers, chillers needs replacement.
- 2) Needs underground heating and cooling water. Supply and return lines replaced from the mechanical building on the SE side to the building proper.
- 3) Possible environmental issues - VCT mastic asbestos.

## Miller Science Buildings

Inspection Date: 12/18/2024

### Facility Information

Address: 1901 Raguet St,  
Nacogdoches, TX 75965  
Year Built: 1966/1998  
Construction Type: Concrete  
Identifier Number 121



### Scoring Guidelines

- 0 Non Existent
- 1 Imminent failure, rehabilitation or replacement required
- 2 Poor condition, improvements recommended to maintain reliability
- 3 Average condition, normal maintenance recommended to maintain function
- 4 Above Average Condition, No Improvements
- 5 Like-new condition, no improvements recommended

### CONDITION ASSESSMENT - ARCHITECTURAL

| Building Components     | Type                       | Materials           | Date Manufactured or Installed | Expected Life (Years) | Years Remaining | Component Condition Rating | Weight Factor | Weighted Component Rating | Comments   |
|-------------------------|----------------------------|---------------------|--------------------------------|-----------------------|-----------------|----------------------------|---------------|---------------------------|--|
| <b>Site</b>             |                            |                     |                                |                       |                 | 3.3                        | 10%           | 0.33                      |  |
| Paving                  | Walkways                   | Concrete            |                                |                       |                 | 2                          |               |                           | Many cracks, no handrails at front of building on steps                        |
|                         | Parking                    | Asphalt             |                                |                       |                 | 4                          |               |                           | Parking shared with other buildings  |
|                         | Building Entry/Exit Access | Accessibility       |                                |                       |                 | 4                          |               |                           | Building has at least one accessible entrance. Front entry door not accessible |
| <b>Envelope</b>         |                            |                     |                                |                       |                 | 2.3                        | 40%           | 0.93                      |  |
| <b>Roof</b>             |                            | Coal Tar Pitch Roof | 2002                           |                       | 2               | 1                          |               |                           | Leakage reported at several locations.   |
| Gutters and Downspouts  |                            |                     |                                |                       |                 |                            |               |                           |  |
| <b>Windows</b>          |                            | Aluminum Oval       |                                |                       |                 | 3                          |               |                           |  |
| <b>Doors and frames</b> |                            |                     |                                |                       |                 | 2                          |               |                           | Many need work or replacement  |
| <b>Exterior</b>         |                            |                     |                                |                       |                 | 2                          |               |                           | Some exterior doors on the roof needs replacement.                             |
| Walls                   |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| Trim                    |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| Soffit                  |                            |                     |                                |                       |                 |                            |               |                           |  |
| <b>Interiors</b>        |                            |                     |                                |                       |                 | 2.7                        | 10%           | 0.27                      |  |
| <b>Floor Finishes</b>   |                            |                     |                                |                       |                 |                            |               |                           |  |
| Carpet                  |                            |                     |                                |                       |                 | 2                          |               |                           |  |
| Ceramic Tile            |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| Terrazzo flooring       |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| <b>Wall Finish</b>      |                            |                     |                                |                       |                 |                            |               |                           |  |
| Wall Tile               |                            |                     |                                |                       |                 | 3                          |               |                           | Some cracks  |
| Wall Carpet             |                            |                     |                                |                       |                 | 4                          |               |                           |  |
| Paint                   |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| <b>Ceiling</b>          |                            |                     |                                |                       |                 |                            |               |                           |  |
| ACT                     |                            |                     |                                |                       |                 | 2                          |               |                           | Damp ACT needs replacing in some places.                                       |
| Metal @ Corridor        |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| Plaster                 |                            |                     |                                |                       |                 | 2                          |               |                           | Damp ceiling at some places.   |
| <b>Doors</b>            |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| <b>Accessible</b>       |                            |                     |                                |                       |                 | 2                          |               |                           | Lecture halls are not all accessible, lab tables, etc.                         |
| <b>MEP</b>              |                            |                     |                                |                       | 2               | 1                          | 15%           | 0.15                      | Several plumbing and mechanical issues.  |
| <b>Structural</b>       |                            |                     |                                |                       |                 | 2                          | 25%           | 0.50                      | Cracks in floor and masonry walls  |
| <b>Condition Rating</b> |                            |                     |                                |                       |                 |                            | 100%          | 1.86                      |  |

### Miscellaneous Items

- 1) Some roof leaks in recurring trouble spots.
- 2) HVAC system - Old part mid 60's, newer part 90's.
- 3) Piping needs to be replaced
- 4) Possible environmental issues - Asbestos
- 5) Fire Alarm Card needs replacement - old Simplex
- 6) Remodeled in 1998, addition
- 7) Minor cracks in interior finishes on walls
- 8) Greenhouse in rough condition, needs replacement
- 9) Copper tubing was used for gas - needs replacing



# Kennedy Auditorium

Inspection Date: 12/18/2024

## Facility Information

Address: 1906 Alumni Dr,  
Nacogdoches, TX 75965  
Year Built: 1968  
Construction Type: Concrete  
Identifier Number 120



## Scoring Guidelines

- 0 Non Existent
- 1 Imminent failure, rehabilitation or replacement required
- 2 Poor condition, improvements recommended to maintain reliability
- 3 Average condition, normal maintenance recommended to maintain function
- 4 Above Average Condition, No Improvements
- 5 Like-new condition, no improvements recommended

## CONDITION ASSESSMENT - ARCHITECTURAL

| Building Components    | Type                       | Materials                            | Date Manufactured or Installed | Expected Life (Years) | Years Remaining | Component Condition Rating | Weight Factor | Weighted Component Rating | Comments  |
|------------------------|----------------------------|--------------------------------------|--------------------------------|-----------------------|-----------------|----------------------------|---------------|---------------------------|---|
| Site                   |                            |                                      |                                |                       |                 | 3.7                        | 10%           | 0.37                      |   |
| Paving                 | Walkway                    | Asphalt                              |                                |                       |                 | 3                          |               |                           |   |
|                        | Parking                    | Asphalt                              |                                |                       |                 | 4                          |               |                           | Parking shared with other buildings   |
|                        | Building Entry/Exit Access | Accessibility                        |                                |                       |                 | 4                          |               |                           | At least one accessible entrance  |
| Envelope               |                            |                                      |                                |                       |                 | 2.3                        | 40%           | 0.90                      |   |
| Roof                   |                            | Rolled built-up roofing with topcoat | 2015                           | 20                    | 1               | 1                          |               |                           | Leakage in areas, blistering, did not access, observed from the Miller Science Bldg |
| Gutters and Downspouts |                            |                                      |                                |                       |                 | ?                          |               |                           |   |
| Windows                |                            | Aluminum Storefront                  |                                |                       |                 | 3                          |               |                           | Single pane   |
| Doors and frames       |                            |                                      |                                |                       |                 |                            |               |                           |   |
| Exterior               |                            |                                      |                                |                       |                 | 3                          |               |                           |   |
| Walls (Exterior)       |                            | Concrete                             |                                |                       |                 | 2                          |               |                           | Dampness in walls found at places   |
| Trim                   |                            |                                      |                                |                       |                 |                            |               |                           |   |
| Soffit                 |                            |                                      |                                |                       |                 |                            |               |                           |   |
| Interiors              |                            |                                      |                                |                       |                 | 1.7                        | 10%           | 0.17                      |   |
| Floor Finish           |                            |                                      |                                |                       |                 |                            |               |                           |   |
| VCT tile               |                            |                                      |                                |                       |                 | 1                          |               |                           | Size indicates a possibility of asbestos in tile or adhesive                        |
| Ceramic tile           |                            |                                      |                                |                       |                 | 2                          |               |                           | Needs replacement in restrooms  |
| Terrazzo               |                            |                                      |                                |                       |                 | 3                          |               |                           |   |
| Wall Finish            |                            |                                      |                                |                       |                 |                            |               |                           |   |
| Concealed Spline Tile  |                            |                                      |                                |                       |                 | 1                          |               |                           | Needs replacement in some areas   |
| Paint                  |                            |                                      |                                |                       |                 | 2                          |               |                           |   |
| Ceiling                |                            |                                      |                                |                       |                 |                            |               |                           |   |
| Concealed Spline Tile  |                            |                                      |                                |                       |                 | 1                          |               |                           | Some cracked tiles reported   |
| Gypsum                 |                            |                                      |                                |                       |                 | 1                          |               |                           | Dampness in some areas  |
| Doors                  |                            |                                      |                                |                       |                 | 3                          |               |                           |   |
| Accessible             |                            |                                      |                                |                       |                 | 1                          |               |                           | Upper Floors no Elevator - stairs, restrooms have been renovated                    |
| MEP                    |                            |                                      |                                |                       |                 | 2                          | 15%           | 0.30                      | Very old system, needs replacement  |
| Structural             |                            |                                      |                                |                       |                 | 3                          | 25%           | 0.75                      |   |
| Condition Rating       |                            |                                      |                                |                       |                 |                            | 100%          | 2.12                      |   |

## Miscellaneous Items

- 1) Needs all sanitary drains replaced, all cast iron through-out the entire building. Has constant leaks and cast iron pipe splitting. Needs all copper domestic cold, hot and return lines replaced, constant pinhole leaks. Needs countless repair patches on piping system, Needs all acid lab waste drain pipes replaced, mis-matched hodgepodge of different materials used for expansions and repairs over the years. Constant leaks on fittings and cracks in pipes. Needs all lab sinks and stations replaced, lab sinks and fixtures in bad repair and constant issues with leaks and function. Needs new updated RO water filtrations system, old system discontinued and needs to be modernized. Needs updated boilers, existing is tank type heaters in penthouse, down to one in operation.
- 2) HVAC system : Old parts installed in mid 60's. New parts installed in the 90's.
- 3) AHU 7 and 8 are original, chill water coils, heating water coils very old. No leakage reported.
- 4) Possible environmental hazards - mastic and tile asbestos
- 5) Stormwater drains in crawlspace below building, drainage issues
- 6) Has not been used for two years

# Human Sciences North

Inspection Date: 12/18/2024

## Facility Information

Address: 615 Home Economics Dr,  
Nacogdoches, TX 75965  
Year Built: 1969  
Construction Type: Masonry  
Identifier Number 123



## Scoring Guidelines

- 0 Non Existent
- 1 Imminent failure, rehabilitation or replacement required
- 2 Poor condition, improvements recommended to maintain reliability
- 3 Average condition, normal maintenance recommended to maintain function
- 4 Above Average Condition, No Improvements
- 5 Like-new condition, no improvements recommended

## CONDITION ASSESSMENT - ARCHITECTURAL

| Building Components        | Type          | Materials           | Date Manufactured or Installed | Expected Life (Years) | Years Remaining | Component Condition Rating | Weight Factor | Weighted Component Rating | Comments   |
|----------------------------|---------------|---------------------|--------------------------------|-----------------------|-----------------|----------------------------|---------------|---------------------------|--|
| <b>Site</b>                |               |                     |                                |                       |                 | 3.0                        | 10%           | 0.30                      |  |
| Paving                     | Walkway       | Concrete            |                                |                       |                 | 3                          |               |                           |  |
|                            | Parking       | Asphalt             |                                |                       |                 | 2                          |               |                           | Need restriping and cracks developing in the Asphalt |
| Building Entry/Exit Access | Accessibility |                     |                                |                       |                 | 4                          |               |                           | Accessible entrance                                  |
| <b>Envelope</b>            |               |                     |                                |                       |                 | 3.3                        | 40%           | 1.30                      |  |
| Roof                       |               | Coat Tar Pitch      | 1981                           | 30                    | 5               | 3                          |               |                           | No Leakage reported, water ponding                   |
| Gutters and Downspouts     |               |                     |                                |                       |                 |                            |               |                           |  |
| Windows                    |               | Aluminum Storefront |                                |                       |                 | 4                          |               |                           |  |
| Doors and frames           |               |                     |                                |                       |                 |                            |               |                           |  |
| Exterior                   |               |                     |                                |                       |                 |                            |               |                           |  |
| Walls                      |               | Masonry/Paint       |                                |                       |                 | 3                          |               |                           |  |
| Trim                       |               |                     |                                |                       |                 | 3                          |               |                           |  |
| Soffit                     |               |                     |                                |                       |                 |                            |               |                           |  |
| <b>Interiors</b>           |               |                     |                                |                       |                 | 3.3                        | 10%           | 0.33                      |  |
| <b>Floor Finish</b>        |               |                     |                                |                       |                 |                            |               |                           |  |
| Carpet                     |               |                     |                                |                       |                 | 4                          |               |                           |  |
| VCT Tile                   |               |                     |                                |                       |                 | 4                          |               |                           |  |
| Ceramic Tile               |               |                     |                                |                       |                 | 3                          |               |                           |  |
| <b>Wall Finish</b>         |               |                     |                                |                       |                 |                            |               |                           |  |
| Painted                    |               |                     |                                |                       |                 | 3                          |               |                           |  |
| <b>Ceiling</b>             |               |                     |                                |                       |                 |                            |               |                           |  |
| ACT                        |               |                     |                                |                       |                 | 3                          |               |                           | Sagging tiles  |
| Painted Plaster            |               |                     |                                |                       |                 | 4                          |               |                           |  |
| Doors                      |               |                     |                                |                       |                 | 4                          |               |                           |  |
| Accessible                 |               |                     |                                |                       |                 | 1                          |               |                           | No elevator, multiple floors                         |
| <b>MEP</b>                 |               |                     |                                |                       |                 | 2                          | 15%           | 0.30                      | No MEP problems reported                             |
| <b>Structural</b>          |               |                     |                                |                       |                 | 3                          | 25%           | 0.75                      |  |
| <b>Condition Rating</b>    |               |                     |                                |                       |                 |                            | 100%          | 2.68                      |  |

## Miscellaneous Items

- 1) HVAC system – Air handlers 9-10 years old. chiller's installed in the 2000's
- 2) Fire Alarm Card needs replacement - old Simplex

## Human Sciences South

Inspection Date: 12/18/2024

### Facility Information

Address: 614 Home Economics Dr, Nacogdoches, TX 75965  
 Year Built: 1981  
 Construction Type: Masonry  
 Identifier Number: 185



### Scoring Guidelines

- 0 Non Existent
- 1 Imminent failure, rehabilitation or replacement required
- 2 Poor condition, improvements recommended to maintain reliability
- 3 Average condition, normal maintenance recommended to maintain function
- 4 Above Average Condition, No Improvements
- 5 Like-new condition, no improvements recommended

### CONDITION ASSESSMENT - ARCHITECTURAL

| Building Components     | Type                       | Materials           | Date Manufactured or Installed | Expected Life (Years) | Years Remaining | Component Condition Rating | Weight Factor | Weighted Component Rating | Comments   |
|-------------------------|----------------------------|---------------------|--------------------------------|-----------------------|-----------------|----------------------------|---------------|---------------------------|--|
| <b>Site</b>             |                            |                     |                                |                       |                 | 2.0                        | 10%           | 0.20                      |  |
| Paving                  | Walkway                    | Concrete            |                                |                       |                 | 3                          |               |                           |  |
|                         | Parking                    | Asphalt             |                                |                       |                 | 2                          |               |                           | Need restriping and cracks developing in the Asphalt |
|                         | Building Entry/Exit Access | Accessibility       |                                |                       |                 | 1                          |               |                           | Main entry to building has 10+ steps                 |
| <b>Envelope</b>         |                            |                     |                                |                       |                 | 2.7                        | 40%           | 1.09                      |  |
| <b>Roof</b>             |                            | Coal Tar Pitch      |                                | 30                    | 5               | 3                          |               |                           | No Leakage reported                                  |
| Skylights               |                            |                     |                                |                       |                 | 1                          |               |                           | Need Replacing                                       |
| Gutters and Downspouts  |                            |                     |                                |                       |                 |                            |               |                           |  |
| <b>Windows</b>          |                            | Aluminum Storefront |                                |                       |                 | 3                          |               |                           | Storefront single pane                               |
| <b>Doors and frames</b> |                            |                     |                                |                       |                 |                            |               |                           |  |
| <b>Exterior</b>         |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| Walls (Exterior)        |                            | Masonry             |                                |                       |                 | 3                          |               |                           |  |
| Trim                    |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| Soffit                  |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| <b>Interiors</b>        |                            |                     |                                |                       |                 | 3.2                        | 10%           | 0.32                      |  |
| <b>Floor Finish</b>     |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| Ceramic Tile            |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| VCT Tile                |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| Carpet                  |                            |                     |                                |                       |                 | 4                          |               |                           |  |
| Terrazzo                |                            |                     |                                |                       |                 | 4                          |               |                           |  |
| <b>Wall Finish</b>      |                            |                     |                                |                       |                 |                            |               |                           |  |
| Paint                   |                            |                     |                                |                       |                 | 4                          |               |                           |  |
| <b>Ceiling</b>          |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| ACT                     |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| <b>Doors</b>            |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| <b>Accessible</b>       |                            |                     |                                |                       |                 | 2                          |               |                           |  |
| <b>MEP</b>              |                            |                     |                                |                       |                 | 2                          | 15%           | 0.30                      | Appears to be approx. 10 years old                   |
| <b>Structural</b>       |                            |                     |                                |                       |                 | 4                          | 25%           | 1.00                      | No conditions noted                                  |
| <b>Condition Rating</b> |                            |                     |                                |                       |                 | 3                          | 100%          | 2.71                      |  |

### Miscellaneous Items

- 1) HVAC System - DX systems from 4 years old to 10 years old
- 2) Fire Alarm Card needs replacement - old Simplex



## Hall 20

**Inspection Date:** 12/17/2024

**Facility Information**

Address: 805 E College St, Nacogdoches, TX 75965  
 Year Built: 1985  
 Construction Type: Concrete  
 Identifier Number 538



**Scoring Guidelines**

- 0** Non Existent
- 1** Imminent failure, rehabilitation or replacement required
- 2** Poor condition, improvements recommended to maintain reliability
- 3** Average condition, normal maintenance recommended to maintain function
- 4** Above Average Condition, No Improvements
- 5** Like-new condition, no improvements recommended

**CONDITION ASSESSMENT - ARCHITECTURAL**

| Building Components     | Type                       | Materials            | Date Manufactured or Installed | Expected Life (Years) | Years Remaining | Component Condition Rating | Weight Factor | Weighted Component Rating | Comments  |
|-------------------------|----------------------------|----------------------|--------------------------------|-----------------------|-----------------|----------------------------|---------------|---------------------------|---|
| <b>Site</b>             |                            |                      |                                |                       |                 | 3.3                        | 10%           | 0.33                      |   |
| Paving                  | Walkways                   | Concrete             |                                |                       |                 | 2                          |               |                           | Broken at parts needs replacement   |
|                         | Parking                    | Concrete & Asphalt   |                                |                       |                 | 3                          |               |                           | New paved parking in good condition   |
|                         | Building Entry/Exit Access | Accessibility        |                                |                       |                 | 5                          |               |                           | Building is accessible  |
| <b>Envelope</b>         |                            |                      |                                |                       |                 | 2.3                        | 40%           | 0.93                      |   |
| <b>Roof</b>             |                            | TPO                  | 2018                           | 20                    | 10              | 3                          |               |                           | Pine needle accumulation, roof appears to be in rough shape for the age, water ponding in areas           |
| Gutters and Downspouts  |                            |                      |                                |                       |                 |                            |               |                           |   |
| <b>Windows</b>          |                            | Aluminum double pane |                                |                       |                 | 2                          |               |                           | Some windows might need replacement, Single pane aluminum   |
| <b>Doors and frames</b> |                            |                      |                                |                       |                 |                            |               |                           |   |
| <b>Exterior</b>         |                            |                      |                                |                       |                 | 2                          |               |                           | Some doors need new paint   |
| Walls                   |                            | Brick veneer         |                                |                       |                 | 3                          |               |                           |   |
| Trim                    |                            | Painted Concrete     |                                |                       |                 | 2                          |               |                           | Rusted railings, spalling concrete  |
| Soffit                  |                            | Painted Concrete     |                                |                       |                 | 2                          |               |                           |   |
| <b>Interiors</b>        |                            |                      |                                |                       |                 | 1.9                        | 10%           | 0.19                      |   |
| <b>Floor Finish</b>     |                            |                      |                                |                       |                 |                            |               |                           |   |
| Concrete                |                            |                      |                                |                       |                 | 1                          |               |                           | Broken at several places needs replacement  |
| Ceramic Tile            |                            |                      |                                |                       |                 | 2                          |               |                           | Cracked tile in elevator and missing in community kitchens  |
| Vinyl Plank             |                            |                      |                                |                       |                 | 3                          |               |                           |   |
| <b>Wall Finish</b>      |                            |                      |                                |                       |                 |                            |               |                           |   |
| Paint                   |                            |                      |                                |                       |                 | 2                          |               |                           | Needs new paint at some places  |
| <b>Ceiling</b>          |                            |                      |                                |                       |                 |                            |               |                           |   |
| Plaster                 |                            |                      |                                |                       |                 | 2                          |               |                           | New plaster needed on ceiling at several places   |
| <b>Doors</b>            |                            |                      |                                |                       |                 | 2                          |               |                           |   |
| <b>Accessible</b>       |                            |                      |                                |                       |                 | 1                          |               |                           | Elevator, restrooms/showers no  |
| <b>MEP</b>              |                            |                      |                                |                       | 4               | 1                          | 15%           | 0.15                      | 6 to 7 years old system, Boiler updates needed, PTAC Addison Units - AC, 2018 Mini-split unites installed |
| <b>Structural</b>       |                            |                      |                                |                       |                 | 1                          | 25%           | 0.25                      | Slab edge spalling, Cracks in floor slab, multiple levels near elevator                                   |
| <b>Condition Rating</b> |                            |                      |                                |                       |                 |                            | 100%          | 1.85                      |   |

**Miscellaneous Items**

- 1) HVAC system installed 6-7 years ago.
- 2) Wrong type of equipment installed. Needs an engineered HVAC design and without DX equipment. Only dorm on campus with DX equipment.
- 3) Boiler upgrades needed soon.
- 4) **Moisture issues due to exterior corridors and Mechanical systems, what appears to be condensation dripping in units**
- 5) Fairly new lighting installed
- 6) Exterior guardrails spalling edge of slab
- 7) Pipe chase packed full with new HVAC piping

# Military Science Building

Inspection Date: 12/17/2024

## Facility Information

Address: 709 E College St,  
Nacogdoches, TX 75962  
Year Built: 1965  
Construction Type: Wood Frame  
Identifier Number 110



## Scoring Guidelines

- 0 Non Existent
- 1 Imminent failure, rehabilitation or replacement required
- 2 Poor condition, improvements recommended to maintain reliability
- 3 Average condition, normal maintenance recommended to maintain function
- 4 Above Average Condition, No Improvements
- 5 Like-new condition, no improvements recommended

## CONDITION ASSESSMENT - ARCHITECTURAL

| Building Components    | Type                       | Materials                       | Date Manufactured or Installed | Expected Life (Years) | Years Remaining | Component Condition Rating | Weight Factor | Weighted Component Rating | Comments   |
|------------------------|----------------------------|---------------------------------|--------------------------------|-----------------------|-----------------|----------------------------|---------------|---------------------------|--|
| Site                   |                            |                                 |                                |                       |                 | 3.0                        | 10%           | 0.30                      |  |
| Paving                 | Walkways                   | Concrete                        |                                |                       |                 | 3                          |               |                           |  |
|                        | Parking                    | Asphalt                         |                                |                       |                 | 2                          |               |                           | Several cracks in the Asphalt  |
|                        | Building Entry/Exit Access | Accessibility                   |                                |                       |                 | 4                          |               |                           | Ramp on West side of building  |
| Envelope               |                            |                                 |                                |                       |                 | 2.9                        | 40%           | 1.14                      |  |
| Roof                   |                            | Asphalt shingles                |                                |                       |                 | 2                          |               |                           | Leakage reported   |
| Gutters and Downspouts |                            |                                 |                                |                       |                 | 2                          |               |                           | Various condition and missing  |
| Windows                |                            | Double pane                     |                                |                       |                 | 3                          |               |                           |  |
| Doors and frames       |                            |                                 |                                |                       |                 |                            |               |                           |  |
| Exterior               |                            |                                 |                                |                       |                 | 3                          |               |                           |  |
| Walls                  |                            | Brick veneer/Fiber cement panel |                                |                       |                 | 4                          |               |                           |  |
| Trim                   |                            |                                 |                                |                       |                 | 3                          |               |                           |  |
| Soffit                 |                            |                                 |                                |                       |                 | 3                          |               |                           |  |
| Interiors              |                            |                                 |                                |                       |                 | 2.0                        | 10%           | 0.20                      |  |
| Floor Finish           |                            |                                 |                                |                       |                 |                            |               |                           |  |
| VCT Tile               |                            |                                 |                                |                       |                 | 1                          |               |                           | Needs replacement at some places, tile sagging   |
| Carpet                 |                            |                                 |                                |                       |                 | 3                          |               |                           |  |
| Wall Finish            |                            |                                 |                                |                       |                 |                            |               |                           |  |
| Paint                  |                            |                                 |                                |                       |                 | 3                          |               |                           |  |
| Ceiling                |                            |                                 |                                |                       |                 |                            |               |                           |  |
| ACT                    |                            |                                 |                                |                       |                 | 1                          |               |                           | Saggy and damp tiles at several places.  |
| Doors                  |                            |                                 |                                |                       |                 | 3                          |               |                           |  |
| Accessible             |                            |                                 |                                |                       |                 | 1                          |               |                           | Changes in level and restrooms are noncompliant  |
| MEP                    |                            |                                 |                                |                       | 2               | 2                          | 15%           | 0.30                      | 15+ years old system, needs new drains under building. One condenser was installed in 2021 |
| Structural             | Pier & Beam                |                                 |                                |                       |                 | 2                          | 25%           | 0.50                      |  |
| Condition Rating       |                            |                                 |                                |                       |                 |                            | 100%          | 2.44                      |  |

## Miscellaneous Items

- 1) Some termite issues. Believe there have been building leak issues in the past, but possibly nothing very recent.
- 2) HVAC system : 15+ years old, might need to be inspected
- 3) Needs drain lines under building replaced and installed on proper grade.
- 4) Possible environmental issue - asbestos (floor tile, sink undercoating, joint compound, and wall texture)
- 5) Previous Termite Issues
- 6) Floor swelling, significant issues

# University Police Department

Inspection Date: 12/18/2024

## Facility Information

Address: 232 E College St, Nacogdoches, TX 75965  
Year Built: 1988  
Construction Type: Masonry/Steel  
Identifier Number 153



## Scoring Guidelines

- 0 Non Existent
- 1 Imminent failure, rehabilitation or replacement required
- 2 Poor condition, improvements recommended to maintain reliability
- 3 Average condition, normal maintenance recommended to maintain function
- 4 Above Average Condition, No Improvements
- 5 Like-new condition, no improvements recommended

## CONDITION ASSESSMENT - ARCHITECTURAL

| Building Components    | Type                       | Materials           | Date Manufactured or Installed | Expected Life (Years) | Years Remaining | Component Condition Rating | Weight Factor | Weighted Component Rating | Comments                                     |
|------------------------|----------------------------|---------------------|--------------------------------|-----------------------|-----------------|----------------------------|---------------|---------------------------|--|
| Site                   |                            |                     |                                |                       |                 | 2.7                        | 10%           | 0.27                      |  |
| Paving                 | Walkways                   | Concrete            |                                |                       |                 | 3                          |               |                           |  |
|                        | Parking                    | Asphalt             |                                |                       |                 | 2                          |               |                           | Parking shared with other buildings          |
|                        | Building Entry/Exit Access | Accessibility       |                                |                       |                 | 3                          |               |                           | Building is accessible, front and rear entry |
| Envelope               |                            |                     |                                |                       |                 | 2.5                        | 40%           | 1.00                      |  |
| Roof                   |                            | Did not access      | 1987                           |                       | 2               | 2                          |               |                           | Roof leaks reported                          |
| Gutters and Downspouts |                            |                     |                                |                       |                 |                            |               |                           |  |
| Windows                |                            | Aluminum Storefront |                                |                       |                 | 3                          |               |                           |  |
| Doors and frames       |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| Exterior               |                            |                     |                                |                       |                 |                            |               |                           |  |
| Walls                  |                            | Masonry             |                                |                       |                 | 2                          |               |                           | Brick needs cleaning and tuckpointing        |
| Trim                   |                            |                     |                                |                       |                 | 2                          |               |                           |  |
| Soffit                 |                            |                     |                                |                       |                 | 3                          |               |                           | At Entry                                     |
| Interiors              |                            |                     |                                |                       |                 | 2.3                        | 10%           | 0.23                      |  |
| Floor Finish           |                            |                     |                                |                       |                 |                            |               |                           |  |
| Carpet                 |                            |                     |                                |                       |                 | 2                          |               |                           | Stained Needs replacement                    |
| Floor tiles            |                            |                     |                                |                       |                 | 2                          |               |                           | At RR: Chipped in areas                      |
| Wall Finish            |                            |                     |                                |                       |                 |                            |               |                           |  |
| Paint                  |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| Ceiling                |                            |                     |                                |                       |                 |                            |               |                           |  |
| ACT                    |                            |                     |                                |                       |                 | 2                          |               |                           | Many tiles need replacing, chipped           |
| Plaster                |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| Doors                  |                            |                     |                                |                       |                 | 3                          |               |                           |  |
| Accessible             |                            |                     |                                |                       |                 | 1                          |               |                           | No ADA restrooms, showers                    |
| MEP                    |                            |                     |                                |                       | 3 to 10         | 3.0                        | 15%           | 0.45                      | New unit, leaking on floor                   |
| Structural             |                            |                     |                                |                       |                 | 3.0                        | 25%           | 0.75                      |  |
| Condition Rating       |                            |                     |                                |                       |                 |                            | 100%          | 2.70                      |  |

## Miscellaneous Items

- 1) Some roof leaks reported recently.
- 2) HVAC system - DX systems 2 years old to 10 years old.
- 3) Semi regular main line stoppage. Cast iron piping under slab on grade building, may be a candidate for a liner to be installed in existing piping.
- 4) Space is too small for department, multiuse



# **APPENDIX I**

## **CAMPUS SPACE UTILIZATION STRATEGY UPDATE**



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Stephen F. Austin State University  
The University of Texas System

## **Campus Space Utilization Strategy Update**

Final Report  
Issued December 2025

Prepared by Facility Programming and Consulting



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The contents of this document are not for regulatory approval, permitting, or construction.

# Space Strategy Recommendations - Update



## Introduction

This document provides an update to the Stephen F. Austin State University Campus Space Utilization Strategy, originally completed by Facility Programming and Consulting in July 2018.

From December 2024 through January 2025, more than 25 interview sessions were conducted with university leadership, faculty, staff, and student representatives to gain deeper insight into campus-wide and departmental space challenges. Meetings with college deans focused on anticipated new academic programs and their associated space needs, while sessions with university leadership addressed projected administrative growth and related spatial requirements.

This update aligns with the 2025 Stephen F. Austin State University Campus Master Plan, led by Freese and Nichols. It is organized into three sections:

- Exclusions..... page 4
- Demolitions.....page 6
- Relocations..... page 20

# Space Strategy Recommendations - Update

## Exclusions

Athletic, recreational, housing, and dining facilities are shown in light gray on the following two maps. These areas fall outside the scope of the current space strategy update and are not addressed in this document. For additional details on planning and development for these facilities, please refer to the separate Athletic and Recreational Master Plan documents.

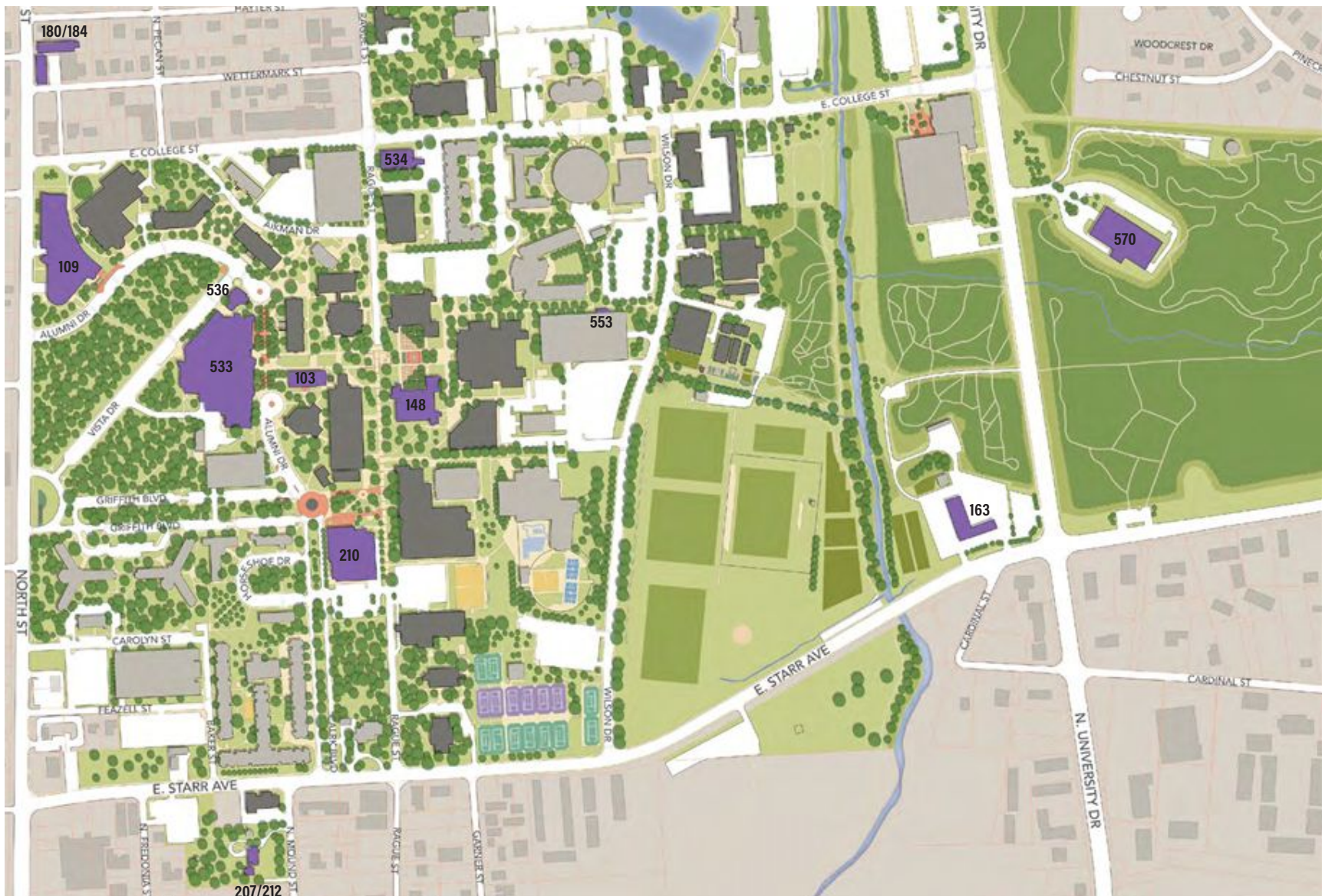
Several academic and support buildings, highlighted in purple, also remain unaffected by both the Campus Master Plan and this space strategy update. These facilities are considered stable in their current space allocation and use, with no modifications or reconfigurations proposed. Accordingly, the following buildings are excluded from subsequent analyses and recommendations in this report:

|   |         |
|---|---------|
| ▪ Baker Pattillo Student Center.....                    | 533     |
| ▪ Central Stores and Receiving, Housing Operations..... | 570     |
| ▪ Chemistry .....                                       | 103     |
| ▪ Cole STEM Building.....                               | 210     |
| ▪ Culinary Café/Kitchen Addition.....                   | 207/212 |
| ▪ Grounds and Transportation.....                       | 163     |
| ▪ L.E. Griffith Fine Arts Building.....                 | 109     |
| ▪ Parking and Traffic Office.....                       | 553     |
| ▪ Randel House.....                                     | 206     |
| ▪ R.E. McGee Business.....                              | 148     |
| ▪ SFA Theater/Fine Arts Annex.....                      | 180/184 |
| ▪ Health and Wellness HUB.....                          | 534     |
| ▪ Tracie D. Pearman Alumni Building.....                | 536     |
| ▪ Tucker House/ Pinewoods Native Plant Center.....      | 168     |



**Figure 1.** SFA Existing Campus - North End - Space Strategy Update Exclusions





**Figure 2.** SFA Existing Campus - South End - Space Strategy Update Exclusions





## Space Strategy Recommendations - Update

| Building Inventory #   | Course Abr. | Building Name                            |         | Occupants Vacating   | Relocating To:  | Pg. # |
|------------------------|-------------|--|---------|--|---|-------|
| 113                    | AGSH        | Agriculture Mechanics Shop               | 9,200   | Department of Agriculture  | New Agriculture Technology Building   | 8     |
| 131/132                | ART/ARTS    | Art, Art Studio                          | 47,660  | School of Art  | New Art Building  | 9     |
| 186                    |             | University Safety                        | 2,835   | Environmental Health, Safety and Risk Management   | New Facilities/Academic Building  | 10    |
| 152                    | EDAN        | Education Annex                          | 31,469  | Department of Allied Health Studies, School of Human Sciences and Professional Studies                               | Renovated Early Childhood Research Center, Renovated Agriculture Building, Renovated Social Work Building, Renovated Lucille Norton HPE Complex | 11    |
| 106/137                | FORL/ FORS  | Forestry Laboratories, Forestry Building | 61,037  | New Construction in Progress   | Existing Site   |       |
| 125/157/160<br>164/165 |             | Greenhouses                              | 22,246  | Department of Biology, Department of Forestry & Agriculture  | New Greenhouse Locations  | 12    |
| 123                    | HMSN        | Human Sciences North                     | 18,592  | Department of Allied Health Studies, School of Human Sciences and Professional Studies                               | Renovated Early Childhood Research Center, Renovated Social Work Building   | 13    |
| 158                    | HMSS        | Human Sciences South                     | 11,020  | School of Human Sciences and Professional Studies  | New Facilities/Academic Building  | 14    |
| 110                    | MILS        | Military Science                         | 5,815   | Department of Military Science   | Renovated Agriculture Building  | 15    |
| 120/ 121               | SCIE        | Kennedy Auditorium, E. L. Miller Science | 158,818 | Department of Earth Sciences and Geologic Resources, Department of Biology, Department of Chemistry and Biochemistry | New Science Building  | 16    |
| 190                    |             | Music Prep House                         | 4,392   | Music Preparatory Division   | Renovated Early Childhood Research Center   | 17    |
| 104/138                |             | Physical Plant, PPD Storage/Procurement  | 46,931  | Physical Plant Department  | New Facilities/Academic Building  | 18    |
| 153                    |             | University Police                        | 6,088   | University Police Department, Emergency Management   | New Parking Garage/ Facility  | 19    |



# Space Strategy Recommendations - Update

## Agriculture Mechanics Shop

|                                       |               |
|---------------------------------------|---------------|
| Building Inventory #<br>(Course Abr.) | 113<br>(AGSH) |
| Type                                  | Academic      |
| Year Constructed                      | 1963          |
| No. of Floors                         | 1             |
| Gross Square Feet (GSF)               | 9,200         |

| Occupants Vacating                 | Relocating to:                      |
|------------------------------------|-------------------------------------|
| Agriculture Engineering Technology | New Agriculture Technology Building |



## Space Strategy Recommendations - Update

### Art / Art Studio Buildings

|                                       |                        |
|---------------------------------------|------------------------|
| Building Inventory #<br>(Course Abr.) | 131/132<br>(ART/ ARTS) |
| Type                                  | Academic               |
| Year Constructed                      | 1982/1972              |
| No. of Floors                         | 1                      |
| Gross Square Feet (GSF)               | 47,660                 |

| Occupants Vacating | Relocating to:   |
|--------------------|------------------|
| School of Art      | New Art Building |





# Space Strategy Recommendations - Update

## University Safety

|                                       |                 |
|---------------------------------------|-----------------|
| Building Inventory #<br>(Course Abr.) | 186             |
| Type                                  | General Purpose |
| Year Constructed                      | 1964            |
| No. of Floors                         | 2               |
| Gross Square Feet (GSF)               | 2,835           |

| Occupants Vacating                                    | Relocating to:                          |
|---|---|
| Environmental Health<br>Safety and Risk<br>Management | New Facilities/<br>Academic<br>Building |



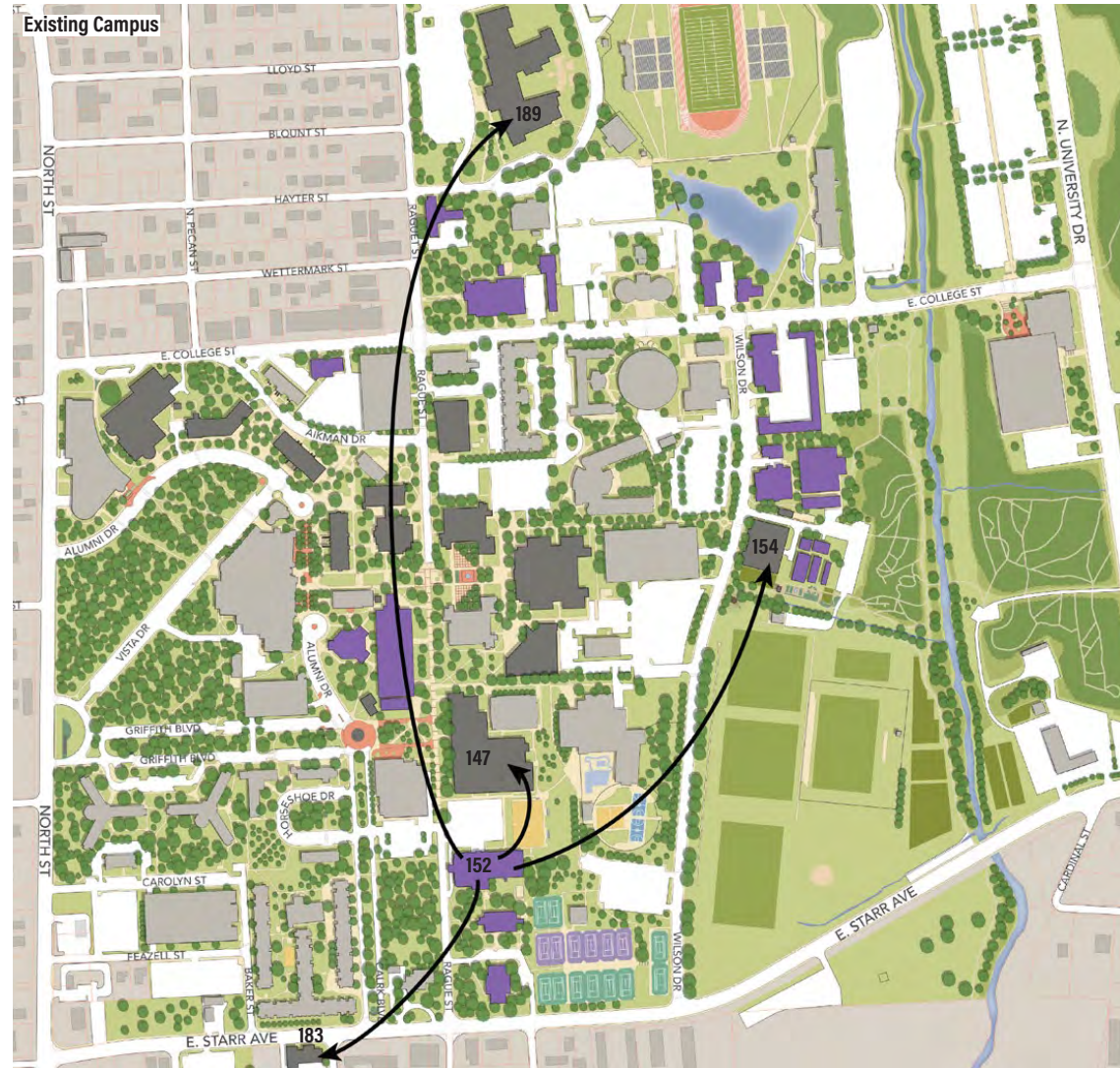


## Space Strategy Recommendations - Update

### Education Annex

|                                       |            |
|---------------------------------------|------------|
| Building Inventory #<br>(Course Abr.) | 152 (EDAN) |
| Type                                  | Academic   |
| Year Constructed                      | 1975       |
| No. of Floors                         | 1          |
| Gross Square Feet (GSF)               | 31,469     |

| Occupants Vacating                   | Relocating to: |
|--------------------------------------|----------------|
| Family and Consumer Sciences         | 189 (ECRC)     |
| Human Development and Family Studies | 189 (ECRC)     |
| Aviation Sciences                    | 154 (AGRI)     |
| Food and Nutrition                   | 183 (SWRK)     |
| Kinesiology                          | 147 (HPEC)     |

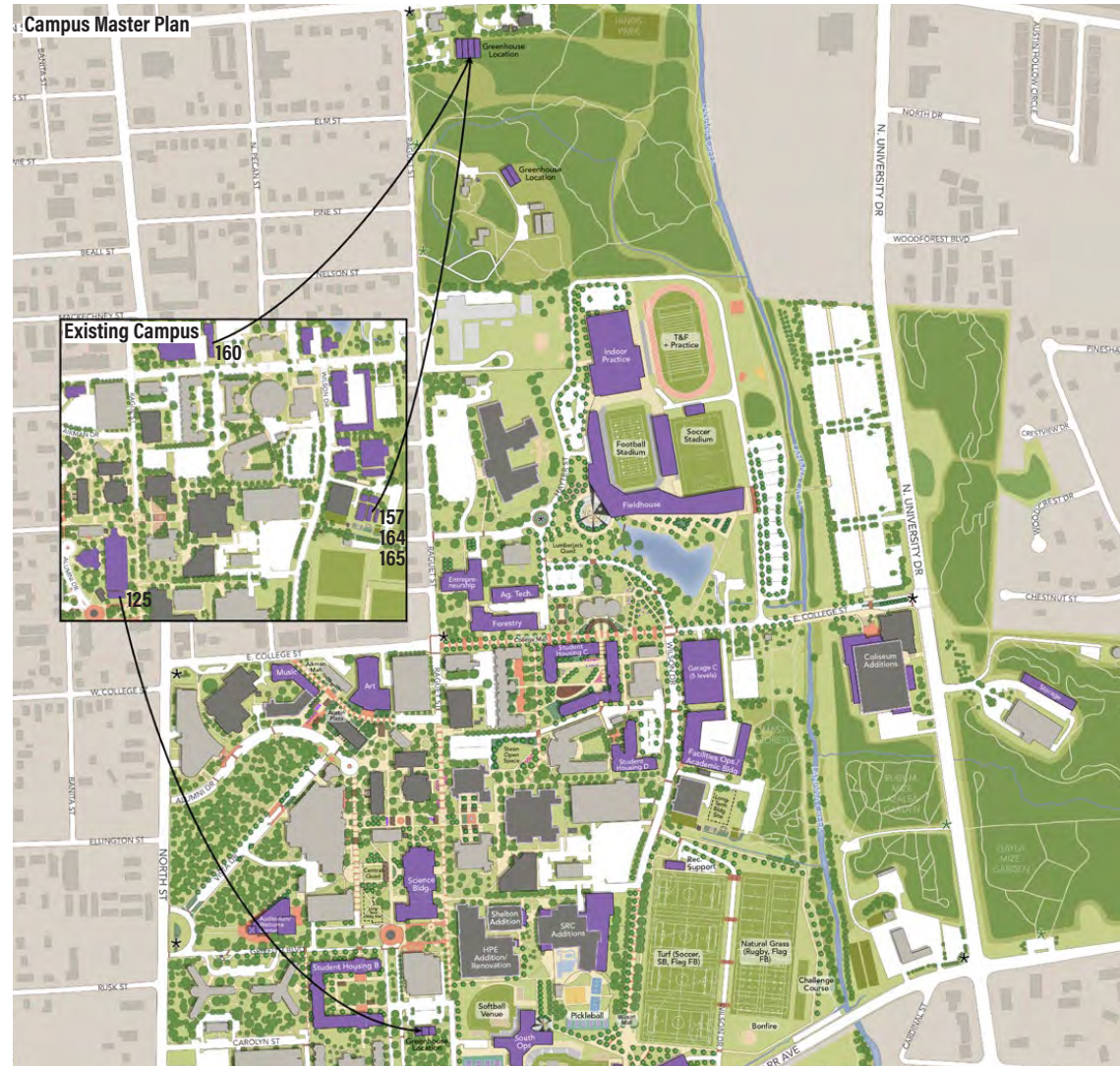


# Space Strategy Recommendations - Update

## Greenhouse Locations

|                                       |                         |
|---------------------------------------|-------------------------|
| Building Inventory #<br>(Course Abr.) | 125/157/160/<br>164/165 |
| Type                                  | Academic                |
| Year Constructed                      | 1977-1982               |
| No. of Floors                         | 1                       |
| Gross Square Feet (GSF)               | 22.456                  |

| Occupants Vacating        | Relocating to:  |
|---------------------------|-----------------|
| Department of Biology     | New Greenhouses |
| Department of Agriculture | New Greenhouses |
| Department of Forestry    | New Greenhouses |
| New Occupants             |                 |
| New Research Greenhouses  | New Greenhouses |



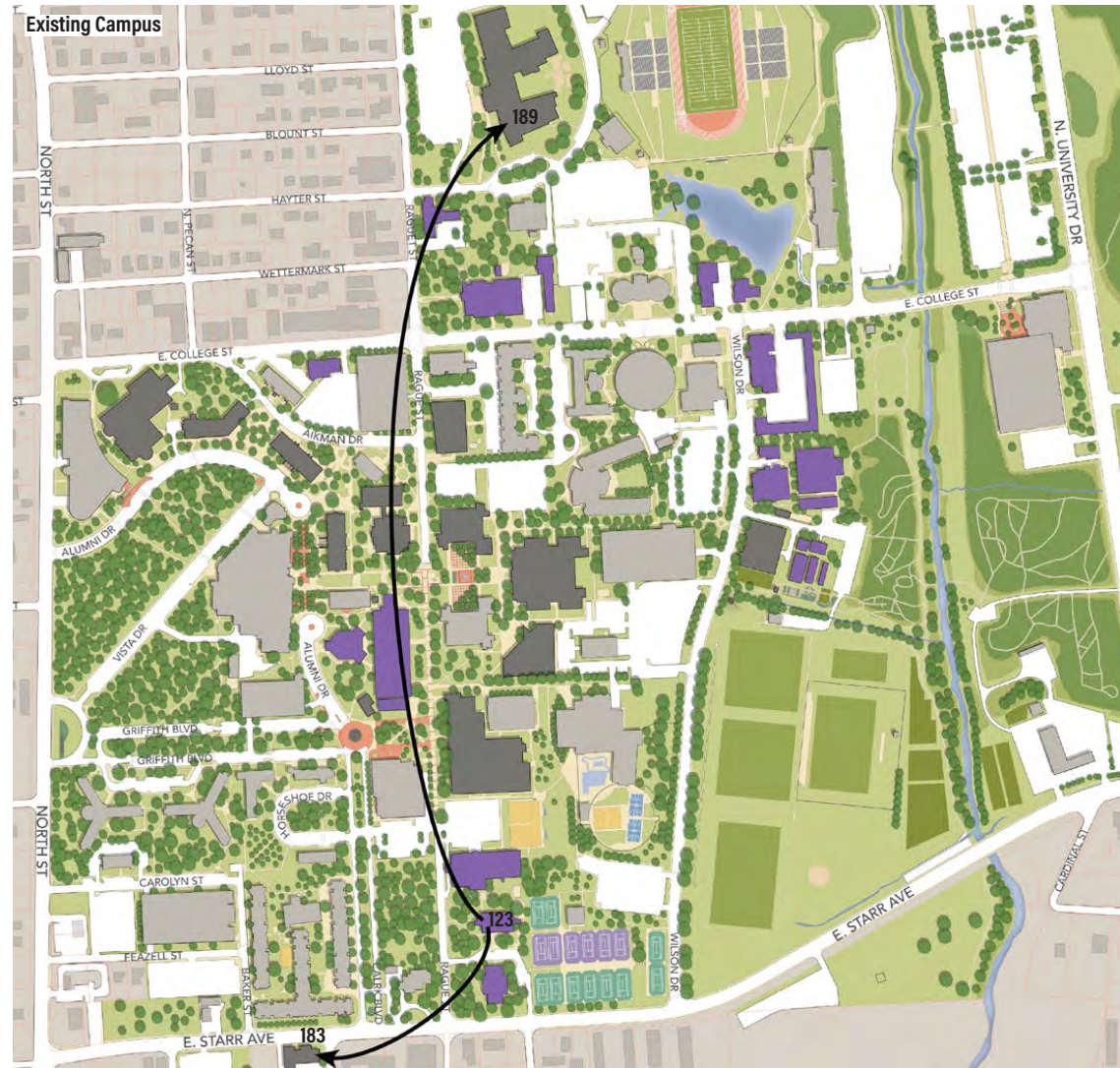


## Space Strategy Recommendations - Update

### Human Sciences Building North

|                                       |            |
|---------------------------------------|------------|
| Building Inventory #<br>(Course Abr.) | 123 (HMSN) |
| Type                                  | Academic   |
| Year Constructed                      | 1970       |
| No. of Floors                         | 2          |
| Gross Square Feet (GSF)               | 18,592     |

| Occupants Vacating                      | Relocating to: |
|---|----------------|
| School of Human Sciences Administration | 189 (ECRC)     |
| Hospitality Administration              | 183 (SWRK)     |
| Dietetics and Nutritional Sciences      | 183 (SWRK)     |
| Food and Nutrition                      | 183 (SWRK)     |



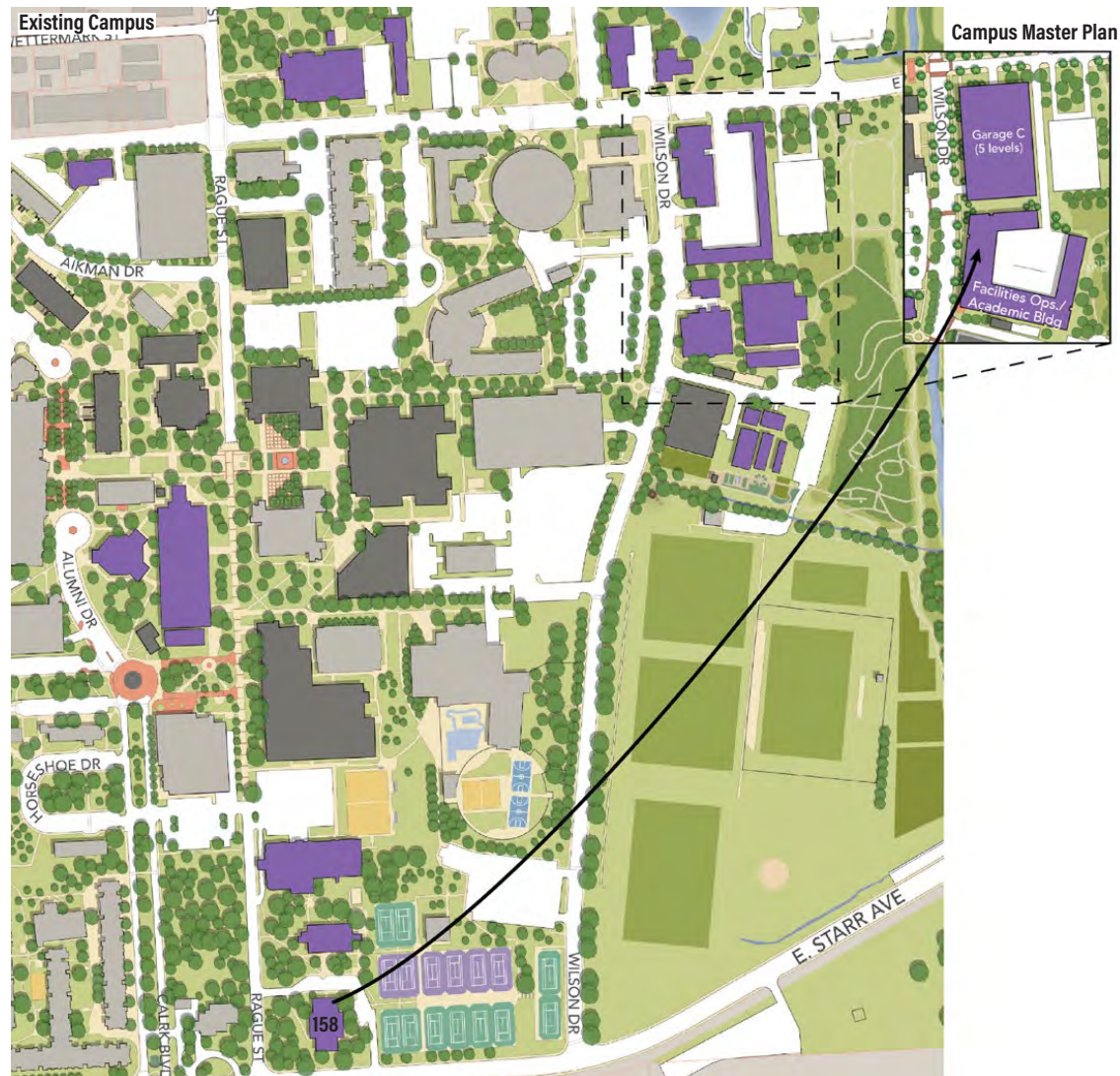


# Space Strategy Recommendations - Update

## Human Sciences Building South

|                                       |            |
|---------------------------------------|------------|
| Building Inventory #<br>(Course Abr.) | 158 (HMSS) |
| Type                                  | Academic   |
| Year Constructed                      | 1981       |
| No. of Floors                         | 1          |
| Gross Square Feet (GSF)               | 11,020     |

| Occupants Vacating                             | Relocating to:                          |
|--|---|
| Construction Management<br>and Interior Design | New Facilities/<br>Academic<br>Building |

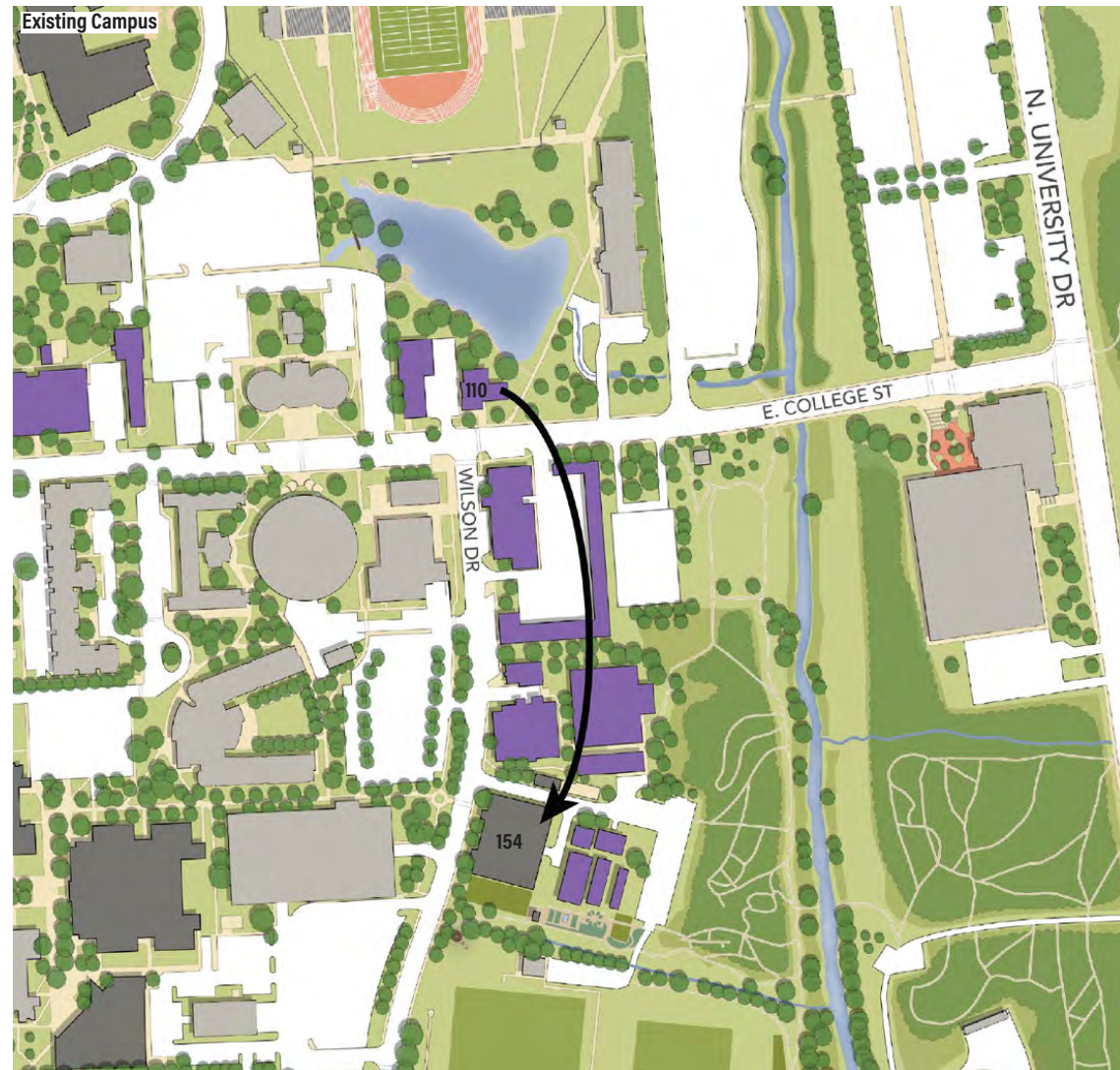


## Space Strategy Recommendations - Update

### Military Science

|                                       |            |
|---------------------------------------|------------|
| Building Inventory #<br>(Course Abr.) | 110 (MILS) |
| Type                                  | Academic   |
| Year Constructed                      | 1965       |
| No. of Floors                         | 1          |
| Gross Square Feet (GSF)               | 5,552      |

| Occupants Vacating | Relocating to: |
|--------------------|----------------|
| Military Science   | 154 (AGRI)     |





## Space Strategy Recommendations - Update

### Kennedy Auditorium / E. L. Miller Science / Stone Fort

Building Inventory # 120/  
(Course Abr.) 121 (SCIE)/139

Type Academic

Year Constructed 1968

No. of Floors 3

Gross Square Feet (GSF) 158,818

| Occupants Vacating                    | Relocating to:                  |
|---------------------------------------|---------------------------------|
| Earth Sciences and Geologic Resources | New Science Building            |
| Biology                               | New Science Building            |
| Student Advising                      | New Science Building            |
| Core Repository                       | New Science Building            |
| Auditorium                            | New Auditorium / Welcome Center |
| Stone Fort                            | Off Campus                      |
| New Occupants                         | Relocating to:                  |
| Chemistry and Biochemistry            | New Science Building            |
| Music Performance Venue               | New Auditorium / Welcome Center |





## Space Strategy Recommendations - Update

### Music Preparatory School

|                                       |                                      |
|---------------------------------------|--------------------------------------|
| Building Inventory #<br>(Course Abr.) | 190                                  |
| Type                                  | Non-Institutional<br>Agency Building |
| Year Constructed                      | 1928                                 |
| No. of Floors                         | 2                                    |
| Gross Square Feet (GSF)               | 4,392                                |

| Occupants Vacating         | Relocating to: |
|----------------------------|----------------|
| Music Preparatory Division | 189 (ECRC)     |

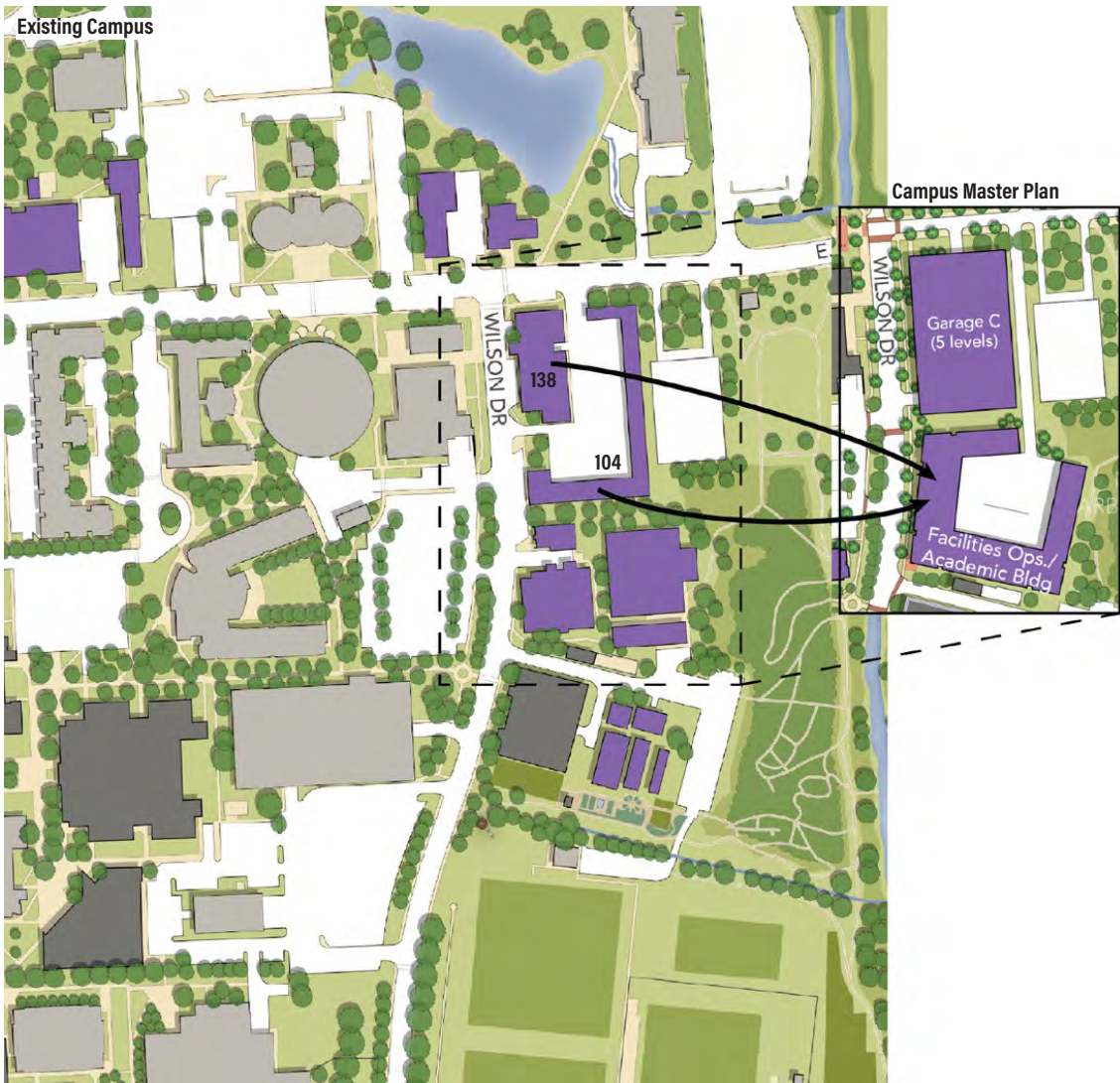


# Space Strategy Recommendations - Update

## Physical Plant/ PPD Storage

|                                       |                             |
|---------------------------------------|-----------------------------|
| Building Inventory #<br>(Course Abr.) | 104/138                     |
| Type                                  | Physical Plant<br>Buildings |
| Year Constructed                      | 1951/1963                   |
| No. of Floors                         | 2                           |
| Gross Square Feet (GSF)               | 46,931                      |

| Occupants Vacating                                    | Relocating to:                       |
|---|--------------------------------------|
| Facilities Services & Operations                      | New Facilities/<br>Academic Building |
| New Occupants   | Relocating to:                       |
| Environmental Health<br>Safety and Risk<br>Management | New Facilities/<br>Academic Building |
| Construction Management                               | New Facilities/<br>Academic Building |
| Interior Design                                       | New Facilities/<br>Academic Building |





## Space Strategy Recommendations - Update

### University Police

|                                       |                 |
|---------------------------------------|-----------------|
| Building Inventory #<br>(Course Abr.) | 153             |
| Type                                  | General Purpose |
| Year Constructed                      | 1976            |
| No. of Floors                         | 1               |
| Gross Square Feet (GSF)               | 6,088           |

| Occupants Vacating           | Relocating to:         |
|------------------------------|------------------------|
| University Police Department | New Police/EM Facility |
| Emergency Management         | New Police/EM Facility |





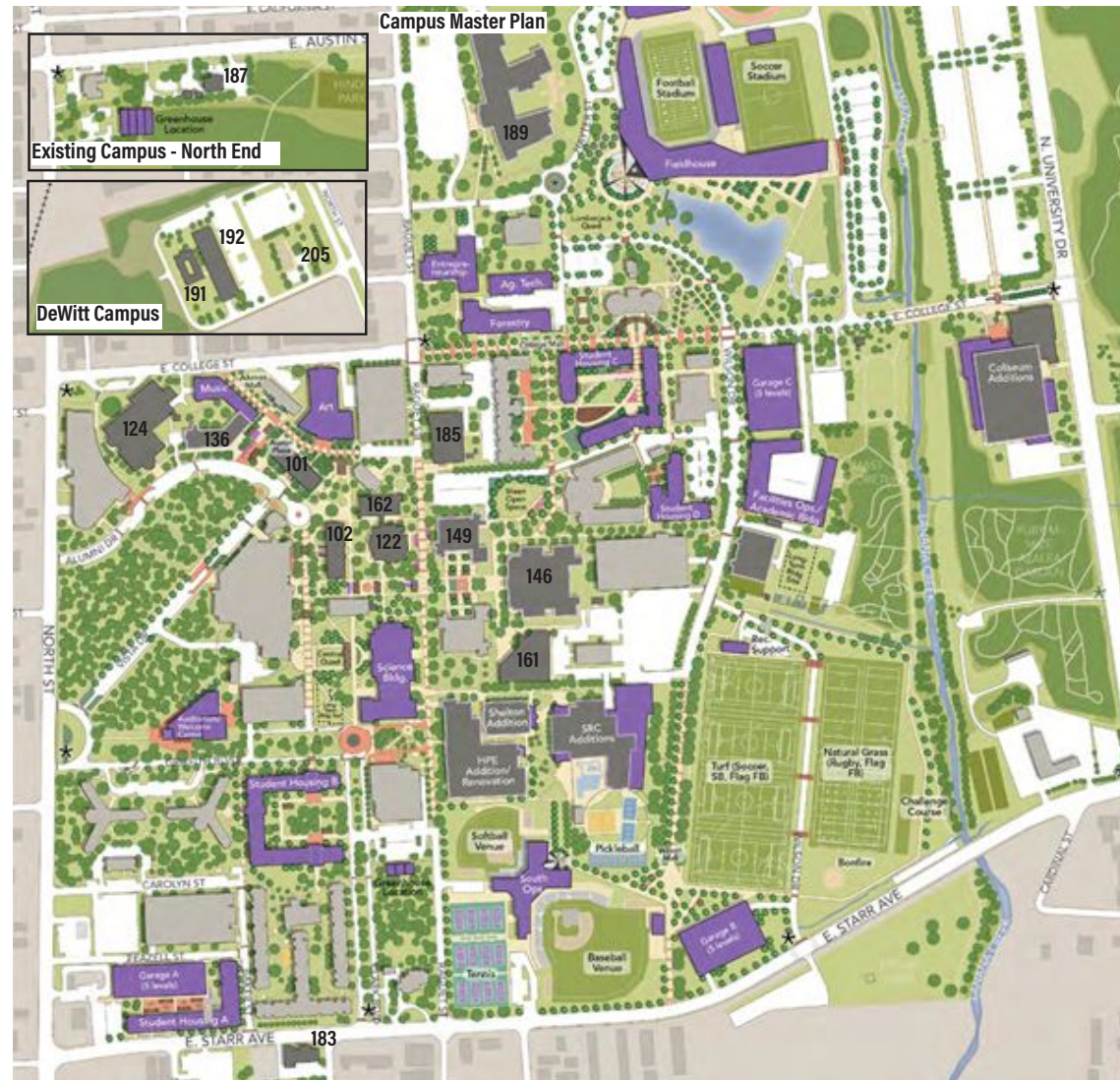
# Space Strategy Recommendations - Update

## Relocations

The following information is based on preliminary data gathered through individual interviews and group discussions with SFA leadership, faculty, and staff. These concepts are intended to serve as a foundation and should be further refined as the university advances its space utilization strategy and master planning efforts.

The options and recommendations presented here are designed to provide a strategic "road map" for optimizing the use of existing facilities. This approach aims to realign departments in ways that enhance the student and faculty experience while meeting the evolving needs of the university community in both the near and long term. This section is organized as follows:

- Bush Mathematical Sciences.....161
- Construction Management.....187
- DeWitt Nursing Campus.....191/192/205
- Early Childhood Research Center.....189
- Human Services.....185
- Paul L. Boynton.....136
- Robert T. McKibben.....149
- R. W. Steen Library.....146
- Social Work Building.....183
- Stephen F. Austin Administration.....101
- T. E. Ferguson Liberal Arts.....122
- Thomas J. Rusk.....102
- Tom & Peggy Wright Music.....124
- Vera Dugas Liberal Arts North.....162



**Figure 4.** SFA Existing Campus - Relocations

## Space Strategy Recommendations - Update

| Building Inventory # | Course Abr. | Building Name                    | Approx. GSF | Occupants Vacating   | Relocating To:   |    |
|----------------------|-------------|----------------------------------|-------------|--|--|----|
| 161                  | MATH        | Bush Mathematical Sciences       | 70,177      | Department of Chemistry and Biochemistry   | New Science Building   | 22 |
| 187                  | CMGT        | Construction Management          | 3,879       | School of Human Sciences and Professional Studies                                    | New Facilities/ Academic Building  | 23 |
| 191/192/205          |             | DeWitt Nursing Campus            | 47,244      | School of Nursing  | Renovated Robert T. McKibben   | 24 |
| 189                  | ECRC        | Early Childhood Research Center  | 123,231     | Early Childhood Research Lab   |  | 25 |
| 185                  | HSTC        | Human Services                   | 59,528      | Office of Disability Services  | Renovated Robert T. McKibben   | 26 |
| 136                  | BOYT        | Paul L. Boynton                  | 41,703      | Information Technology   | Renovated Human Services   | 27 |
| 149                  | MCKB        | Robert T. McKibben               | 89,569      | School of Music,<br>College of Education,<br>School of Honors,<br>Office of Title IX | Renovated Paul L. Boynton,<br>Renovated Early Childhood Research Center,<br>Renovated Thomas J. Rusk | 28 |
| 146                  |             | R.W. Steen Library               | 237,044     | None   | Internal Relocation and Renovation   | 29 |
| 183                  | SWRK        | Social Work Building             | 15,354      | School of Social Work  | Renovated Vera Dugas Liberal Arts North  | 30 |
| 101                  |             | Stephen F. Austin Administration | 40,934      | Student Business Services,<br>Financial Aid  | Renovated Thomas J. Rusk   | 31 |
| 122                  | FERG        | T.E. Ferguson Liberal Arts       | 75,000      | University Marketing   | Renovated Stephen F. Austin Administration   | 32 |
| 102                  |             | Thomas J. Rusk                   | 42,332      | University Marketing,<br>Testing Services,<br>Core Repository                        | Renovated Stephen F. Austin Administration,<br>Renovated R.W. Steen Library,<br>E.L. Miller Science  | 33 |
| 124                  | MUSC        | Tom & Peggy Wright Music         | 59,105      | None   | Internal Renovation  | 34 |
| 162                  | LBAN        | Vera Dugas Liberal Arts North    | 55,517      | Office of Research and Graduate Studies, Office of institutional Effectiveness       | Renovated Thomas J. Rusk,<br>Renovated Stephen F. Austin Administration                              | 35 |

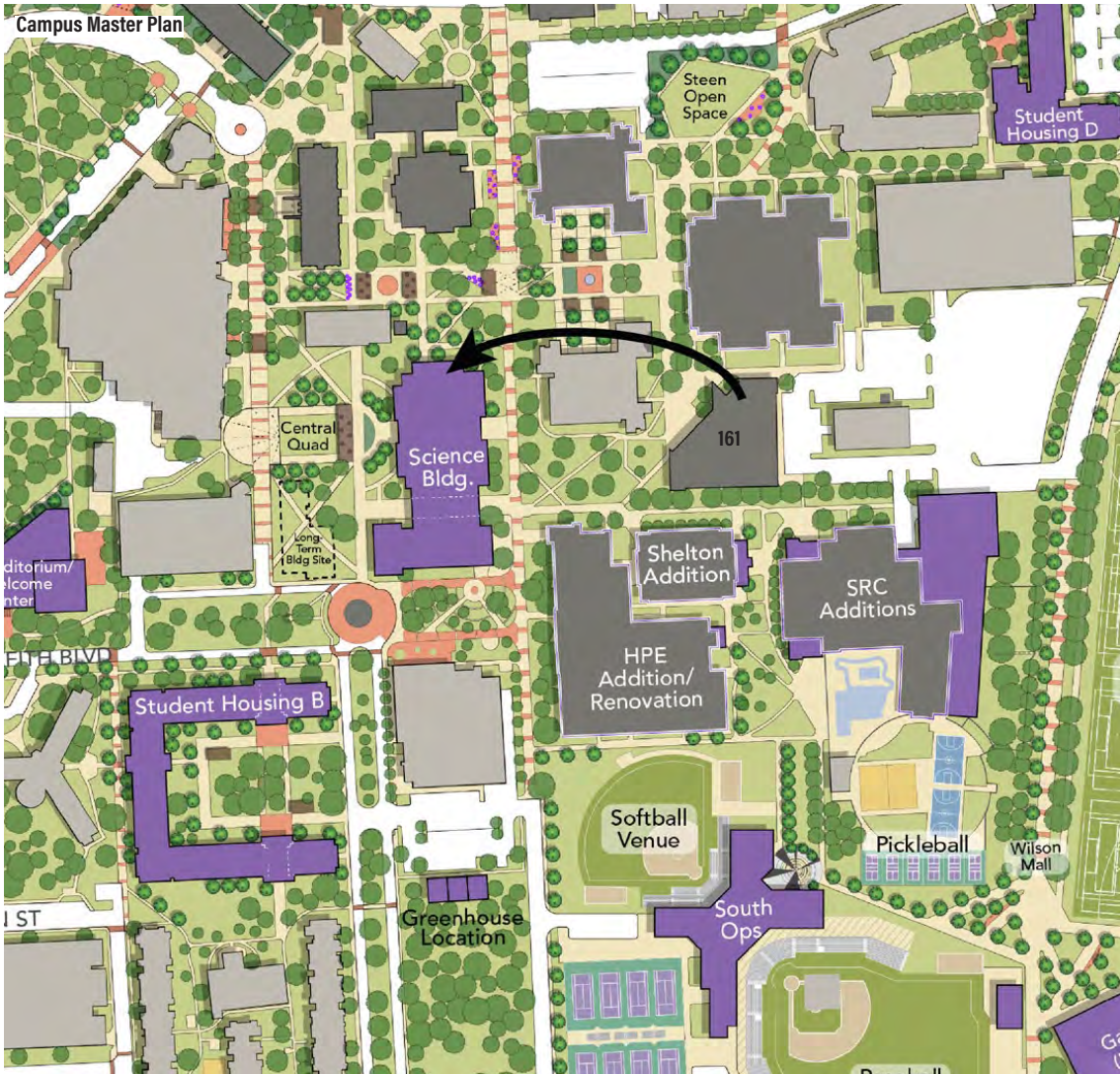


# Space Strategy Recommendations - Update

## Bush Mathematical Sciences

|                                       |            |
|---------------------------------------|------------|
| Building Inventory #<br>(Course Abr.) | 161 (MATH) |
| Type                                  | Academic   |
| Year Constructed                      | 1983       |
| No. of Floors                         | 3          |
| Gross Square Feet (GSF)               | 70,177     |

| Occupants Remaining                            |                      |
|--|----------------------|
| Department of Mathematics and Statistics       |                      |
| Occupants Vacating                             |                      |
| Department of Chemistry & Biochemistry Offices | New Science Building |
| New Occupants                                  |                      |
| Engineering Technology                         | Future Growth        |





## Space Strategy Recommendations - Update

### Construction Management

|                                       |                 |
|---------------------------------------|-----------------|
| Building Inventory #<br>(Course Abr.) | 187 (CMGT)      |
| Type                                  | General Purpose |
| Year Constructed                      | 2001            |
| No. of Floors                         | 2               |
| Gross Square Feet (GSF)               | 3,879           |

| Occupants Vacating      | Relocating to:                       |
|-------------------------|--------------------------------------|
| Construction Management | New Facilities/<br>Academic Building |
| New Occupants           |                                      |
| Property Services       |                                      |

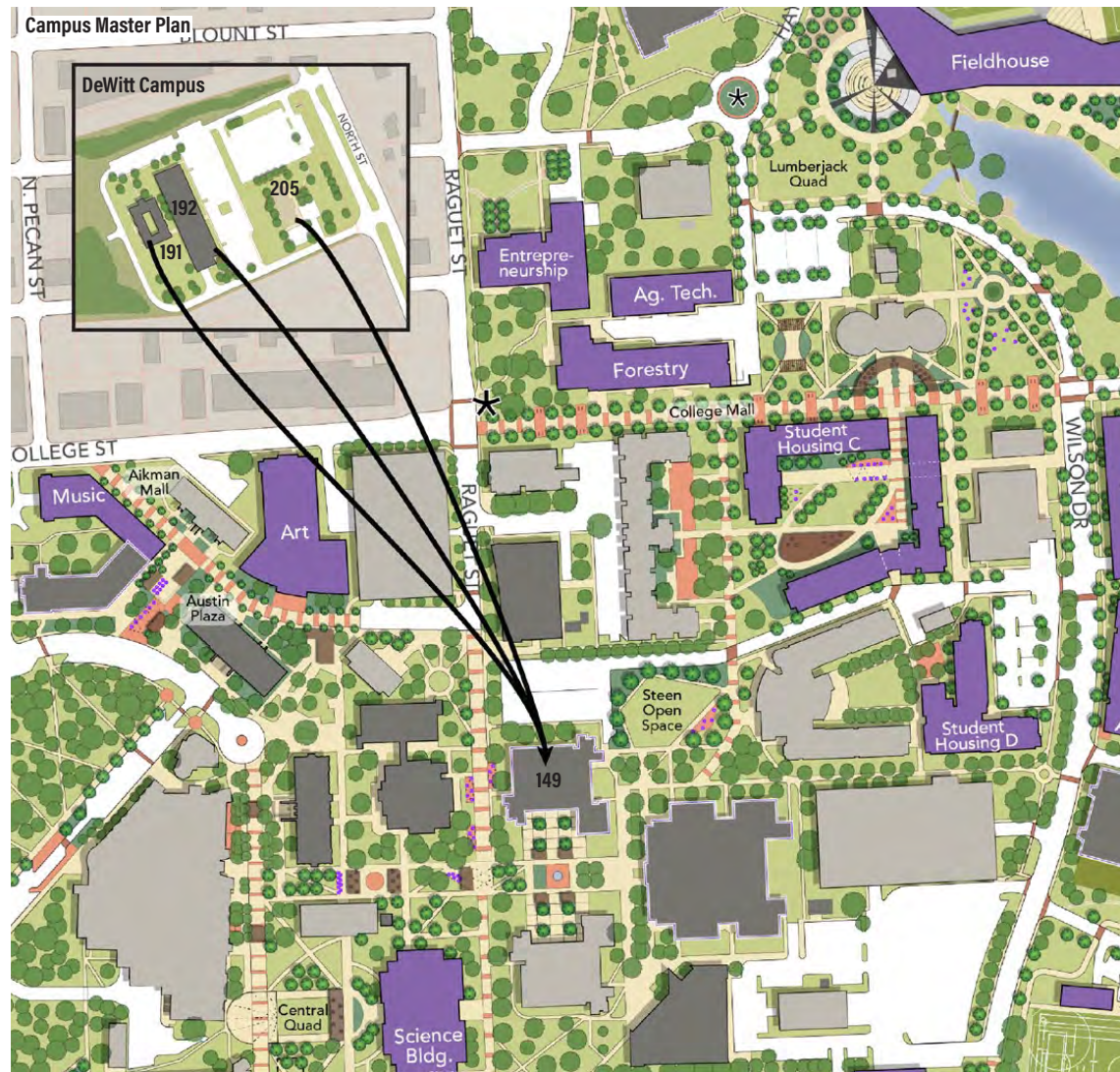


# Space Strategy Recommendations - Update

## DeWitt Nursing

|                                       |             |
|---------------------------------------|-------------|
| Building Inventory #<br>(Course Abr.) | 190/191/205 |
| Type                                  | Academic    |
| Year Constructed                      | 2010        |
| No. of Floors                         | 1           |
| Gross Square Feet (GSF)               | 47,244      |

| Occupants Vacating | Relocating to: |
|--------------------|----------------|
| School of Nursing  | 149 (MCKB)     |





## Space Strategy Recommendations - Update

### Early Childhood Research Center

Building Inventory #  
(Course Abr.) 189 (ECRC)

Type Academic

Year Constructed 2009

No. of Floors 2

Gross Square Feet (GSF) 123,231

### Occupants Remaining

Department of Education  
Studies

Charter School

### New Occupants

### Relocating From:

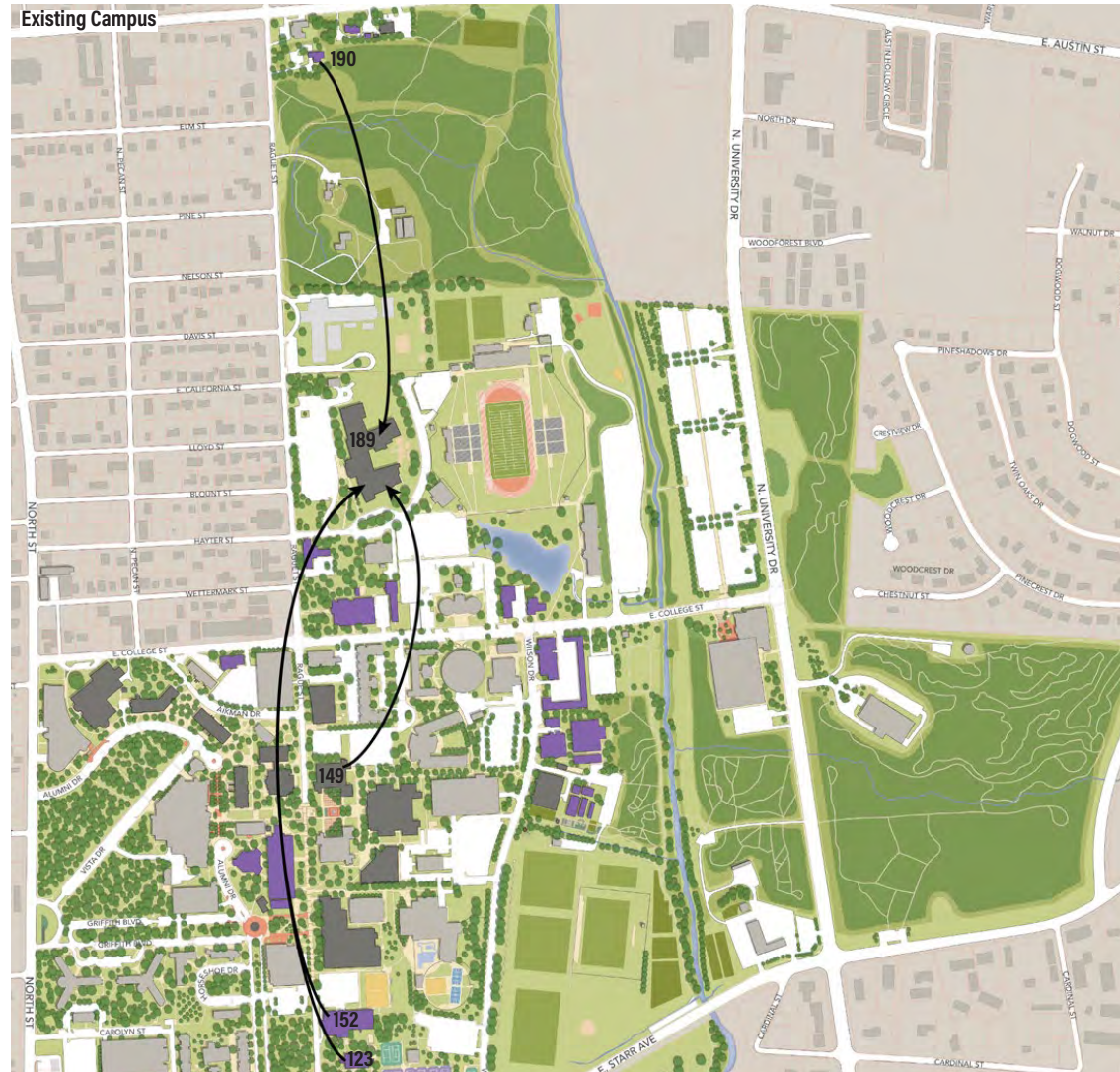
Office of Assessment and  
Accountability 149 (MCKB)

School of Human Sciences  
Administration 123 (HMSN)

Family and Consumer Sciences 152 (EDAN)

Human Development and  
Family Studies 152 (EDAN)

Music Preparatory Division 190





## Space Strategy Recommendations - Update

### Human Services

Building Inventory #  
(Course Abr.) 185 (HSTC)

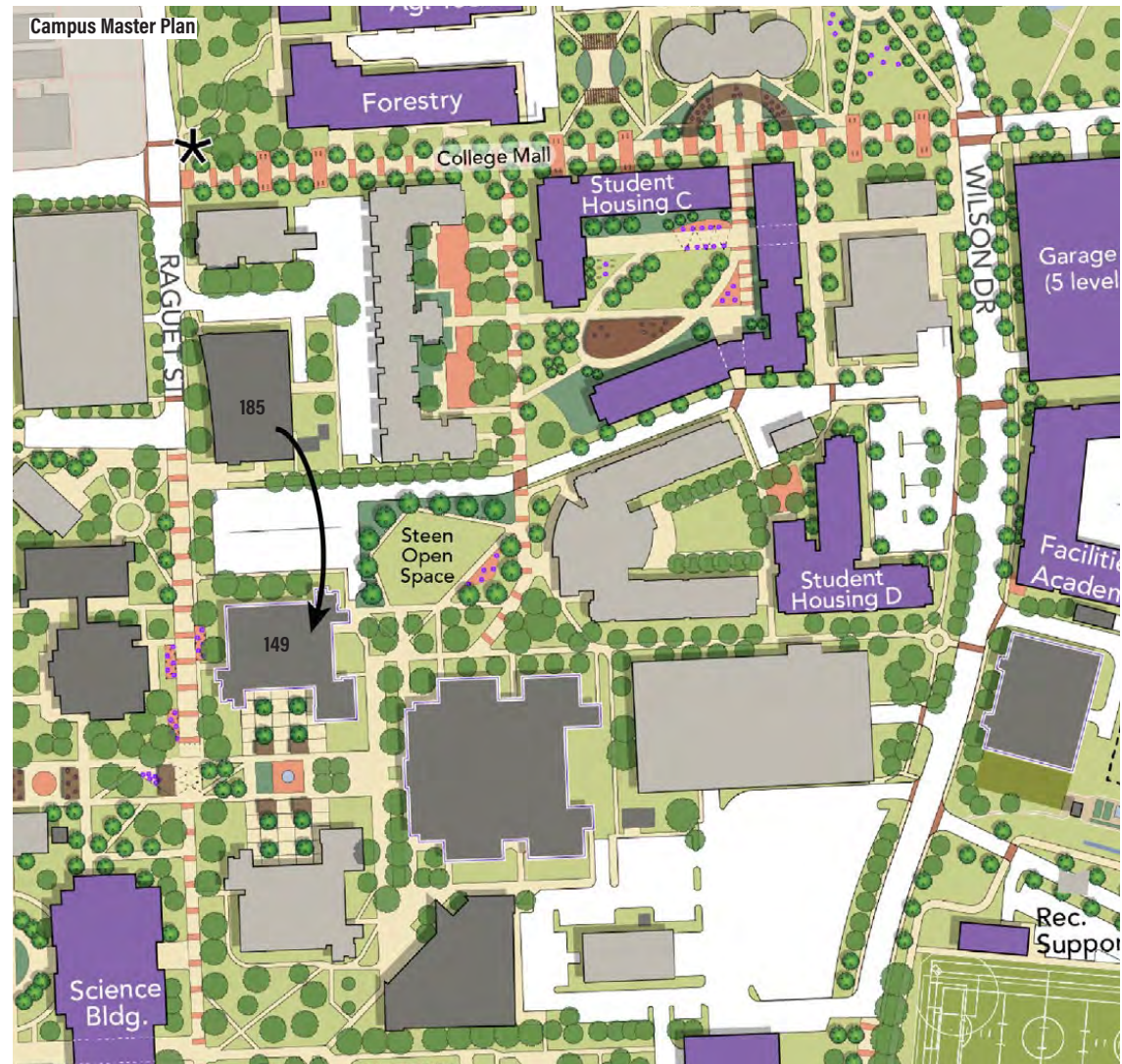
Type Academic

Year Constructed 2004

No. of Floors 3

Gross Square Feet (GSF) 59,528

| Occupants Remaining                              | Growth             |
|--|--------------------|
| School of Human Services                         |                    |
| Dept. of Edu. Leadership                         |                    |
| Ind. Living Model Apartment                      |                    |
| Human Neuroscience Lab                           |                    |
| Rehab. Services Planning Lab                     |                    |
| Cole Audiology Lab                               |                    |
| School Psych. Assessment                         |                    |
| Stanley Center for Speech and Language Disorders |                    |
| Research and Student Experiences Center          |                    |
| University IT                                    | Expanding in place |
| Occupants Vacating                               | Relocating to:     |
| Office of Disability Services                    | 149 (MCKB)         |



## Space Strategy Recommendations - Update

### Paul L. Boynton

Building Inventory #  
(Course Abr.) 136 (BOYT)

Type Academic

Year Constructed 1957

No. of Floors 3

Gross Square Feet (GSF) 41,703

| Occupants Remaining                      | Growth                               |
|--|--------------------------------------|
| Media and Communication                  |                                      |
| Photographic Journalism and Lighting Lab |                                      |
| Advertising and Public Relations Lab     |                                      |
| KSAU 90.1 Radio                          |                                      |
| SFA-TV2 Television Station               |                                      |
| School of Music Piano Lab                |                                      |
| School of Music                          | Bldg. Addition/<br>Reno.             |
| Occupants Vacating                       | Relocating to:                       |
| University IT                            | 185 (HSTC)                           |
| University IT Data Center                | New Facilities/<br>Academic Building |





## Space Strategy Recommendations - Update

### Robert T. McKibben

Building Inventory #  
(Course Abr.) 149 (MCKB)

Type Academic

Year Constructed 1974

No. of Floors 4

Gross Square Feet (GSF) 89,569

#### Occupants Remaining

Department of Psychology

Dean's Office

Student Services/ Advising

#### Occupants Vacating

#### Relocating to:

School of Music 136 (BOYT)

Office of Assessment and Accountability 189 (ECRC)

School of Honors 102 (Rusk)

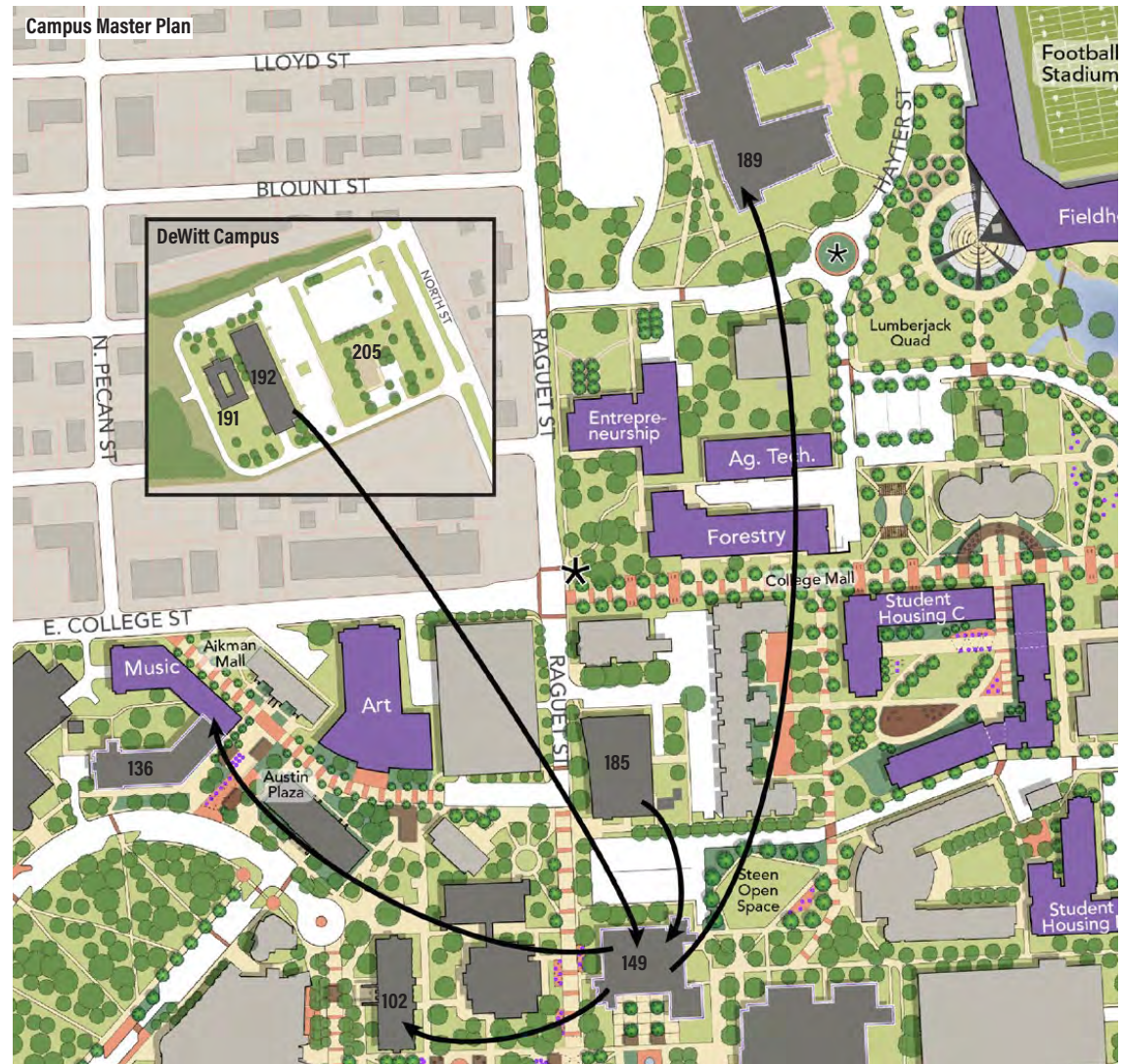
Office of Title IX 102 (Rusk)

#### New Occupants

#### Relocating From:

School of Nursing DeWitt Campus

Office of Disability Services 185 (HSTC)



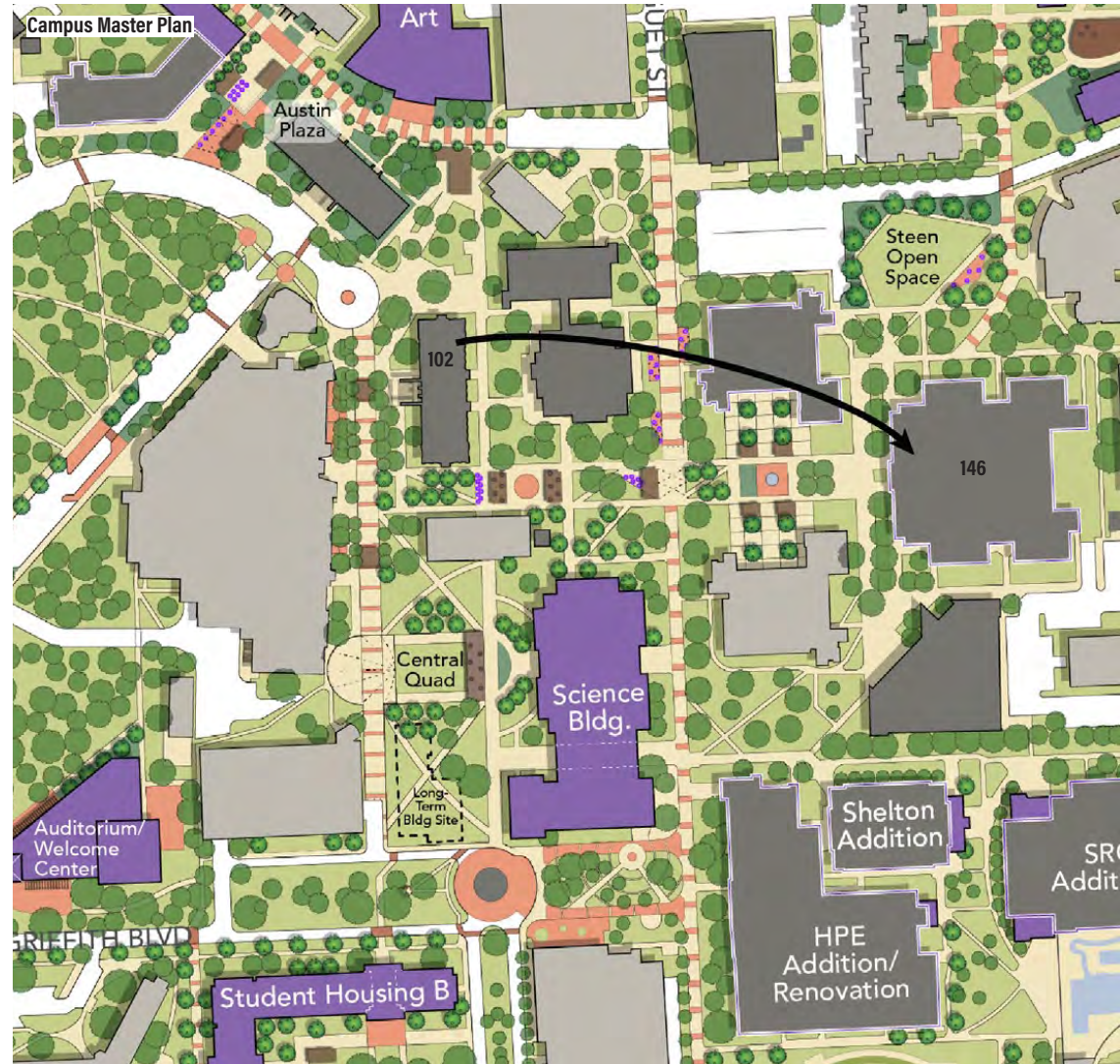


## Space Strategy Recommendations - Update

### R.W. Steen Library

|                                       |                 |
|---------------------------------------|-----------------|
| Building Inventory #<br>(Course Abr.) | 146             |
| Type                                  | General Purpose |
| Year Constructed                      | 1973            |
| No. of Floors                         | 4               |
| Gross Square Feet (GSF)               | 237,044         |

| Relocating Occupants                                  | Relocating to:                            |
|---|---|
| East Texas Research Center                            | 4th Floor w/<br>Expansion                 |
| Library Service Desk                                  | Rearranging on<br>1st Floor               |
| SFA Makerspace  | Rearranging/<br>Expanding on<br>1st Floor |
| New Occupants   | Relocating to:                            |
| Student Gathering/ Food                               | 1st Floor                                 |
| Testing Center (102)                                  | 2nd Floor                                 |
| Honors/ Graduate Library                              | 2nd Floor                                 |
| Faculty Research Commons                              | 2nd Floor                                 |
| First Year Advising Center                            | 2nd Floor                                 |
| Additional Individual and Group Study / Meeting Rooms | Floors 2-4                                |



## Space Strategy Recommendations - Update

### Social Work Building

Building Inventory #  
(Course Abr.) 183 (SWRK)

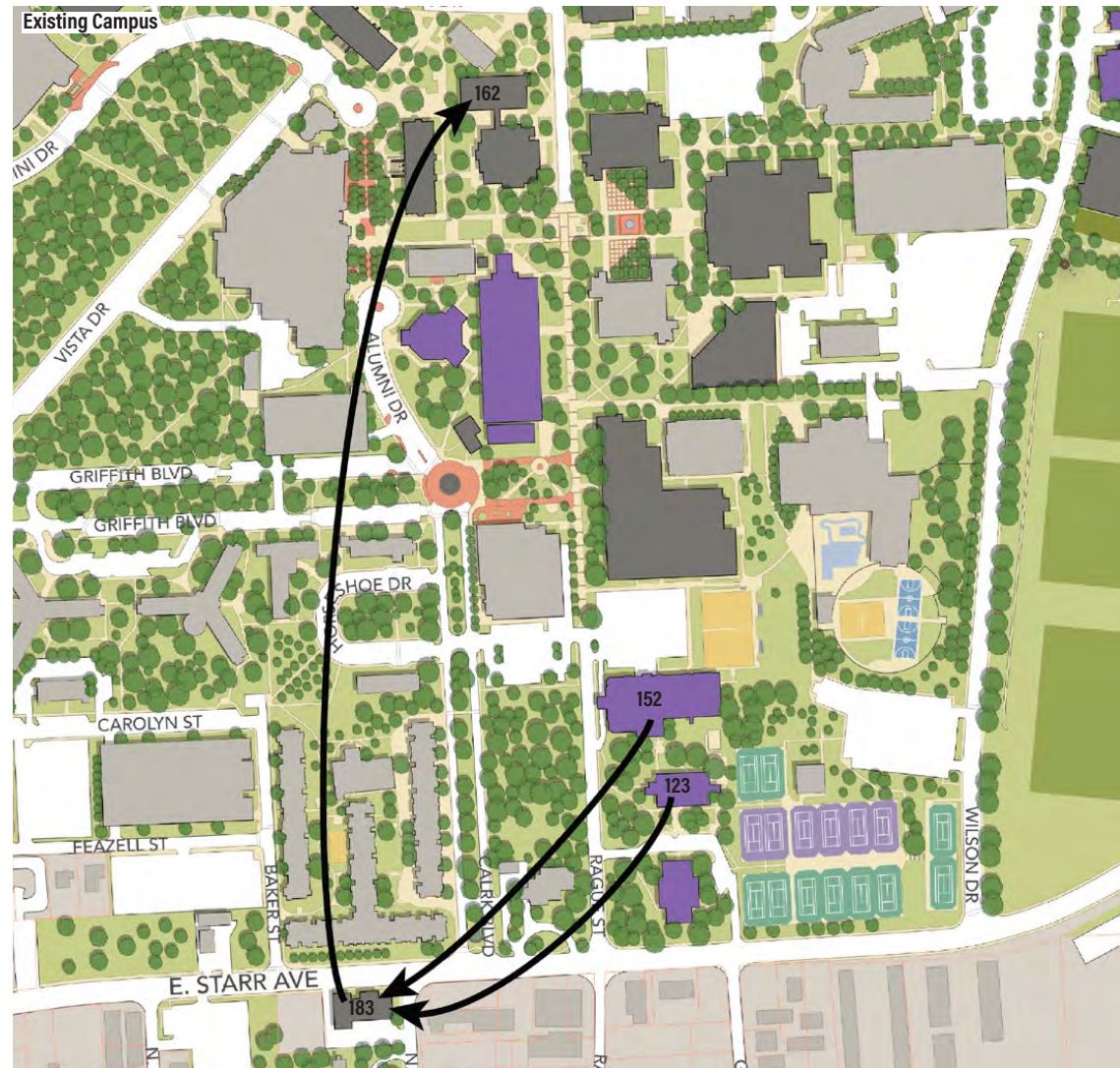
Type Academic

Year Constructed 1949

No. of Floors 2

Gross Square Feet (GSF) 15,345

| Occupants Vacating                 | Relocating to:   |
|------------------------------------|------------------|
| School of Social Work              | 162 (LBAN)       |
| New Occupants                      | Relocating From: |
| Hospitality Administration         | 123 (HMSN)       |
| Dietetics and Nutritional Sciences | 123 (HMSN)       |
| Food and Nutrition                 | 152 (EDAN)       |

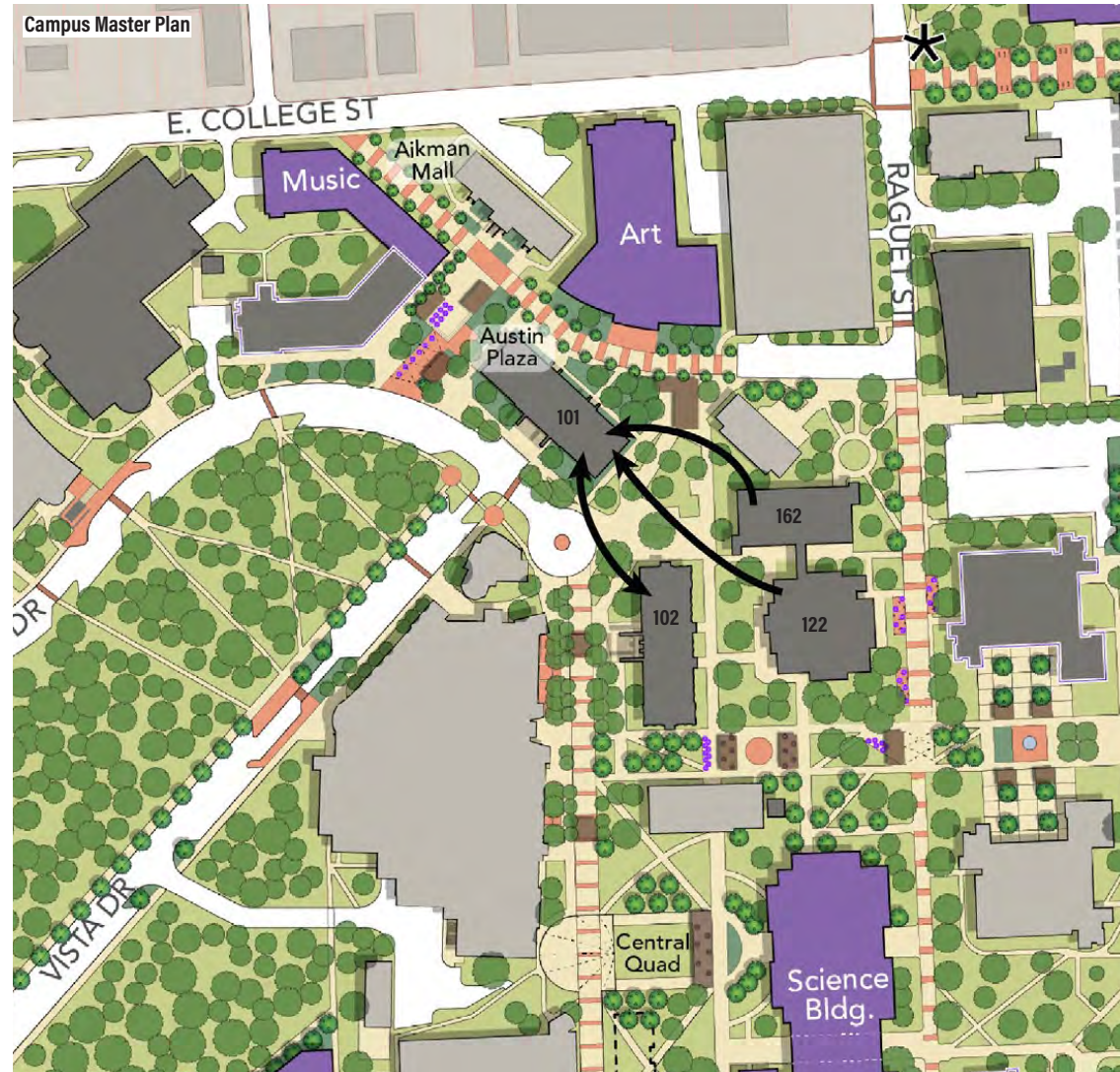




## Space Strategy Recommendations - Update

### Stephen F. Austin Administration

|  |                          |
|--|--------------------------|
| Building Inventory #<br>(Course Abr.)            | 101                      |
| Type   | General Purpose          |
| Year Constructed                                 | 1924                     |
| No. of Floors                                    | 3                        |
| Gross Square Feet (GSF)                          | 40,934                   |
| <b>Occupants Remaining</b>                       | <b>Growing From:</b>     |
| Development/<br>Human Resources/ Audit           |                          |
| Office of Financial Reporting/<br>Budget/Payroll |                          |
| Procurement/Business Services                    |                          |
| Office of the President & VPs                    |                          |
| University Marketing                             | 102 (Rusk)<br>122 (FERG) |
| <b>Occupants Vacating</b>                        | <b>Relocating to:</b>    |
| Student Business Services                        | 102 (Rusk)               |
| Financial Aid                                    | 102 (Rusk)               |
| <b>New Occupants</b>                             | <b>Relocating From:</b>  |
| Office of Institutional<br>Effectiveness         | 162 (LBAN)               |
| SAIR   | 102 (Rusk)               |





# Space Strategy Recommendations - Update

## T.E. Ferguson Liberal Arts

|                                       |            |
|---------------------------------------|------------|
| Building Inventory #<br>(Course Abr.) | 122 (FERG) |
| Type                                  | Academic   |
| Year Constructed                      | 1969       |
| No. of Floors                         | 5          |
| Gross Square Feet (GSF)               | 75,000     |

| Occupants Remaining                 |              |
|-------------------------------------|--------------|
| College of Liberal and Applied Arts |              |
| Occupants Vacating                  |              |
| University Marketing                | 101 (Austin) |
| New Occupants                       |              |
| None: Occupant Growth               | Renovation   |



## Space Strategy Recommendations - Update

### Thomas J. Rusk

|                                       |                 |
|---------------------------------------|-----------------|
| Building Inventory #<br>(Course Abr.) | 102             |
| Type                                  | General Purpose |
| Year Constructed                      | 1926            |
| No. of Floors                         | 3               |
| Gross Square Feet (GSF)               | 42,332          |

#### Occupants Remaining

|                       |  |
|-----------------------|--|
| Registrar             |  |
| Enrollment/Admissions |  |

#### Occupants Vacating

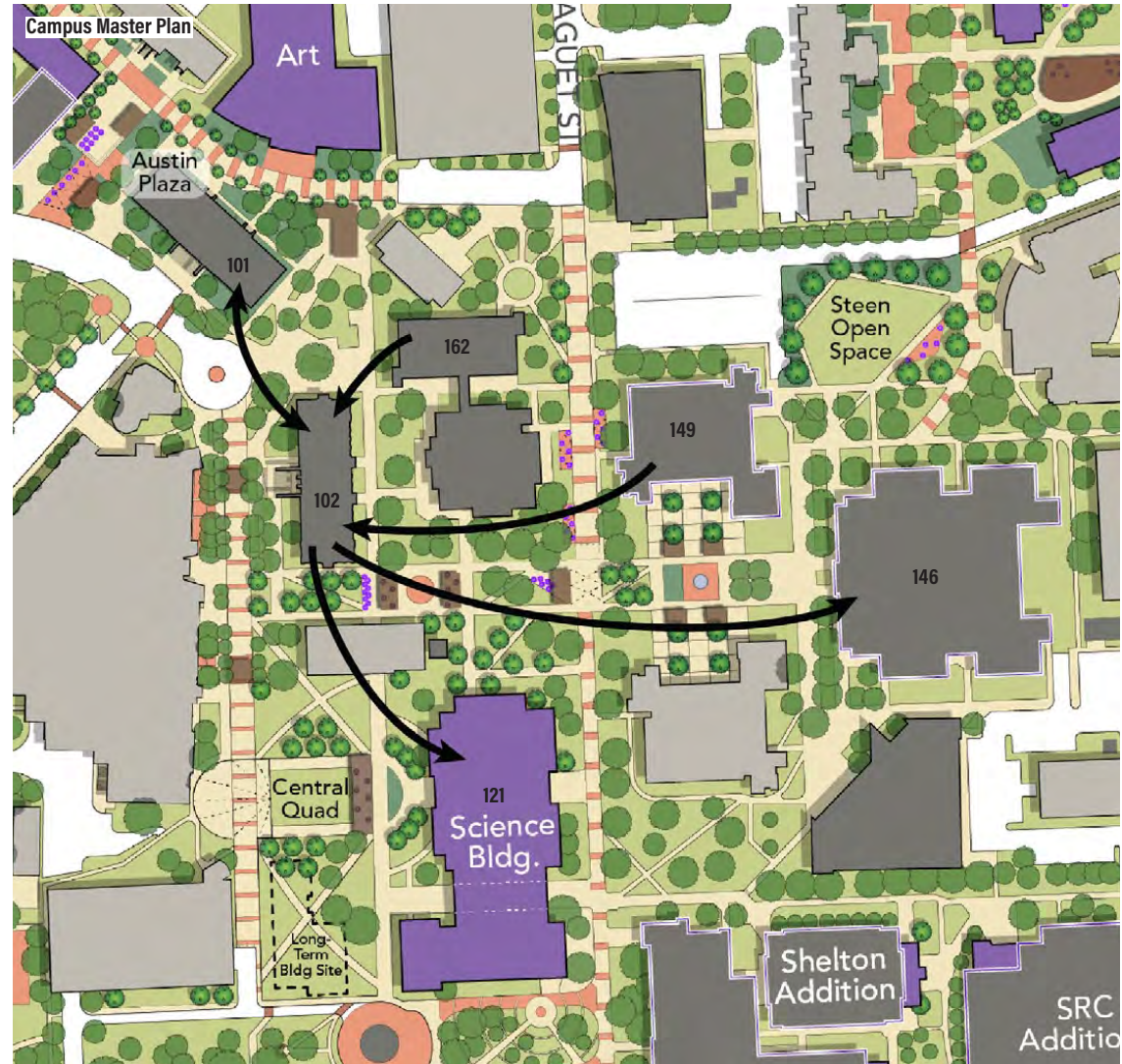
#### Relocating to:

|                      |              |
|----------------------|--------------|
| University Marketing | 101 (Austin) |
| Testing Services     | 146 (Steen)  |
| Core Repository      | 121 (SCIE)   |
| SAIR                 | 101 (Austin) |

#### New Occupants

#### Relocating From:

|                               |              |
|-------------------------------|--------------|
| Student Business Services     | 101 (Austin) |
| Financial Aid                 | 101 (Austin) |
| Office of Title IX            | 149 (MCKB)   |
| School of Honors Office       | 149 (MCKB)   |
| Research and Graduate Studies | 162 (LBAN)   |





# Space Strategy Recommendations - Update

## Tom & Peggy Wright Music

|                                       |            |
|---------------------------------------|------------|
| Building Inventory #<br>(Course Abr.) | 124 (MUSC) |
| Type                                  | Academic   |
| Year Constructed                      | 1970       |
| No. of Floors                         | 2          |
| Gross Square Feet (GSF)               | 59,105     |

| Occupants Remaining |            |
|---------------------|------------|
| School of Music     | Renovation |





## Space Strategy Recommendations - Update

### Vera Dugas Liberal Arts North

Building Inventory #  
(Course Abr.) 162 (LBAN)

Type Academic

Year Constructed 1984

No. of Floors 4

Gross Square Feet (GSF) 55,517

#### Occupants Remaining

College of Liberal and Applied Arts Renovation

#### Occupants Vacating

#### Relocating to:

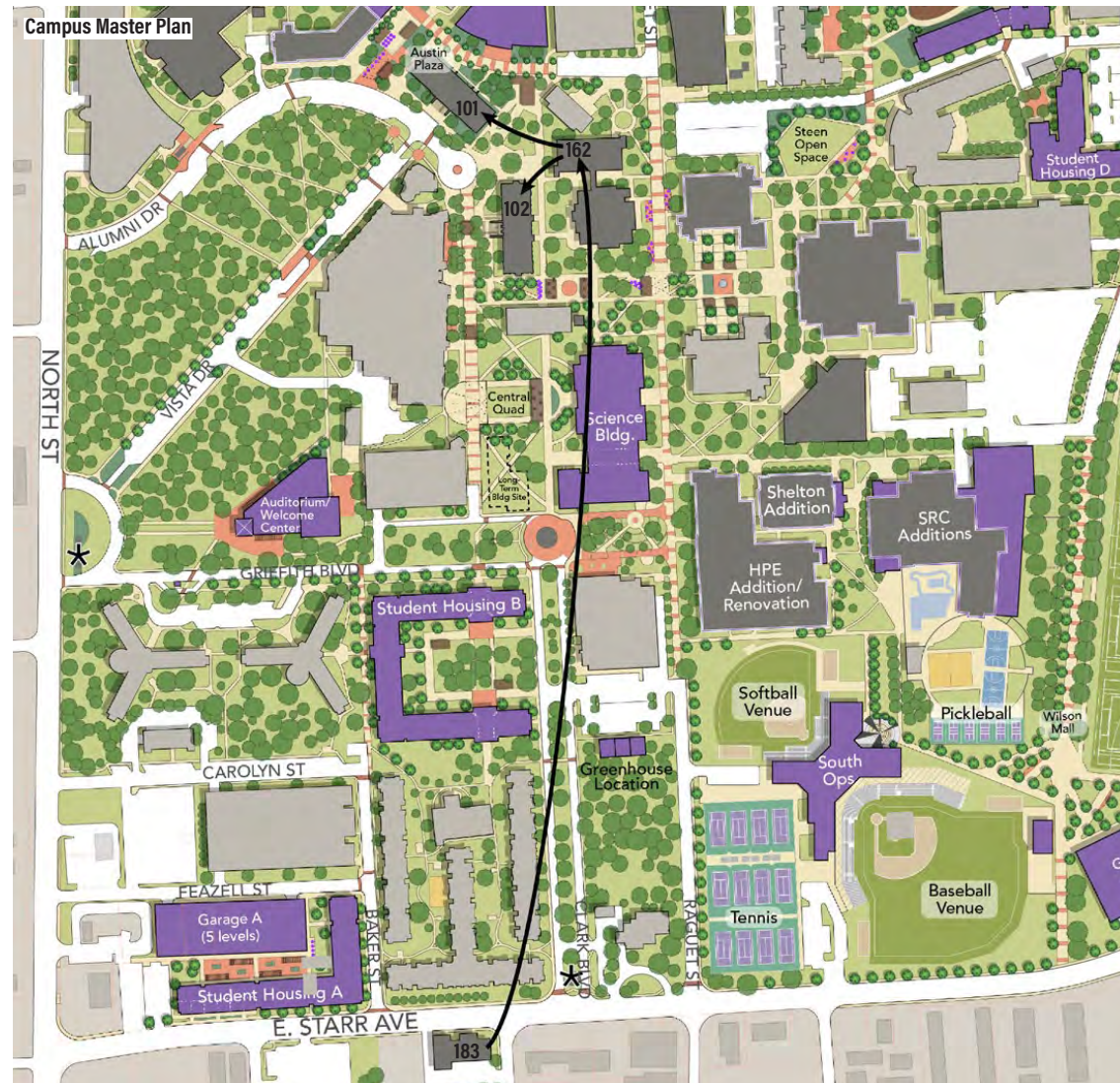
Office of Research and Graduate Studies 102 (Rusk)

Office of Institutional Effectiveness 101 (Austin)

#### New Occupants

#### Relocating From:

School of Social Work 183 (SWRK)





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Needs Assessment  
Space Utilization Analysis  
Demographics Analysis

SAN ANTONIO | HOUSTON

# **APPENDIX J**

## **WALTER C. TODD AGRICULTURAL RESEARCH CENTER FEASIBILITY CONCEPT**

**Kirksey**  
ARCHITECTURE





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## PROPOSED SITE PLAN AND PROJECT GOALS



- 25